

# FERRY PASS ELEMENTARY SCHOOL COVERED PLAY BUILDING

PROJECT NO. 07615-0009

AUGUST 2021

PERMIT SET

Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *J. Hampton* 8-25-21  
Printed Name: *Sabir Khan* Date  
Development Services Director of Testimony: *Hahn*

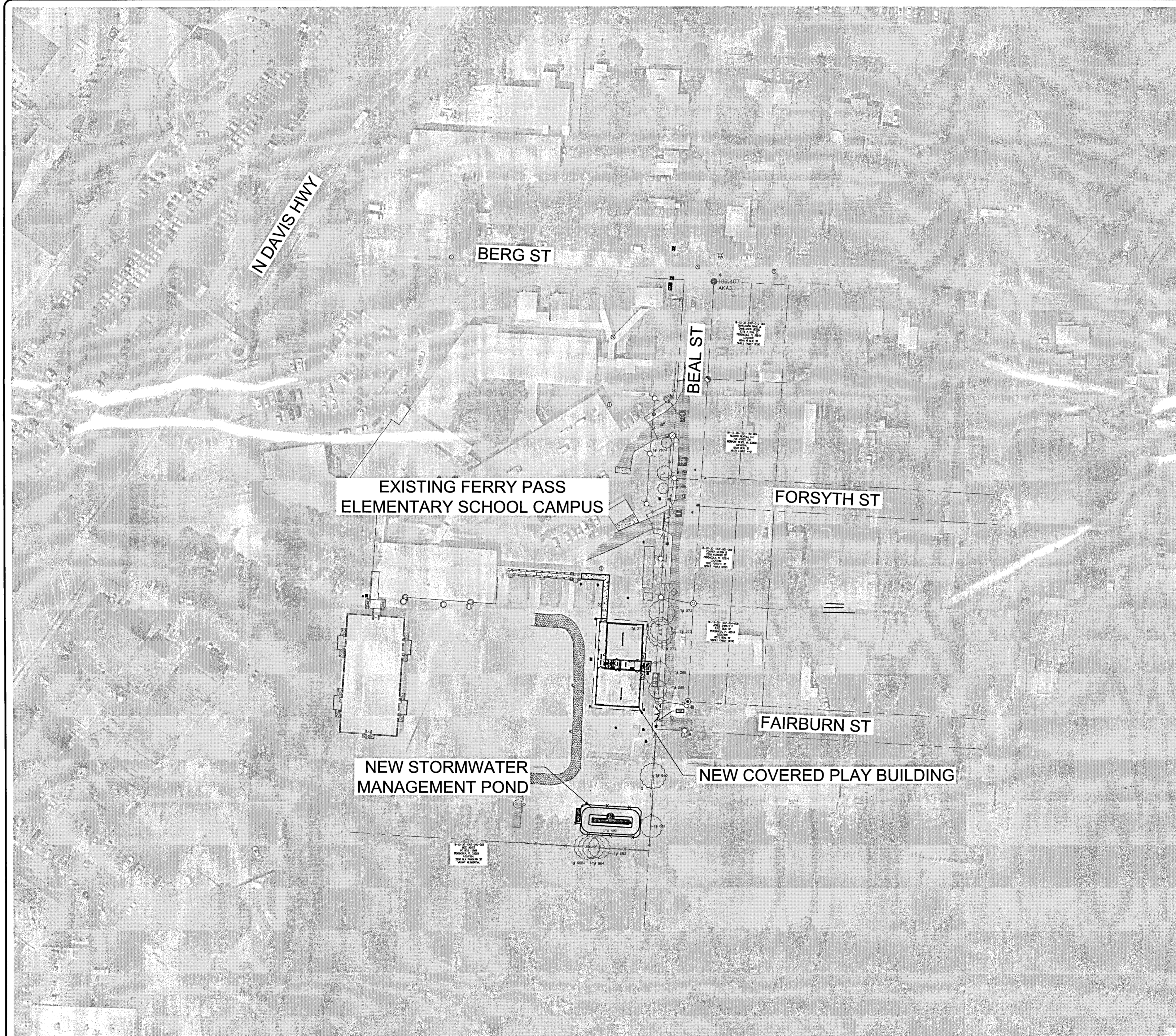
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



VICINITY MAP NOT TO SCALE

PROJECT NAME: FERRY PASS ES COVERED PLAY BUILDING

OWNER/DEVELOPER:  
ESCAMBIA COUNTY SCHOOL DISTRICT  
8310 N DAVIS HWY  
PENSACOLA, FL 32514



SITE MAP

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C3	SITE DIMENSIONING PLAN
C4	SITE GRADING PLAN
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**SITE DATA SUMMARY**

PROP. REF. # 18-1S-30-1201-001-002  
PARCEL AREA 10.1682 ACRES (±442,927 SF)  
STREET ADDRESS 8310 N DAVIS HIGHWAY  
PENSACOLA, FL 32514

ZONING MDR/COM  
CURRENT USE PUBLIC SCHOOL  
FUTURE LAND USE MU-U

PROPOSED BUILDING USE RECREATIONAL/MULTI-PURPOSE

PROPOSED BUILDING AREA 6,765 SF

**STORMWATER**

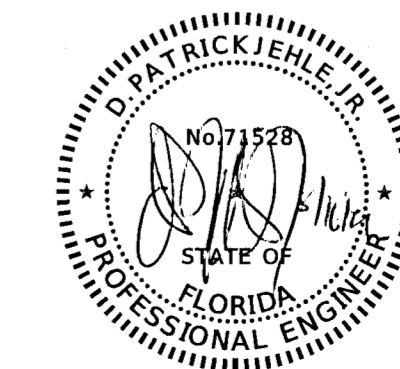
PRE-DEVELOPMENT  
PROJECT AREA 32,830 (±0.754 AC)  
IMPERVIOUS AREA 6,457 (±0.148 AC)  
PERVIOUS AREA 26,373 (±0.605 AC)  
POST-DEVELOPMENT  
PROJECT AREA 32,830 (±0.754 AC)  
IMPERVIOUS AREA 11,599 (±0.266 AC)  
PERVIOUS AREA 21,231 (±0.488 AC)



1206 N. Palafox Street  
Pensacola, Florida 32501  
Phone: (850) 994-9503

CA Lic. No. 29588  
www.mckimcreed.com

PROJECT INFORMATION



Know what's below.  
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SHEET INDEX

SCALE: 1" = 80'

**1 GENERAL NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.
- REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, ETC.
- IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.
- LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. ANY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
- ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
- SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(ES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).
- THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.
- REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED IN CHAPTERS 400-4 AND 400-40, F.A.C. WHICH CAN RESULT IN A PENALTY NOT TO EXCEED \$10,000 PER OFFENSE WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ON-SITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
- ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.

**2 SURVEYOR NOTES**

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE GRID BEARING OF N 03°31'57" E ALONG THE EAST RIGHT-OF-WAY (R/W) LINE OF BEAL STREET (40' R/W) AND IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; A COPY OF KLINGER SUBDIVISION, AS RECORDED IN PLAT BOOK 1, AT PAGE 48, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. A COPY OF FIRST ADDITION TO KLINGER SUBDIVISION AS RECORDED IN PLAT BOOK 3, AT PAGE 42, OF THE PUBLIC RECORDS OF SAID COUNTY; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FEET AND DECIMALS THEREOF.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES).
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C00315G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
- THE SURVEYING BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER FOR MCKIM & CREED, INC. IS LB7917.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.
- THIS IS NOT A BOUNDARY SURVEY.

**3 EROSION CONTROL NOTES**

- TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.
- PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.
- STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.
- REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:
  - ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.
  - REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.
  - REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.
  - SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO ENSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.

**3 EROSION CONTROL NOTES (CONT.)**

- INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN REPORTS.
- DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.
- THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:
  - AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.
  - KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.
  - FOLLOW ALL MANUFACTURERS' RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.
  - INSPECT DAILY TO ENSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.
  - COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.
- CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

**4 SPILL CONTROL NOTES**

- IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
  - MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
  - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
  - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
  - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
  - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

**5 DEMOLITION NOTES**

- CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
- NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICITY OR SEWER SERVICE PRIOR TO ANY REMOVAL, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.
- CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR OR ENGINEER DIAGNOSIS UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN WITH TREE PROTECTION BARRICADE.
- CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.
- ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
- CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED AGAINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, WATER LINES TO THE MAIN LOCATION, LATERALS TO MAIN LOCATION (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
- UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.
- CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.
- CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).
- FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

**6 EARTHWORK, GRADING, AND STABILIZATION NOTES**

- INFORMATION CONCERNING SITE SOIL CONDITIONS IS PROVIDED BY THE GEOTECH REPORT.
- ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.
- ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS AND LIFT STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.
- PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.
- UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GLASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDS OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.
- THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED FINAL GRADES, AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EXCESSIVE TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVING THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DURING THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. TURBIDITY AND SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVING THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.

**7 SIGNING AND MARKING NOTES**

- A SEPARATE PERMIT IS REQUIRED FOR ALL BUSINESS SIGNAGE.
- ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE ALKYD THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.
- PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINTS (MIN). ALL PAINTED STRIPING SHALL BE LATEX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.
- ALL DIRECTIONAL PAVEMENT MARKINGS MUST BE THERMOPLASTIC STRIPING.
- ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.
- SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.
- REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706-001.
- PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.
- CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.
- SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC., MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD AND OWNER.
- ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE.

**8 PAVING, GRADING, AND DRAINAGE NOTES**

- CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APURTENANCES, AS INDICATED.
- HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.
- ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL, AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.
- ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).
- NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.
- COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN CONSTRUCTION LIMITS.
- CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, WALKWAYS & PADS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.
- IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.
- ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE MATERIAL NOTED AS ACCEPTABLE IN THE GEOTECHNICAL REPORT. PLACEMENT OF ALL FILL/BACKFILL MUST BE PER RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT.
- ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
- ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.
- PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.
- CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION.

**9 GENERAL UTILITY NOTES**

- ALL UTILITY WORK SHALL CONFORM TO AND BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND/OR FDEP PERMIT.
- WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.
- PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL POTABLE WATER MAINS MUST BEAR "NSF" "PW" LOGO.
- UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.
- ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 30-INCHES OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. UTILITY COMPANIES IDENTIFIED BY SUNSHINE ONE-CALL SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.

**9 GENERAL UTILITY NOTES (CONT.)**

- LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
- ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.

**TESTING AND INSPECTION**

- CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.
- CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH ANWA 651 "DISINFECTION WATER MAINS".

**10 UTILITY SEPARATION NOTES PER 62-555.3**

- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3'-FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, FAC.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3'-FEET, AND PREFERABLY 10'-FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 6'-FEET, AND PREFERABLY 10'-FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, FAC. THE MINIMUM HORIZONTAL SEPARATION ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3'-FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6-INCHES ABOVE THE TOP OF THE SEWER.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 10'-FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), FS AND RULE 64E-6.002, FAC.
- VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6-INCHES, AND PREFERABLY 12-INCHES, ABOVE OR AT LEAST 12-INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12-INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE POSSIBLY GRADED THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 3'-FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, FAC. AND AT LEAST 6'-FEET FROM ALL JOINTS IN GRAVITY-TYPE OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, FAC.
- SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
  - NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.

**11 ESCAMBIA COUNTY NOTES**

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH HYDROSEED AND/OR SOD.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. "AS-BUILT" CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

**Quina Grundhoefer Architects**

400 West Romana Street Pensacola, FL 32502  
850 433-5575 qga@architects.com

**LEGEND:**

- FENCE GATE
- CHAIN LINK FENCE
- WOOD PANEL FENCE
- MISCELLANEOUS FENCE
- SILT FENCE
- TREE PROTECTION
- OVERHEAD UTILITIES
- GAS LINE
- WATER LINE
- SEWER LINE
- FORCE MAIN
- STORMWATER LINE
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- DROP INLET
- BACK FLOW PREVENTER
- WATER VAULT
- SEWER MANHOLE
- CLEANOUT
- ELECTRIC BOX
- GAS METER
- GUY WIRE ANCHOR
- WOOD UTILITY POLE
- PLAYGROUND TOY
- HALF-BURIED TIRE
- GATE-STOP BOLLARD
- WOOD POST
- METAL POST
- SINGLE SUPPORT SIGN
- DOUBLE SUPPORT SIGN
- BASKETBALL HOOP
- BENCH
- SPOT ELEVATION
- ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
- ASPHALT
- CONCRETE
- SOD

**MCKIM & CREED**

1206 N. Palafox St. - Pensacola, Florida 32501 • (850) 994-9503  
FL Certificate of Authorization 29568

**D. PATRICK JEHL, JR.**  
P.E. 71528

Professional Engineer  
State of Florida

Project  
**Covered Play Area and Multi-Purpose Room Ferry Pass Elementary**  
Escambia County School District  
Pensacola, Florida

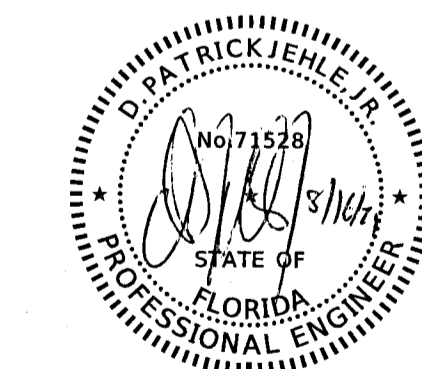
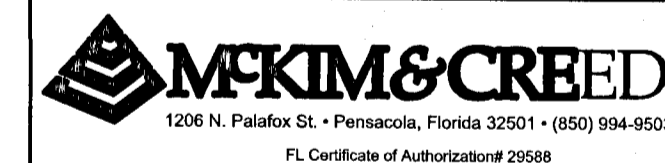
Date: 8/16/2021  
Project No. 07615-0009

Sheet No. **G1**

**GENERAL NOTES**

**LEGEND:**

- FENCE GATE
- CHAIN LINK FENCE
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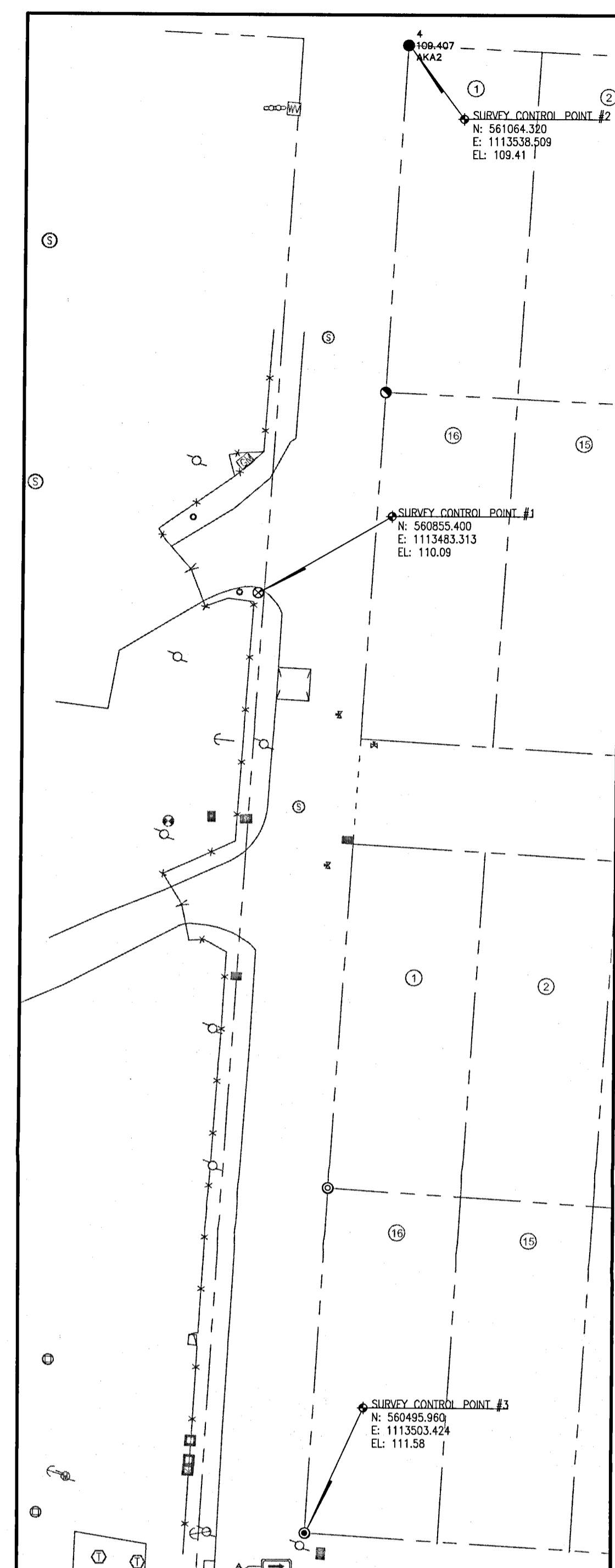
D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and  
Multi-Purpose Room  
Ferry Pass Elementary**

Escambia County School District  
Pensacola, Florida

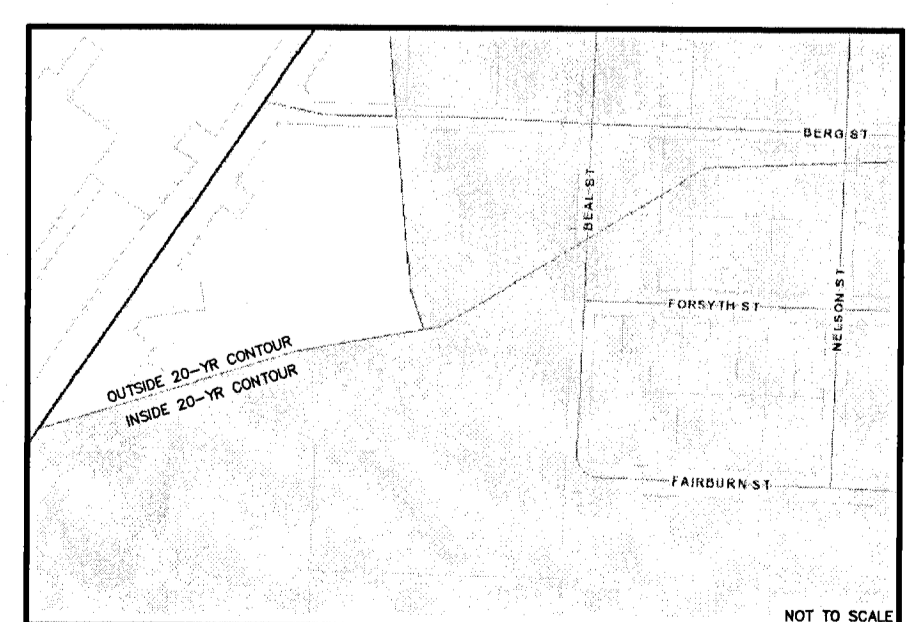
Date:  
8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C0**



40' 0 40' 80'  
SCALE: 1"=40' (Horiz.)

BENCHMARKS			
POINT #	ELEV	NORTHING	EASTING
1	110.093	560855.400	1113483.313
2	109.407	561064.369	1113538.503
3	111.577	560495.960	1113503.424

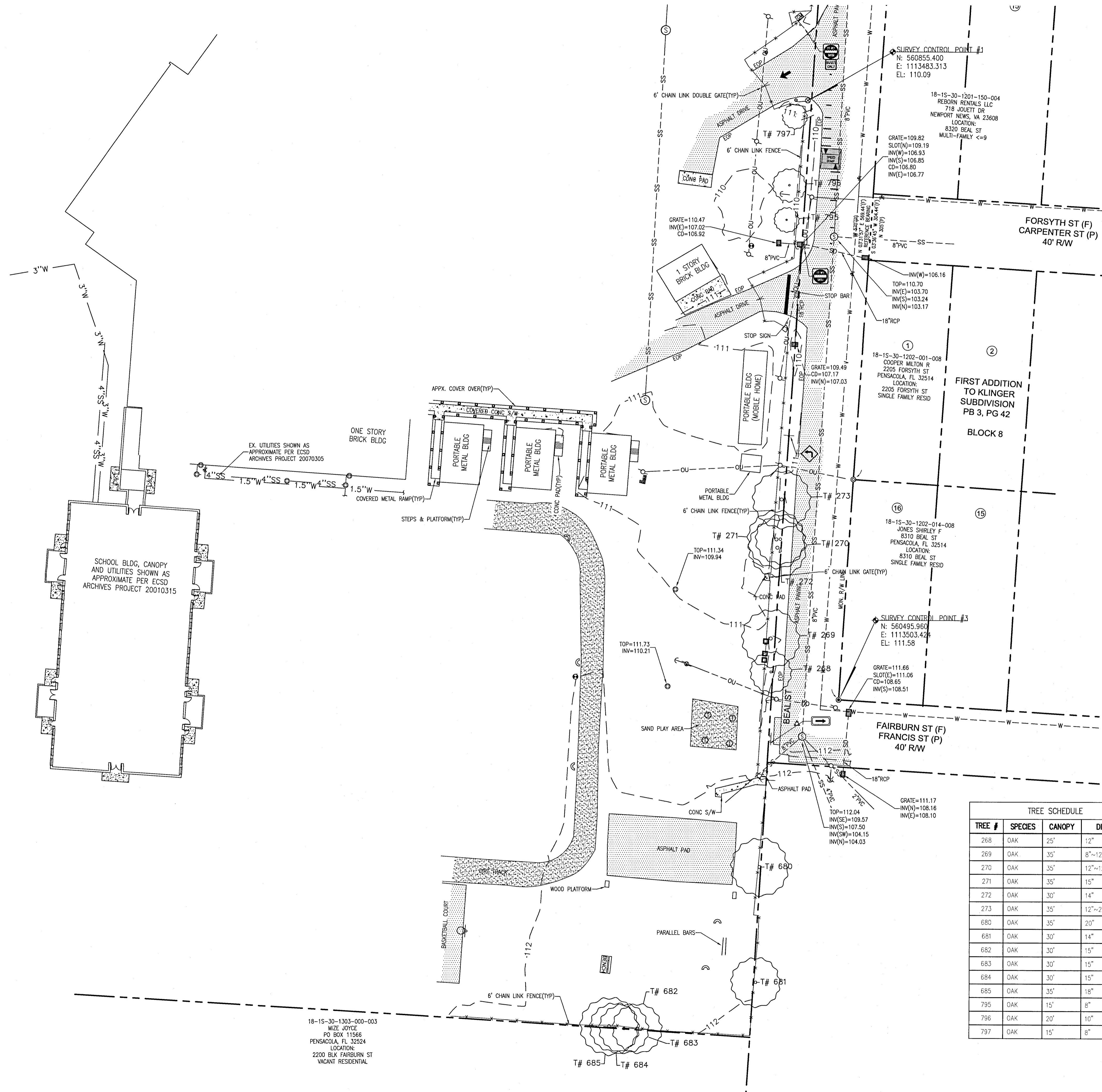


WELLHEAD PROTECTION AREA  
(20-YR CONTOUR)

30' 0 30' 60'  
SCALE: 1"=30' (Horiz.)



**EXISTING CONDITIONS**



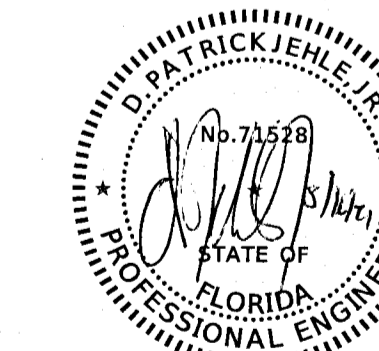
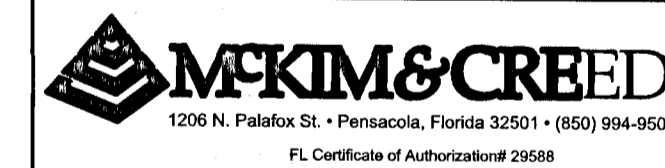
TREE SCHEDULE			
TREE #	SPECIES	CANOPY	DIAMETER
268	OAK	25'	12"
269	OAK	35'	8"-12"-12" SPLIT
270	OAK	35'	12"-12" SPLIT
271	OAK	35'	15"
272	OAK	30'	14"
273	OAK	35'	12"-24" SPLIT
680	OAK	35'	20"
681	OAK	30'	14"
682	OAK	30'	15"
683	OAK	30'	15"
684	OAK	30'	15"
685	OAK	35'	18"
795	OAK	15'	8"
796	OAK	20'	10"
797	OAK	15'	8"

18-15-30-1303-000-003  
MIZE JOHCE  
PO BOX 11566  
PENSACOLA, FL 32524  
LOCATION:  
2200 BLK FAIRBURN ST  
VACANT RESIDENTIAL



LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
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	BASKETBALL HOOP
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	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

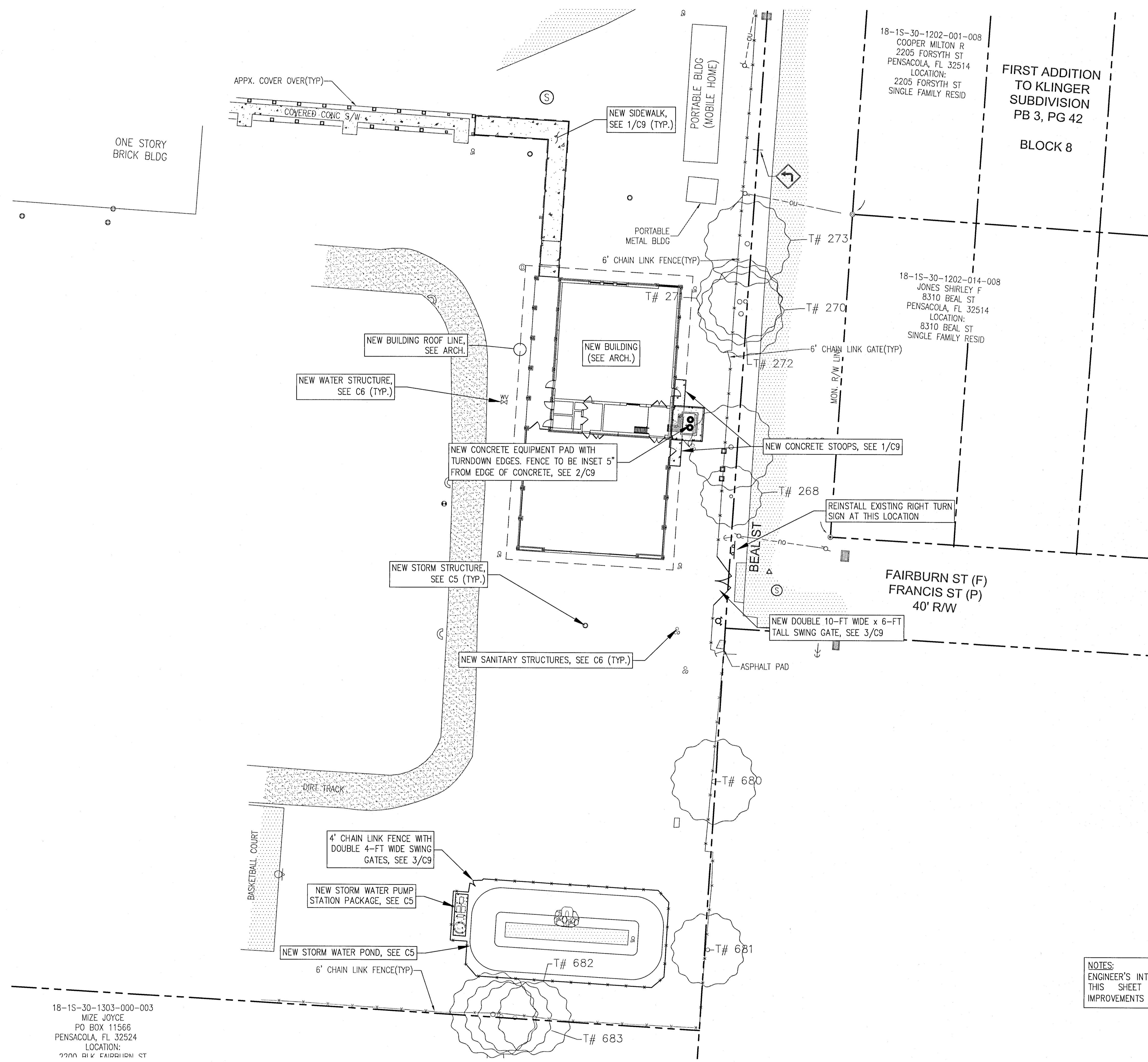


D. PATRICK JEHL, JR.  
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**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

Date:  
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Project No.  
07615-0009

Sheet No.  
**C2**



18-1S-30-1303-000-003  
MIZE JOYCE  
PO BOX 11566  
PENSACOLA, FL 32524  
LOCATION:  
2200 BLK FAIRBURN ST

18-1S-30-1202-001-008  
COOPER, MILTON R  
2205 FORSYTH ST  
PENSACOLA, FL 32514  
LOCATION:  
2205 FORSYTH ST  
SINGLE FAMILY RESID

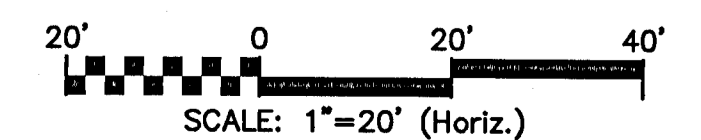
FIRST ADDITION  
TO KLINGER  
SUBDIVISION  
PB 3, PG 42  
BLOCK 8

18-1S-30-1202-014-008  
JONES SHIRLEY F  
8310 BEAL ST  
PENSACOLA, FL 32514  
LOCATION:  
8310 BEAL ST  
SINGLE FAMILY RESID

FAIRBURN ST (F)  
FRANCIS ST (P)  
40' R/W

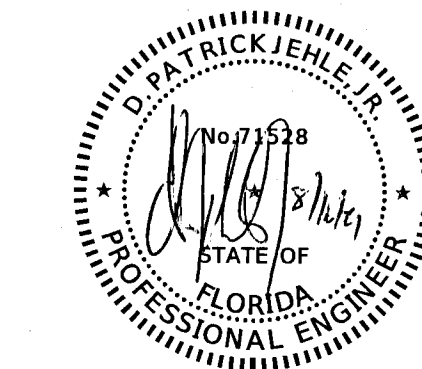
**SITE IMPROVEMENTS PLAN**

NOTES:  
ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR



LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
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	SOD



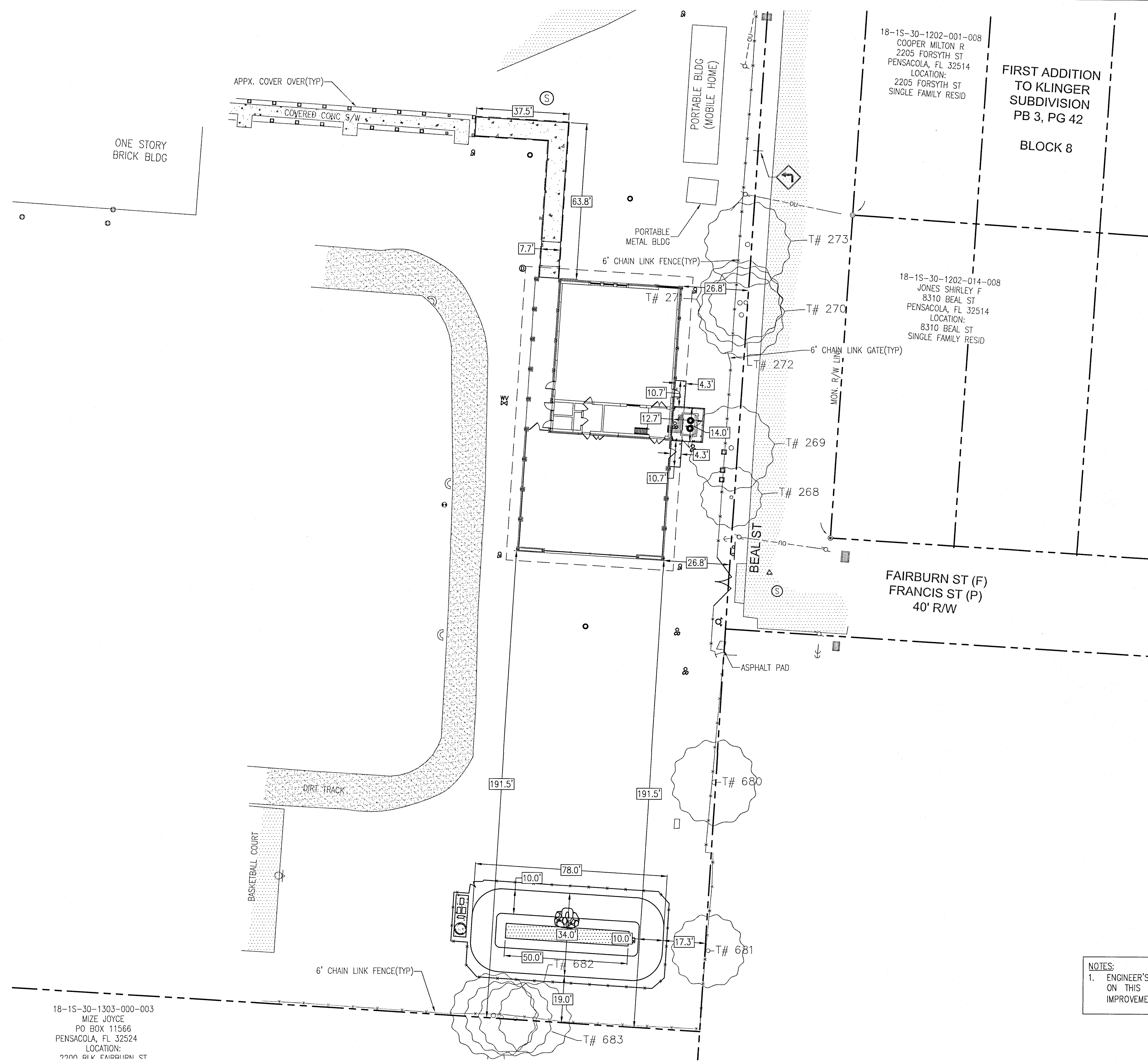
D. PATRICK JEHLE, JR.  
P.E. 71528

Project  
**Covered Play Area and  
Multi-Purpose Room**  
Ferry Pass Elementary

Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C3**



18-1S-30-1303-000-003  
MIZE JOYCE  
PO BOX 11566  
PENSACOLA, FL 32524  
LOCATION:  
2200 BLK FAIRBURN ST

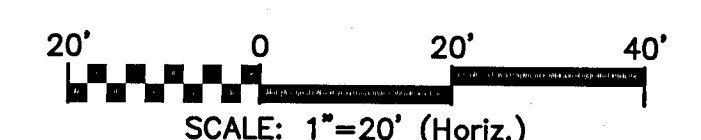
18-1S-30-1202-001-008  
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LOCATION:  
2205 FORSYTH ST  
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FIRST ADDITION  
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SUBDIVISION  
PB 3, PG 42  
BLOCK 8

18-1S-30-1202-014-008  
JONES SHIRLEY F  
8310 BEAL ST  
PENSACOLA, FL 32514  
LOCATION:  
8310 BEAL ST  
SINGLE FAMILY RESID

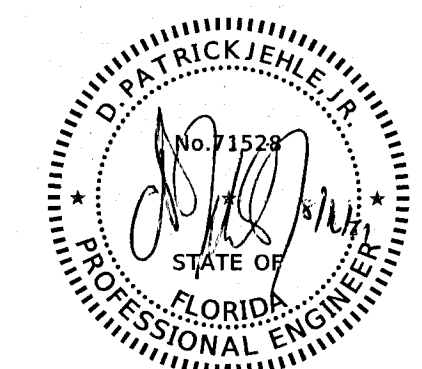
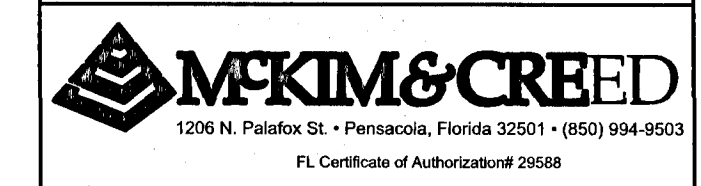
NOTES:  
1. ENGINEER'S INTENT FOR PLAN PRESENTATION  
ON THIS SHEET IS TO INDICATE PROPOSED  
IMPROVEMENTS AS BOLD/DARKER IN COLOR.

SITE DIMENSIONING PLAN



LEGEND:

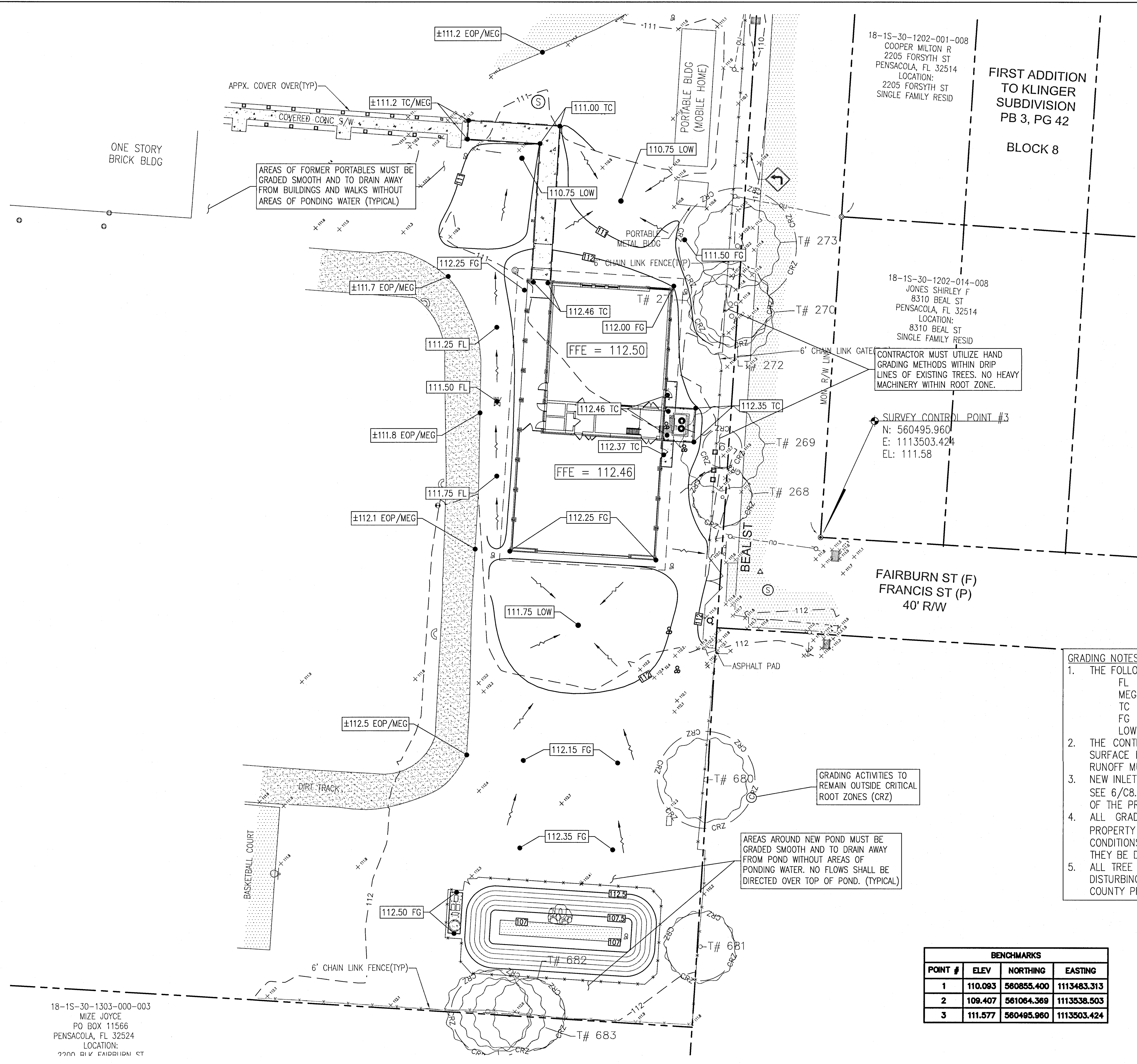
- CHAIN LINK FENCE
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- ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
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- CONCRETE
- SOD



D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and Multi-Purpose Room**  
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Escambia County School District  
Pensacola, Florida

Date: 8/16/2021  
Project No. 07615-0009  
Sheet No. **C4**



18-1S-30-1202-001-008  
COOPER MILTON R  
2205 FORSYTH ST  
PENSACOLA, FL 32514  
LOCATION:  
2205 FORSYTH ST  
SINGLE FAMILY RESID  
**BLOCK 8**

18-1S-30-1202-014-008  
JONES SHIRLEY F  
8310 BEAL ST  
PENSACOLA, FL 32514  
LOCATION:  
8310 BEAL ST  
SINGLE FAMILY RESID

SURVEY CONTROL POINT #3  
N: 560495.960  
E: 1113503.424  
EL: 111.58

FAIRBURN ST (F)  
FRANCIS ST (P)  
40' R/W

- GRADING NOTES:**
- THE FOLLOWING ABBREVIATIONS APPLY:  
FL = FLOW LINE  
MEG = MATCH EXISTING GRADE  
TC = TOP OF CONCRETE  
FG = FINISHED GRADE  
LOW = LOW POINT
  - THE CONTRACTOR IS RESPONSIBLE FOR GRADING SITE TO ACHIEVE PROPOSED SURFACE FLOW PATTERNS AS INDICATED BY SPOT ELEVATIONS. IN ALL CASES, RUNOFF MUST BE DIRECTED AWAY FROM BUILDINGS, WALKS AND PADS.
  - NEW INLETS MUST IMMEDIATELY RECEIVE INLET PROTECTION AFTER INSTALLATION, SEE 6/C8. INLET PROTECTION MUST BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
  - ALL GRADING ACTIVITIES ARE PROPOSED TO BE COMPLETED WITHIN THE PROPERTY LIMITS. THE CONTRACTOR MUST REPAIR/REPLACE TO ORIGINAL CONDITIONS ANY AREAS, PARTICULARLY WITHIN THE RIGHT-OF-WAY, SHOULD THEY BE DISTURBED.
  - ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER LAND DISTURBING ACTIVITIES MUST BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

GRADING ACTIVITIES TO REMAIN OUTSIDE CRITICAL ROOT ZONES (CRZ)

AREAS AROUND NEW POND MUST BE GRADED SMOOTH AND TO DRAIN AWAY FROM POND WITHOUT AREAS OF PONDING WATER. NO FLOWS SHALL BE DIRECTED OVER TOP OF POND. (TYPICAL)

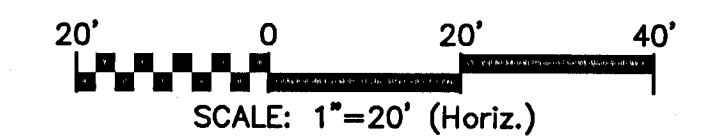
AREAS OF FORMER PORTABLES MUST BE GRADED SMOOTH AND TO DRAIN AWAY FROM BUILDINGS AND WALKS WITHOUT AREAS OF PONDING WATER (TYPICAL)

BENCHMARKS			
POINT #	ELEV	NORTHING	EASTING
1	110.093	560855.400	1113483.313
2	109.407	561064.369	1113538.503
3	111.577	560495.960	1113503.424

NOTES:  
1. ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED GRADES AS BOLD/DARKER IN COLOR.

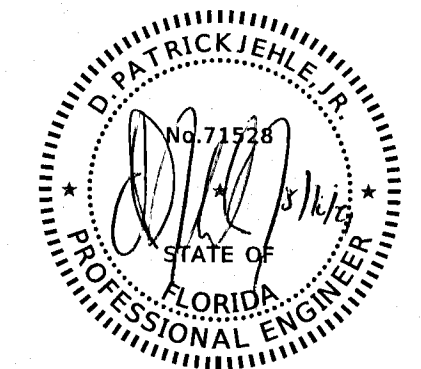
18-1S-30-1303-000-003  
MIZE JOYCE  
PO BOX 11566  
PENSACOLA, FL 32524  
LOCATION:  
7700 BIK EMERSON ST

**SITE GRADING PLAN**



LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILTY FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	BACK FLOW PREVENTER
	WATER VAULT
	SEWER MANHOLE
	CLEANOUT
	ELECTRIC BOX
	GAS METER
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	PLAYGROUND TOY
	HALF-BURIED TIRE
	GATE-STOP BOLLARD
	WOOD POST
	METAL POST
	SINGLE SUPPORT SIGN
	DOUBLE SUPPORT SIGN
	BASKETBALL HOOP
	BENCH
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD



D. PATRICK JEHL, JR.  
P.E. 71528

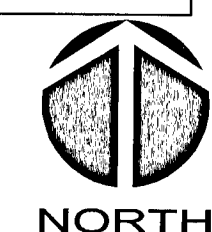
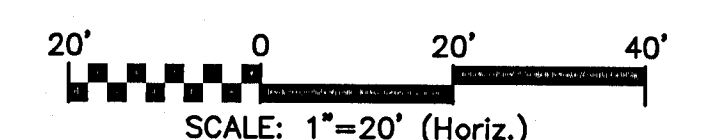
Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary

Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C5**

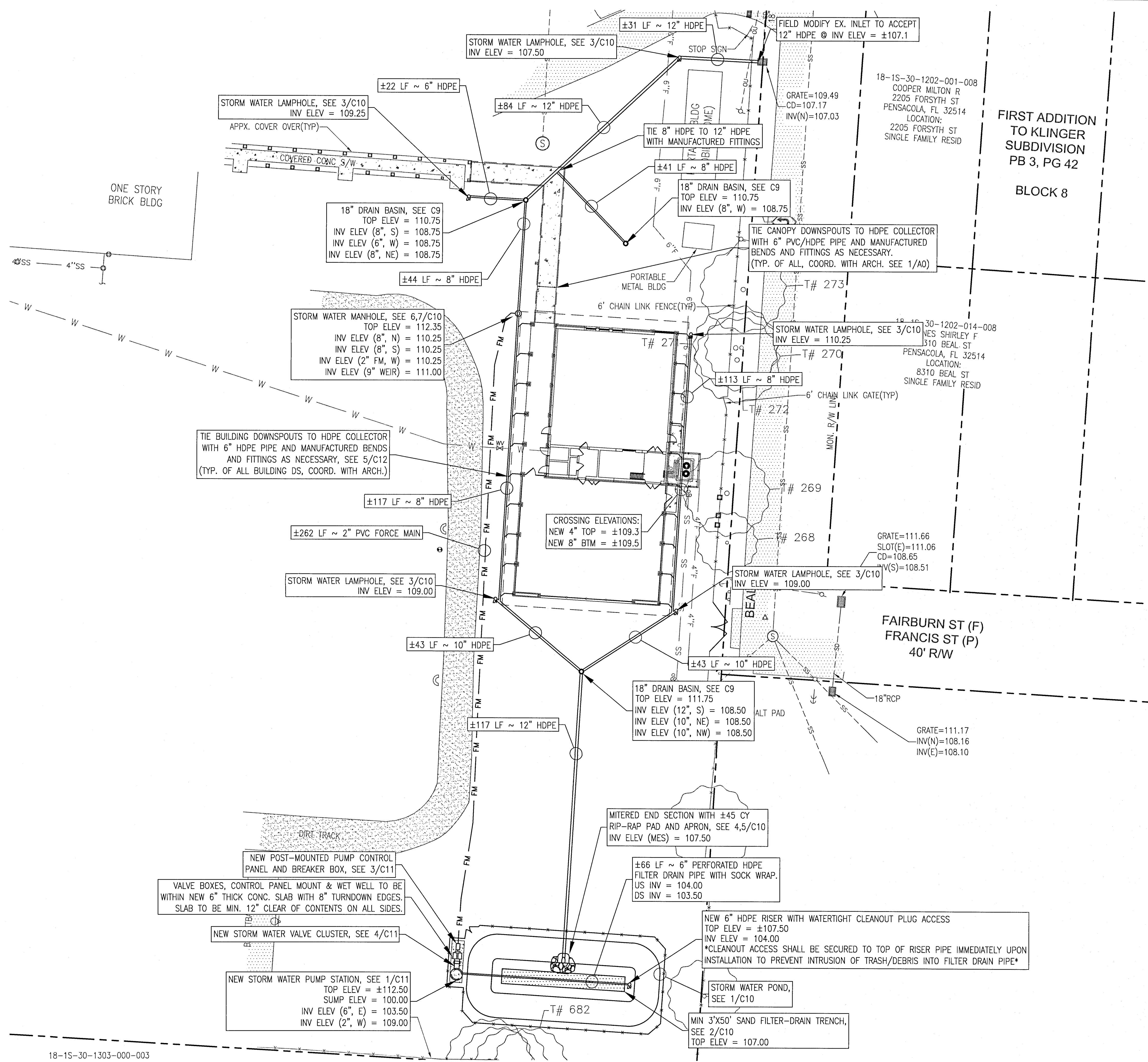
- NOTES:
- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR.
  - ALL REFERENCES TO HDPE SHALL BE UNDERSTOOD TO MEAN ADS N-12 DUAL WALL PIPE WITH WATER-TIGHT FITTINGS.
  - ALL NEW STORM STRUCTURES MUST BE PROTECTED WITH INLET PROTECTION MEASURES FROM THE TIME THEY ARE INSTALLED, WITH MEASURES MAINTAINED THROUGHOUT CONSTRUCTION, SEE 6/C8.



PERMIT SET NOT FOR CONSTRUCTION

**SITE STORM WATER PLAN**

18-15-30-1303-000-003



18-15-30-1202-001-008  
COOPER MILTON R.  
2205 FORSYTH ST  
PENSACOLA, FL 32514  
LOCATION:  
2205 FORSYTH ST  
SINGLE FAMILY RESID

FIRST ADDITION  
TO KLINGER  
SUBDIVISION  
PB 3, PG 42  
BLOCK 8

18-15-30-1202-014-008  
NES SHIRLEY F  
310 BEAL ST  
PENSACOLA, FL 32514  
LOCATION:  
8310 BEAL ST  
SINGLE FAMILY RESID

CROSSING ELEVATIONS:  
NEW 4" TOP = ±109.3  
NEW 8" BTM = ±109.5

VALVE BOXES, CONTROL PANEL MOUNT & WET WELL TO BE WITHIN NEW 6" THICK CONC. SLAB WITH 8" TURNDOWN EDGES. SLAB TO BE MIN. 12" CLEAR OF CONTENTS ON ALL SIDES.

MITERED END SECTION WITH ±45 CY RIP-RAP PAD AND APRON, SEE 4,5/C10 INV ELEV (MES) = 107.50

±66 LF ~ 6" PERFORATED HDPE FILTER DRAIN PIPE WITH SOCK WRAP. US INV = 104.00 DS INV = 103.50

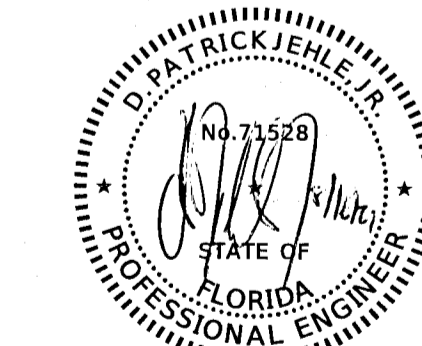
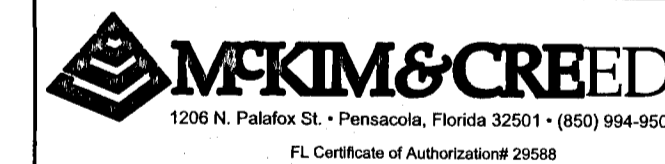
NEW 6" HDPE RISER WITH WATERTIGHT CLEANOUT PLUG ACCESS TOP ELEV = ±107.50 INV ELEV = 104.00 \*CLEANOUT ACCESS SHALL BE SECURED TO TOP OF RISER PIPE IMMEDIATELY UPON INSTALLATION TO PREVENT INTRUSION OF TRASH/DEBRIS INTO FILTER DRAIN PIPE\*

MIN 3'x50' SAND FILTER-DRAIN TRENCH, SEE 2/C10 TOP ELEV = 107.00



LEGEND:

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	BACK FLOW PREVENTER
	WATER VAULT
	SEWER MANHOLE
	CLEANOUT
	ELECTRIC BOX
	GAS METER
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	PLAYGROUND TOY
	HALF-BURIED TIRE
	GATE-STOP BOLLARD
	WOOD POST
	METAL POST
	SINGLE SUPPORT SIGN
	DOUBLE SUPPORT SIGN
	BASKETBALL HOOP
	BENCH
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

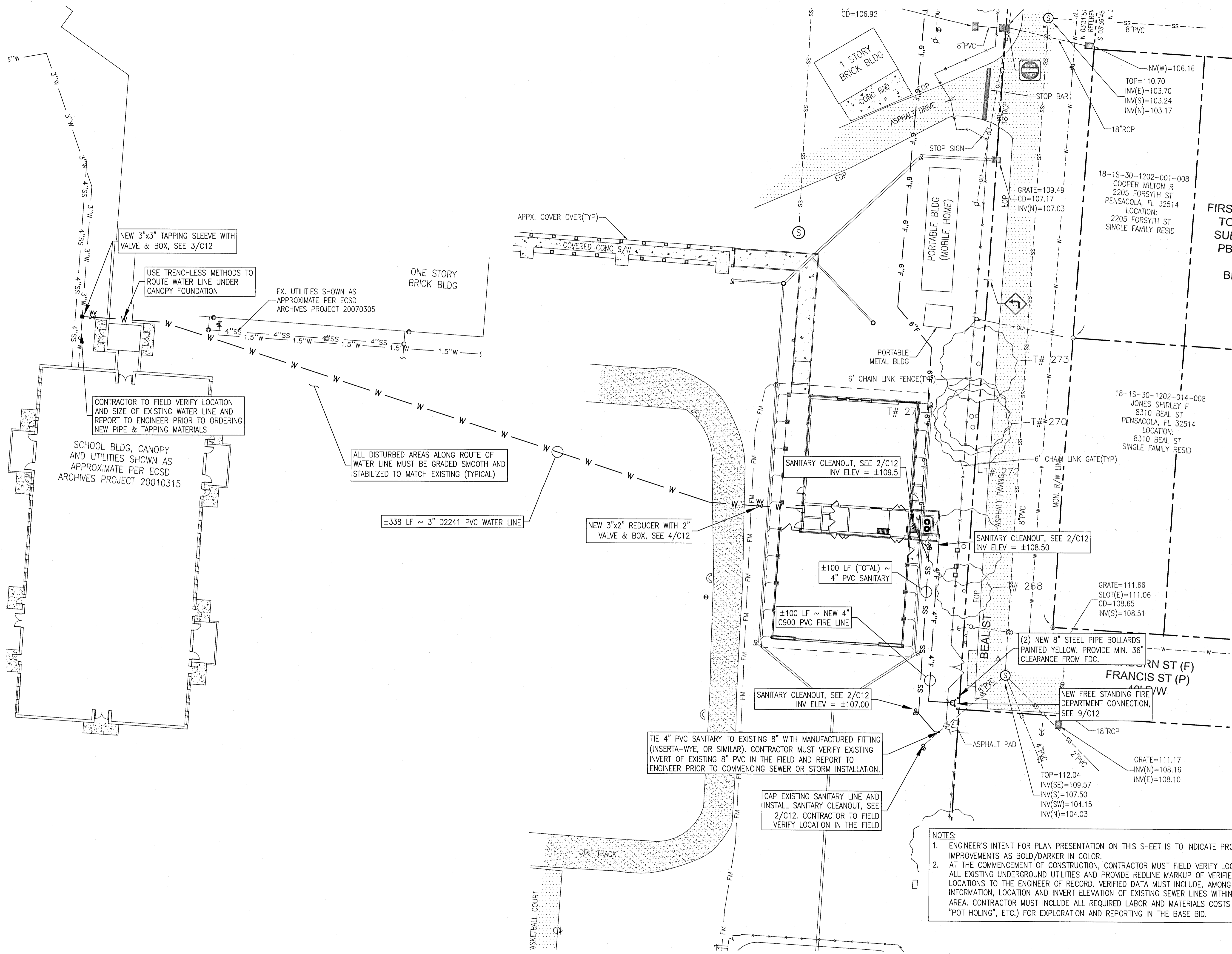


D. PATRICK JEHLE, JR.  
P.E. 71528

Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

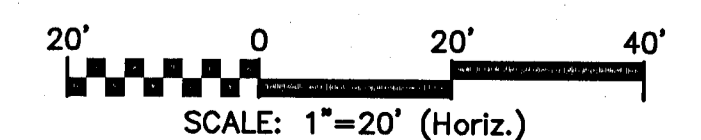
Date:  
8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C6**



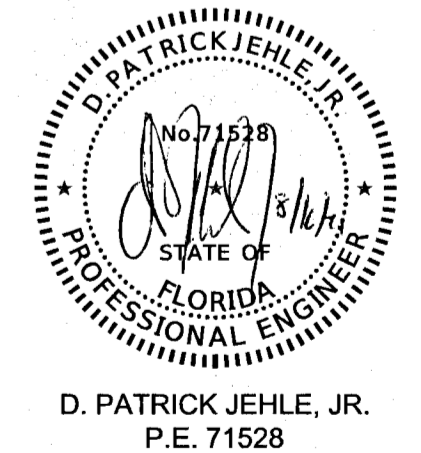
**SITE UTILITY PLAN**

NOTES:  
1. ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR.  
2. AT THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR MUST FIELD VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND PROVIDE REDLINE MARKUP OF VERIFIED UTILITY LOCATIONS TO THE ENGINEER OF RECORD. VERIFIED DATA MUST INCLUDE, AMONG OTHER INFORMATION, LOCATION AND INVERT ELEVATION OF EXISTING SEWER LINES WITHIN PROJECT AREA. CONTRACTOR MUST INCLUDE ALL REQUIRED LABOR AND MATERIALS COSTS (GPR, "POT HOLING", ETC.) FOR EXPLORATION AND REPORTING IN THE BASE BID.



**LEGEND:**

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	BACK FLOW PREVENTER
	WATER VAULT
	SEWER MANHOLE
	CLEANOUT
	ELECTRIC BOX
	GAS METER
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	PLAYGROUND TOY
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	METAL POST
	SINGLE SUPPORT SIGN
	DOUBLE SUPPORT SIGN
	BASKETBALL HOOP
	BENCH
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

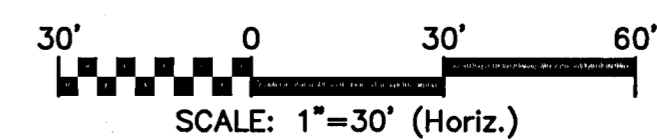


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P.E. 71528

Project  
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Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

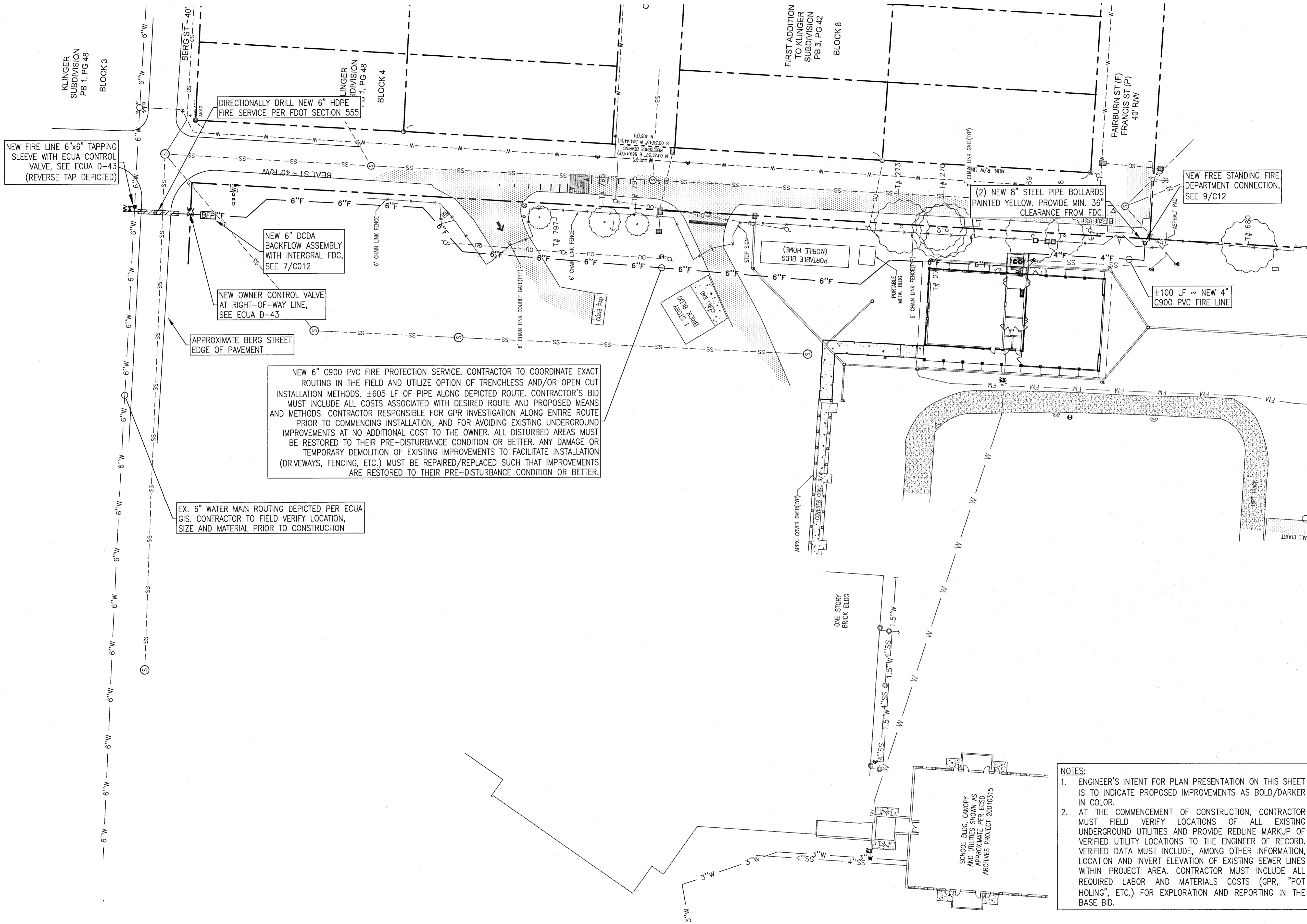
Date:  
8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C6.1**



PERMIT SET NOT FOR CONSTRUCTION

**FIRE SERVICE ROUTING PLAN**



**NOTES:**

- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR.
- AT THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR MUST FIELD VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES AND PROVIDE REDLINE MARKUP OF VERIFIED UTILITY LOCATIONS TO THE ENGINEER OF RECORD. VERIFIED DATA MUST INCLUDE, AMONG OTHER INFORMATION, LOCATION AND INVERT ELEVATION OF EXISTING SEWER LINES WITHIN PROJECT AREA. CONTRACTOR MUST INCLUDE ALL REQUIRED LABOR AND MATERIALS COSTS (GPR, "POT HOLLING", ETC.) FOR EXPLORATION AND REPORTING IN THE BASE BID.

LEGEND:

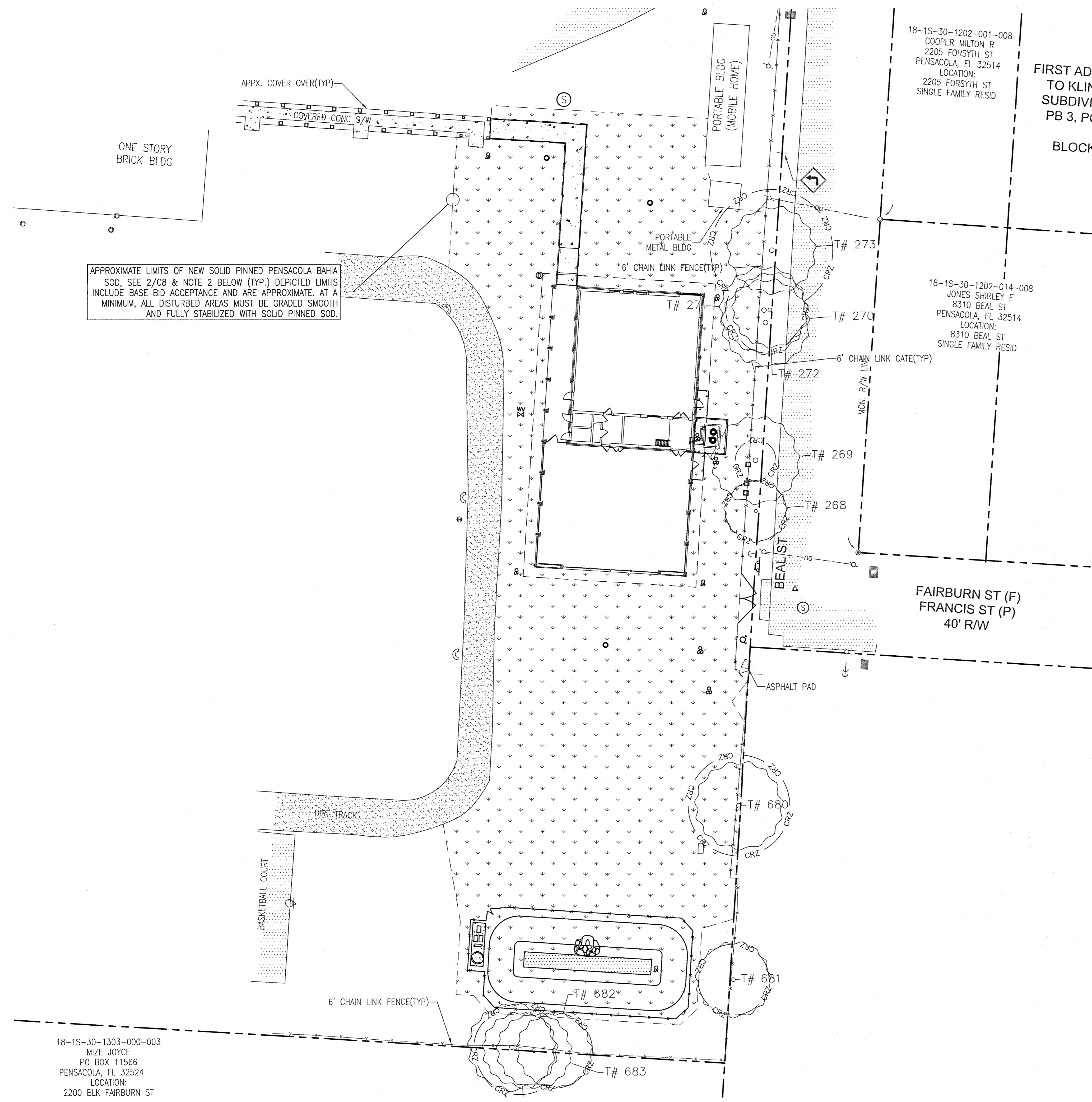
	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	BACK FLOW PREVENTER
	WATER VAULT
	SEWER MANHOLE
	CLEANOUT
	ELECTRIC BOX
	GAS METER
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	PLAYGROUND TOY
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	METAL POST
	SINGLE SUPPORT SIGN
	DOUBLE SUPPORT SIGN
	BASKETBALL HOOP
	BENCH
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

TREE LEGEND:

TREE SCHEDULE					
TREE #	SPECIES	CANOPY	DIAMETER	REMOVE	PROTECTED
268	OAK	25'	12"	NO	YES
269	OAK	35'	8"-12"-12" SPLIT	NO	YES
270	OAK	35'	12"-12" SPLIT	NO	YES
271	OAK	35'	15"	NO	YES
272	OAK	30'	14"	NO	YES
273	OAK	35'	12"-24" SPLIT	NO	YES
680	OAK	35'	20"	NO	YES
681	OAK	30'	14"	NO	YES
682	OAK	30'	15"	NO	YES
683	OAK	30'	15"	NO	YES
684	OAK	30'	15"	NO	YES
685	OAK	35'	18"	NO	YES
795	OAK	15'	8"	NO	YES
796	OAK	20'	10"	NO	YES
797	OAK	15'	8"	NO	YES

NOTES:

- ENGINEER'S INTENT FOR PLAN PRESENTATION ON THIS SHEET IS TO INDICATE PROPOSED IMPROVEMENTS AS BOLD/DARKER IN COLOR
- THE CONTRACTOR WILL BE RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT. TREES NOT BEING REMOVED MUST BE PROTECTED PER DETAILS PRESENTED IN THE PLANS.
- THERE ARE NO REQUIRED MITIGATION PLANTINGS AND NO PROTECTED TREES ARE TO BE REMOVED.
- ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER LAND DISTURBING ACTIVITIES MUST BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.



APPROXIMATE LIMITS OF NEW SOLID PINNED PENSACOLA BAHIA SOD, SEE 2/C8 & NOTE 2 BELOW (TYP.) DEPICTED LIMITS INCLUDE BASE BID ACCEPTANCE AND ARE APPROXIMATE. AT A MINIMUM, ALL DISTURBED AREAS MUST BE GRADED SMOOTH AND FULLY STABILIZED WITH SOLID PINNED SOD.

18-1S-30-1303-000-003  
MIZE, JOYCE  
PO BOX 11566  
PENSACOLA, FL 32524  
LOCATION:  
2200 BLK FAIRBURN ST

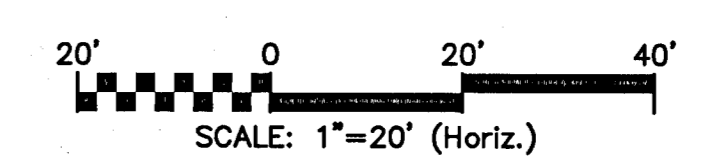
18-1S-30-1202-001-008  
COOPER MILTON R  
2205 FORSYTH ST  
PENSACOLA, FL 32514  
LOCATION:  
2205 FORSYTH ST  
SINGLE FAMILY RESID

FIRST ADC  
TO KLIN  
SUBDIVIS  
PB 3, PG  
BLOCK

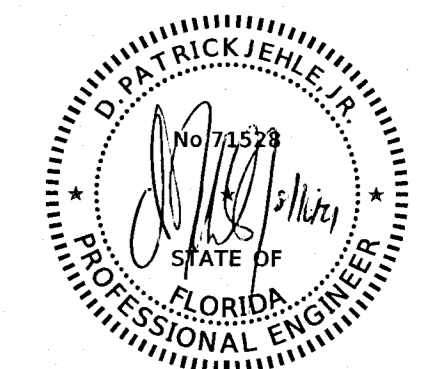
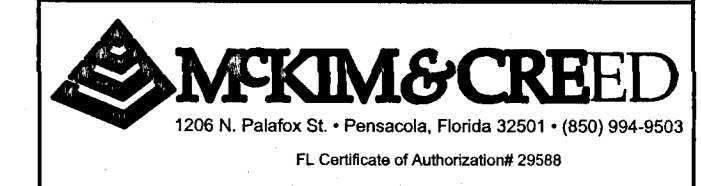
18-1S-30-1202-014-008  
JONES SHIRLEY F  
8310 BEAL ST  
PENSACOLA, FL 32514  
LOCATION:  
8310 BEAL ST  
SINGLE FAMILY RESID

FAIRBURN ST (F)  
FRANCIS ST (P)  
40' R/W

SITE LANDSCAPING PLAN



PERMIT SET NOT FOR CONSTRUCTION

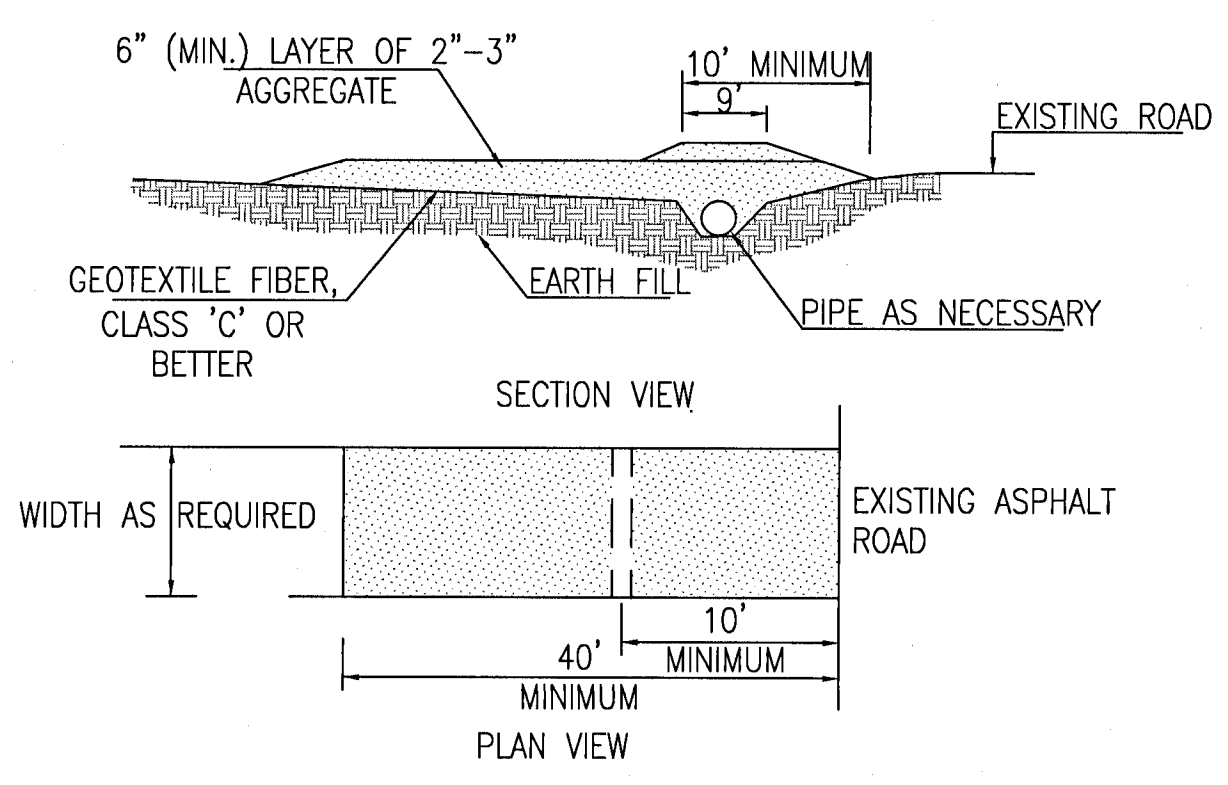


D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and  
Multi-Purpose Room  
Ferry Pass Elementary**  
Escambia County School District  
Pensacola, Florida

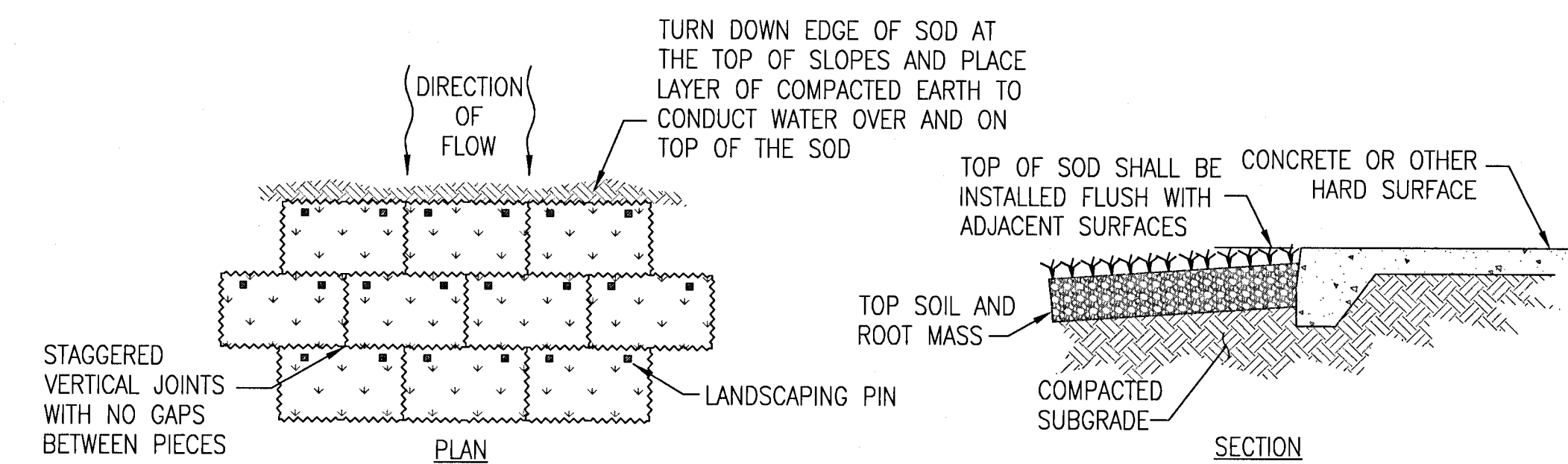
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**C7**



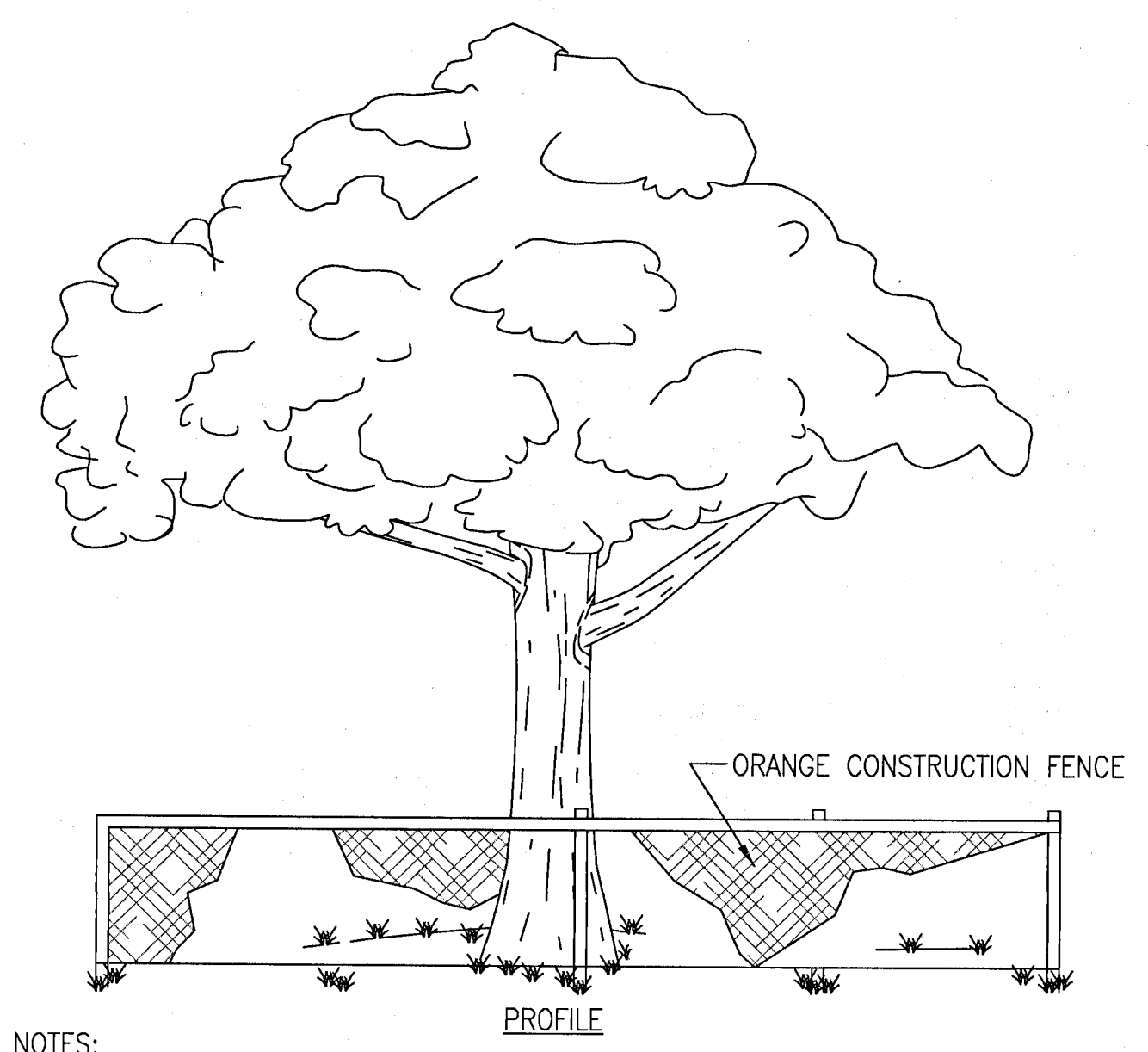
- NOTES:**
- CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL CONSTRUCTION MATERIAL DISLODGES CAKED MUD.
  - IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLUDGE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.
  - UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.

**ROCK CONSTRUCTION ACCESS** 1  
NOT TO SCALE C8



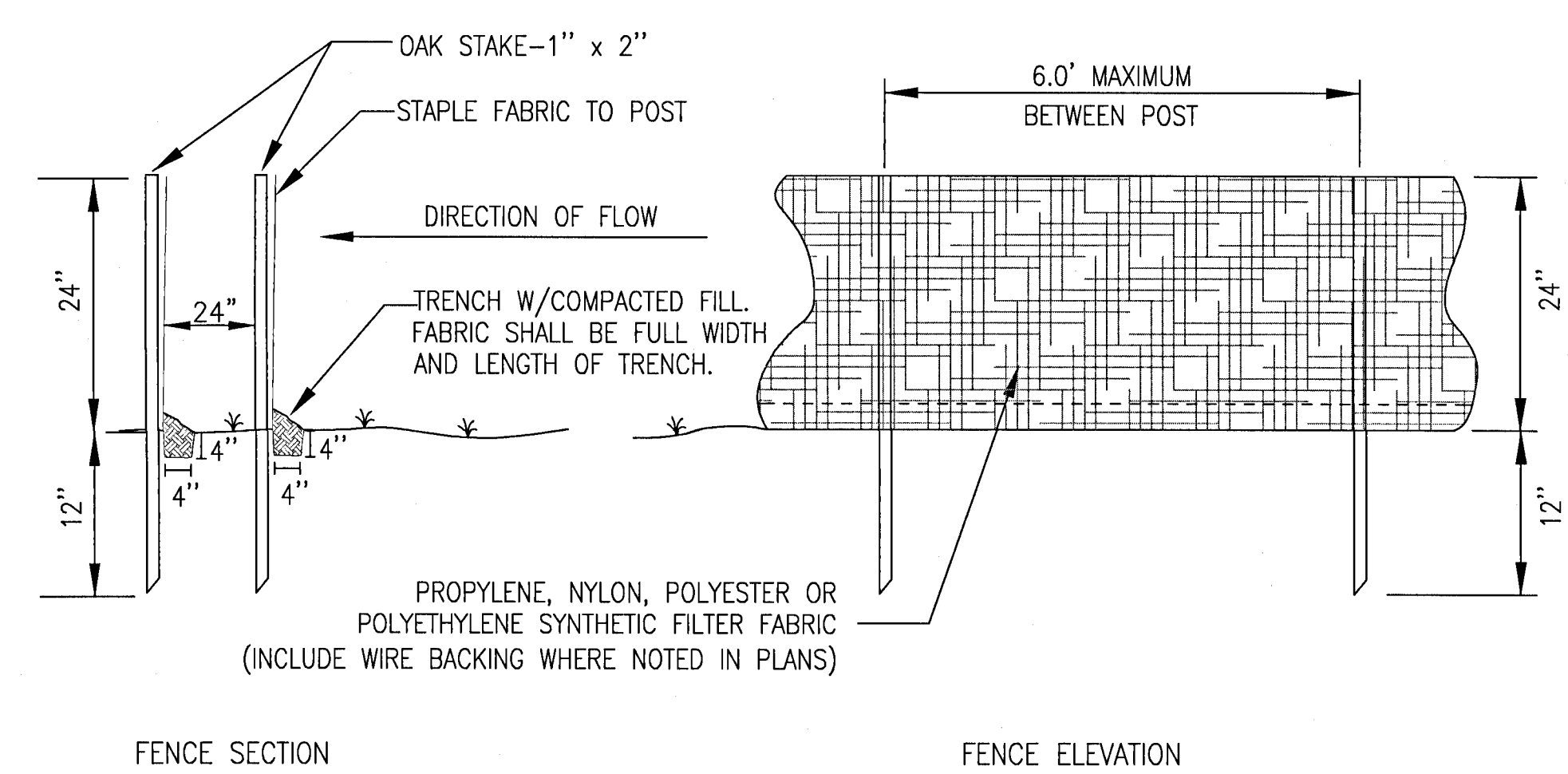
- NOTES:**
- SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
  - ALL SOD SHALL BE PENSACOLA BAHIA.
  - PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
  - SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
  - INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

**SODDING DETAIL** 2  
NOT TO SCALE C8

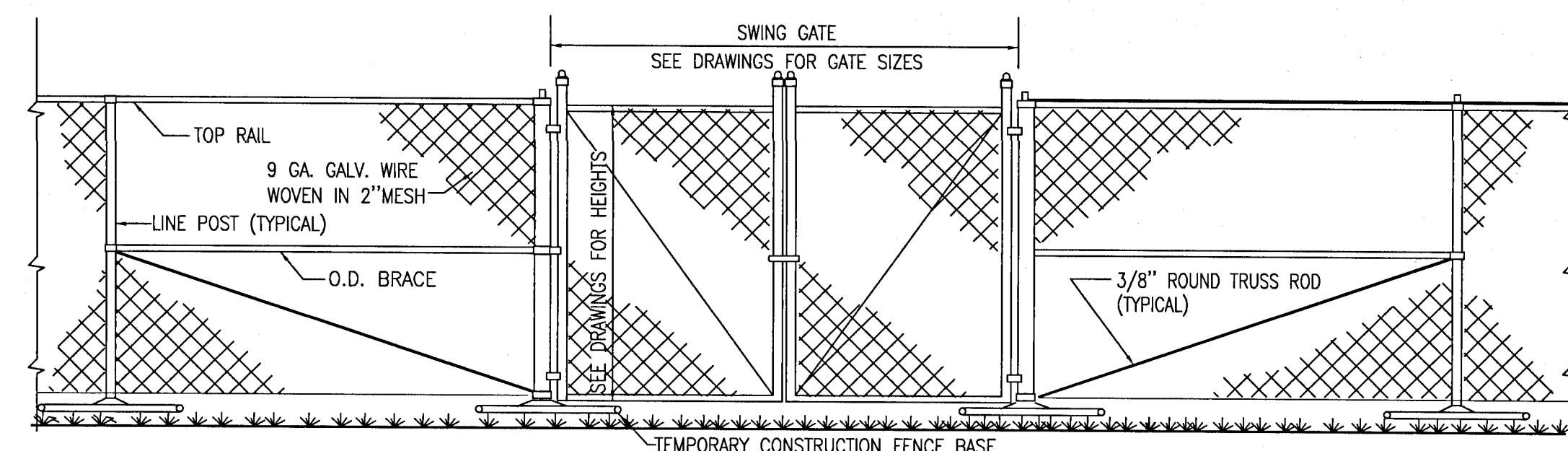


- NOTES:**
- FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE.
  - NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING OR ANY OTHER LAND DISTURBANCE ACTIVITIES AS DEFINED IN THE LDC.

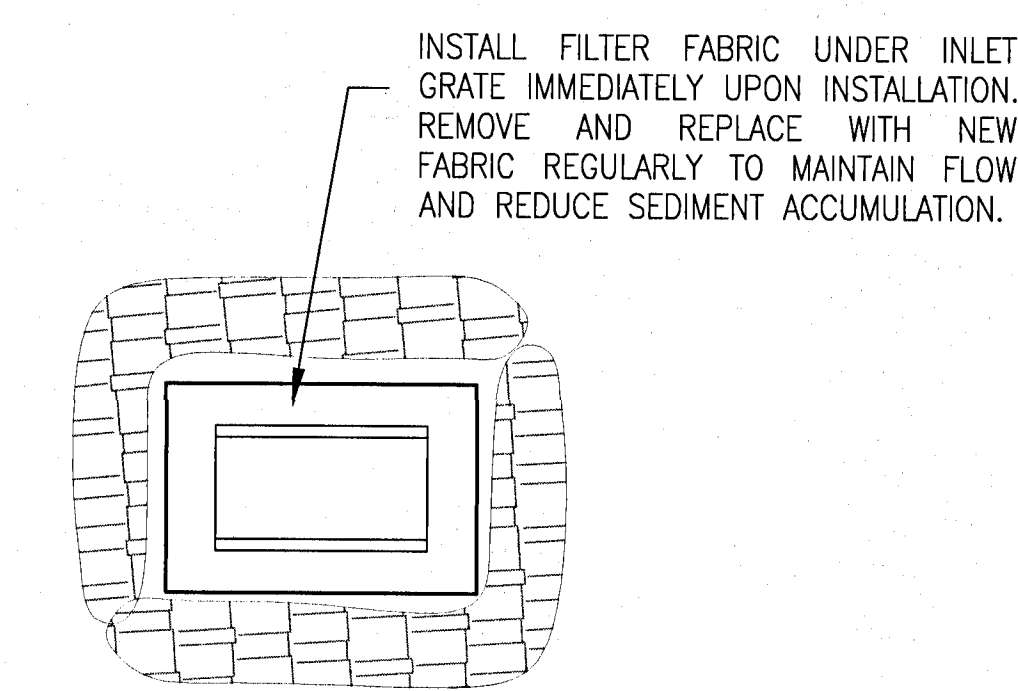
**TREE PROTECTION** 3  
NOT TO SCALE C8



**SILTATION FENCE** 4  
NOT TO SCALE C8



**TEMPORARY CHAIN LINK FENCE AND GATES** 5  
NOT TO SCALE C8

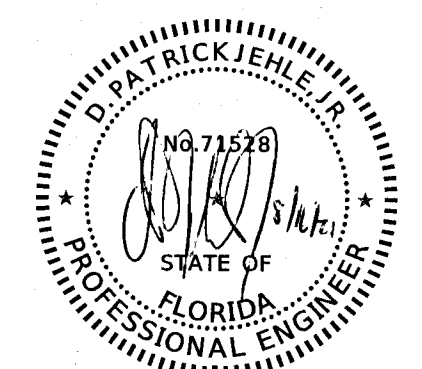
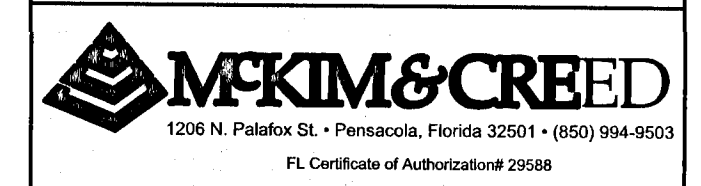


SYNTHETIC BALES OR SEDIMENT LOG SHALL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

**STORM WATER INLET PROTECTION** 6  
NOT TO SCALE C8

**LEGEND:**

— O —	FENCE GATE
— X —	CHAIN LINK FENCE
— / —	WOOD PANEL FENCE
— X —	MISCELLANEOUS FENCE
— SF —	SILT FENCE
— TP —	TREE PROTECTION
— OHU —	OVERHEAD UTILITIES
— G —	GAS LINE
— W —	WATER LINE
— SS —	SEWER LINE
— FM —	FORCE MAIN
— SD —	STORMWATER LINE
— B —	SET BENCHMARK
— DI —	DROP INLET
— BP —	BACK FLOW PREVENTER
— W —	WATER VAULT
— SM —	SEWER MANHOLE
— AN —	CLEANOUT
— EB —	ELECTRIC BOX
— GM —	GAS METER
— GWA —	GUY WIRE ANCHOR
— WUP —	WOOD UTILITY POLE
— PT —	PLAYGROUND TOY
— HBT —	HALF-BURIED TIRE
— GST —	GATE-STOP BOLLARD
— WP —	WOOD POST
— MP —	METAL POST
— SSP —	SINGLE SUPPORT SIGN
— DSP —	DOUBLE SUPPORT SIGN
— BH —	BASKETBALL HOOP
— B —	BENCH
— S —	SPOT ELEVATION
— E —	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
— A —	ASPHALT
— C —	CONCRETE
— S —	SOD



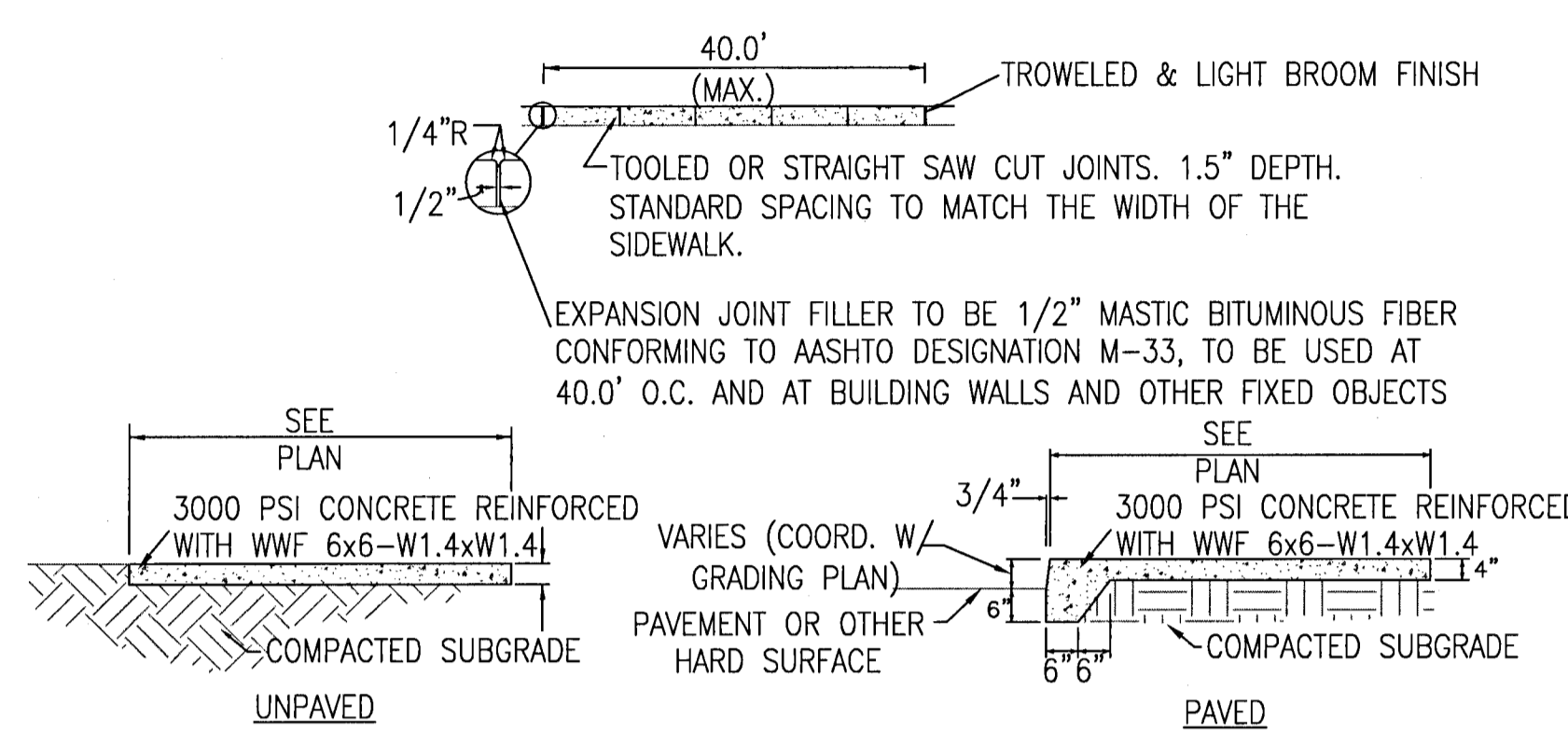
D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
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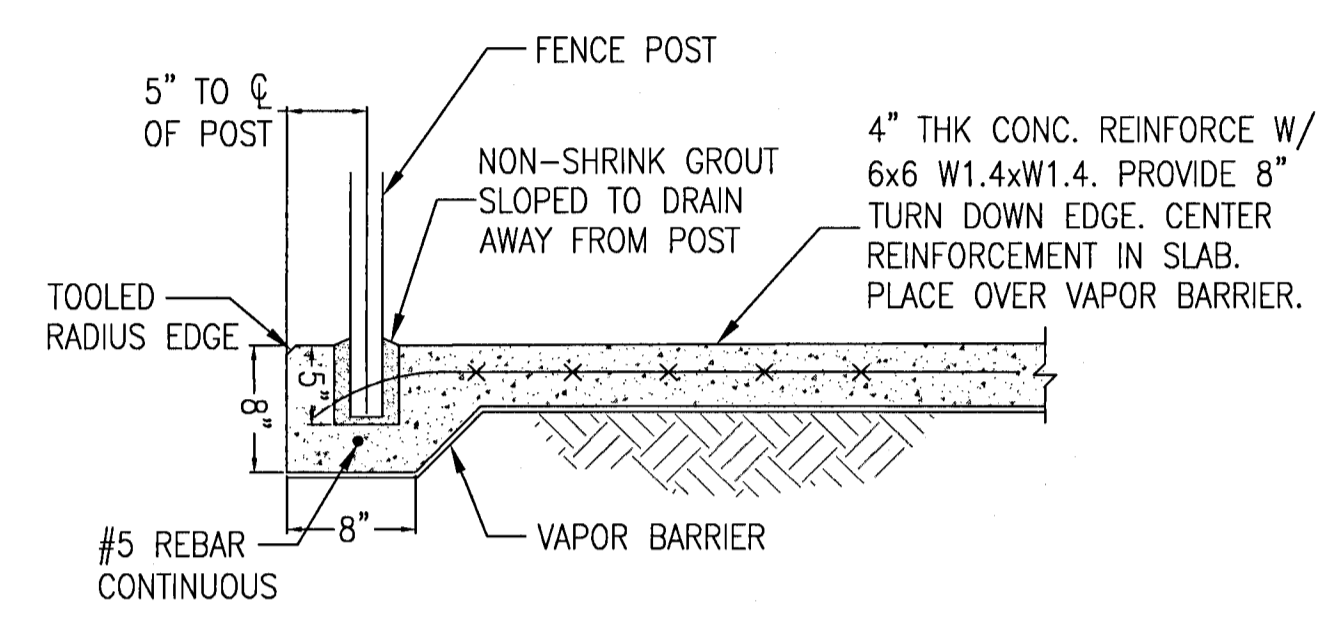
Sheet No.  
**C8**

**EROSION CONTROL DETAILS**

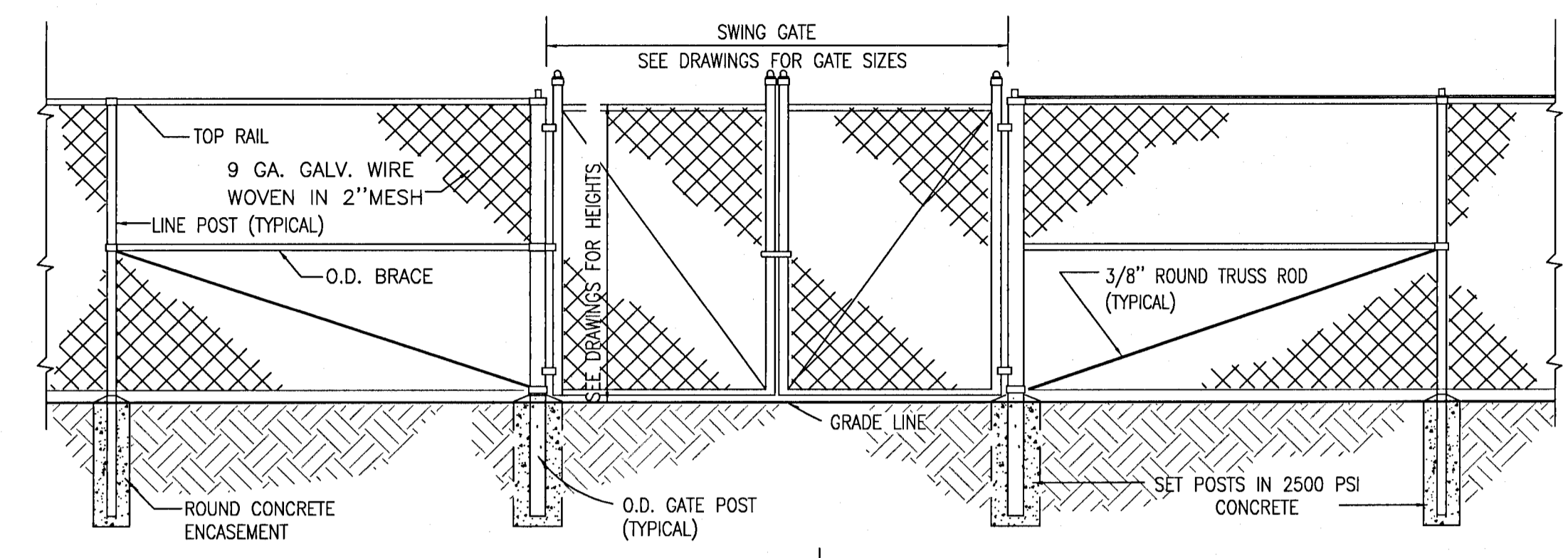


1. MAXIMUM CROSS SLOPE OF 2%.
2. MAXIMUM SURROUNDING GRADES 3% IN FIRST 5 FEET.
3. SEE SECTION 02750 CONCRETE PAVING FOR DETAILED REINFORCEMENT AND JOINT REQUIREMENTS.

**CONCRETE SIDEWALK 1**  
NOT TO SCALE



**EQUIPMENT PAD AND FENCE MOUNTING 2**  
NOT TO SCALE

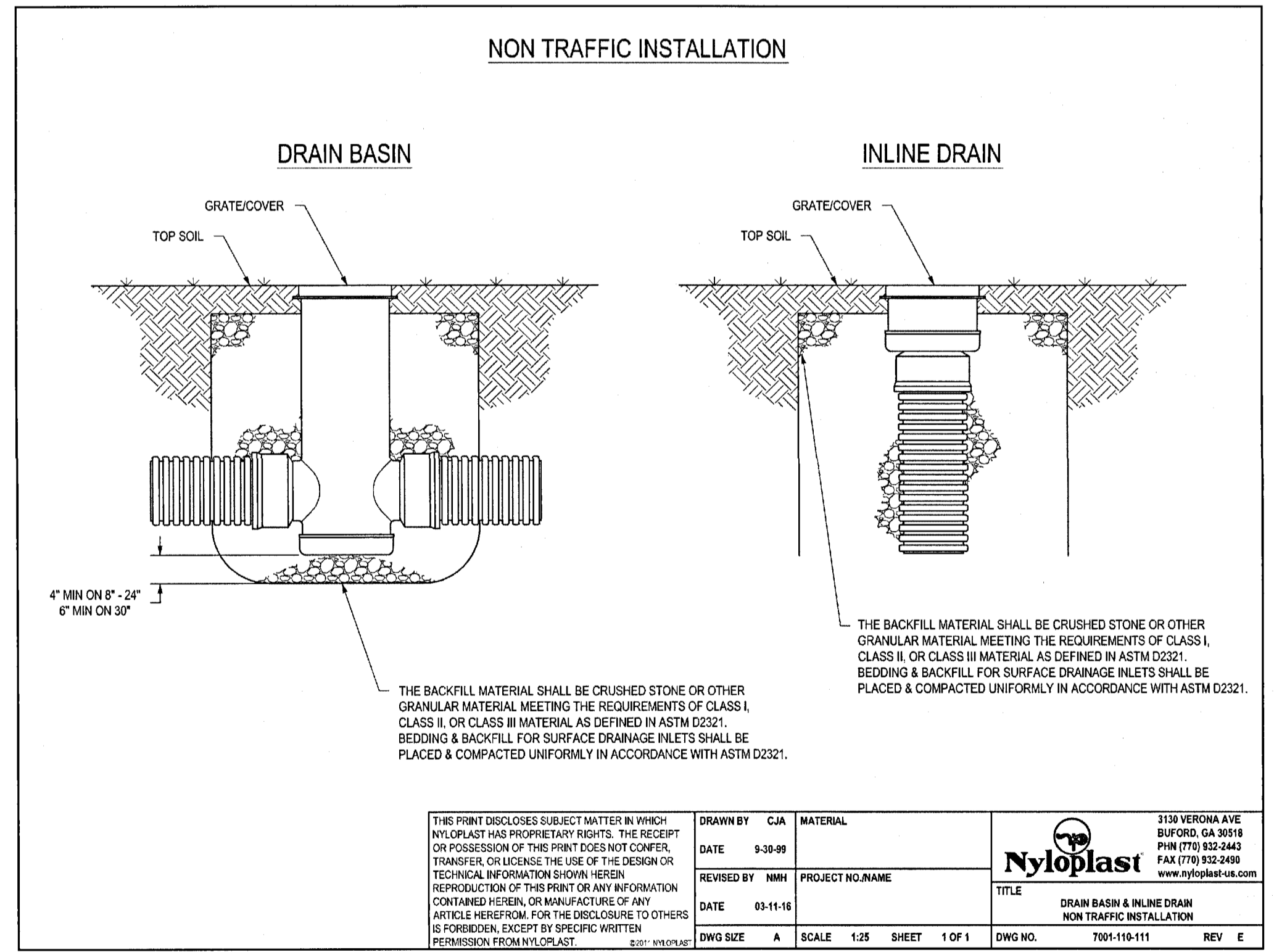


- FABRIC: K & K, 2" X 9 GAUGE, 2 OZ. G.A.W.
- TOP RAIL: 1.66" O.D. SS40
- LINEPOST: 2.00" O.D. SS40
- TERMPPOST: 2.5" O.D. SS40
- GATEPOST: 2.5" O.D. SS40
- DRIVE GATEPOST: 4" O.D. SS40
- GATEFRAME: 1-5/8" O.D. WITH CENTER BRACE SS20
- DRIVE GATEFRAME: 2" O.D. SS40
- TIES: TENSION WIRE: 9 GAUGE ALUMINUM NO. 7 GALVANIZED STEEL
- ALL CAPS AND HARDWARE: HOT DIPPED GALVANIZED STEEL
- POST SETTING: 10' ON CENTER AND FULL DEPTH IN CONCRETE OF 2500 PSI
- CONTRACTOR TO INCLUDE PROPOSED DESIGN WITH SHOP DRAWINGS / SUBMITTAL
- SEE DRAWINGS AND SPECIFICATIONS (COATED WHERE INDICATED)
- FINISHES & COATINGS

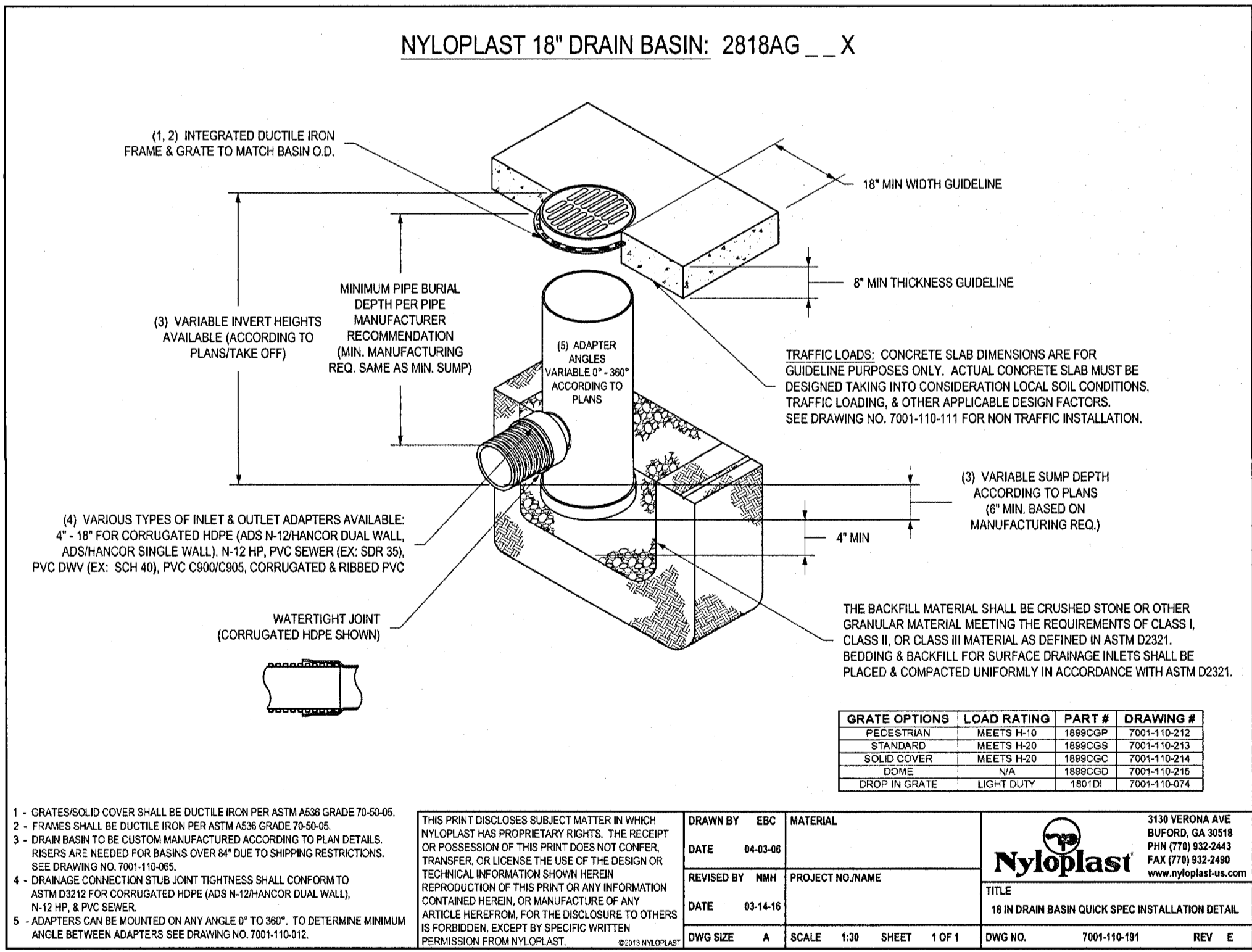
**CHAIN LINK FENCE AND GATES 3**  
NOT TO SCALE

**LEGEND:**

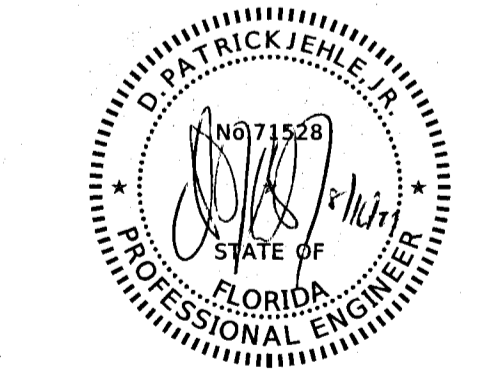
○	FENCE GATE
○	CHAIN LINK FENCE
▨	WOOD PANEL FENCE
X	MISCELLANEOUS FENCE
SF	SILT FENCE
TP	TREE PROTECTION
OHU	OVERHEAD UTILITIES
G	CHAIN LINE
W	WATER LINE
SS	SEWER LINE
FM	FORCE MAIN
SD	STORMWATER LINE
+	SET BENCHMARK
▽	DROP INLET
▽	BACK FLOW PREVENTER
○	WATER VAULT
○	SEWER MANHOLE
○	CLEANOUT
○	ELECTRIC BOX
○	GAS METER
○	GUY WIRE ANCHOR
○	WOOD UTILITY POLE
○	PLAYGROUND TOY
○	HALF-BURIED TIRE
○	GATE-STOP BOLLARD
○	WOOD POST
○	METAL POST
○	SINGLE SUPPORT SIGN
○	DOUBLE SUPPORT SIGN
○	BASKETBALL HOOP
○	BENCH
○	SPOT ELEVATION
○	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
▨	ASPHALT
▨	CONCRETE
▨	SOD



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DRAWN BY	CJA	MATERIAL
DATE	9-30-09	
REVISD BY	NMH	PROJECT NO. NAME
DATE	03-11-16	
DWG SIZE	A	SCALE 1:35 SHEET 1 OF 1
DWG NO.	7001-110-111	REV E



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DRAWN BY	EBG	MATERIAL
DATE	04-03-08	
REVISD BY	NMH	PROJECT NO. NAME
DATE	03-11-16	
DWG SIZE	A	SCALE 1:35 SHEET 1 OF 1
DWG NO.	7001-110-191	REV E



D. PATRICK JEHL, JR.  
P.E. 71528

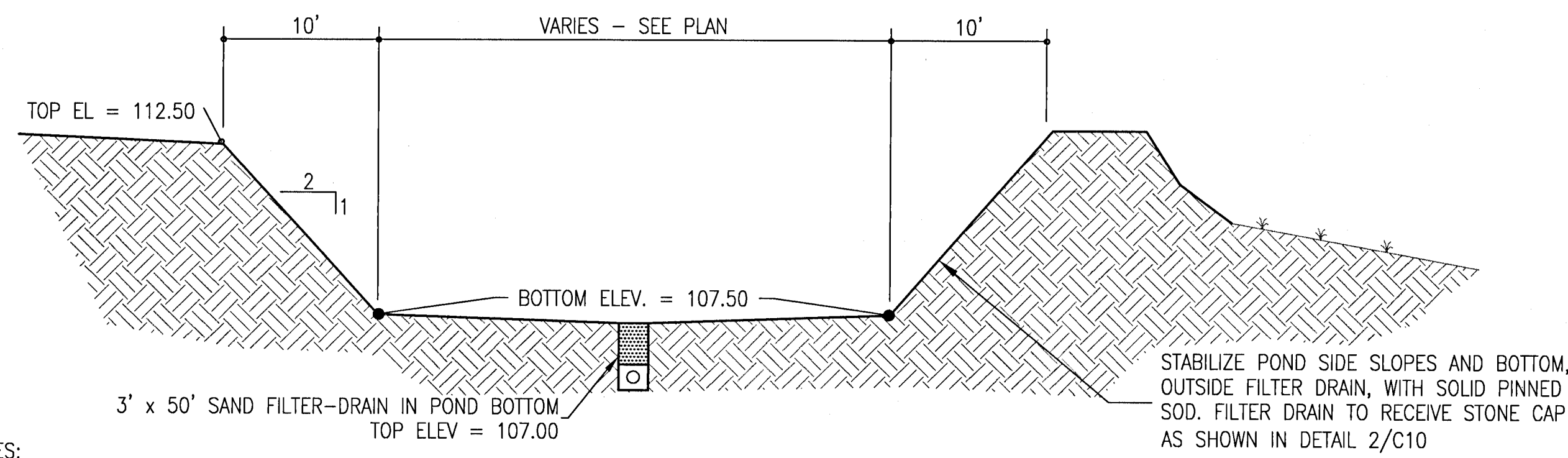
Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

Date:  
8/16/2021

Project No.  
07615-0009

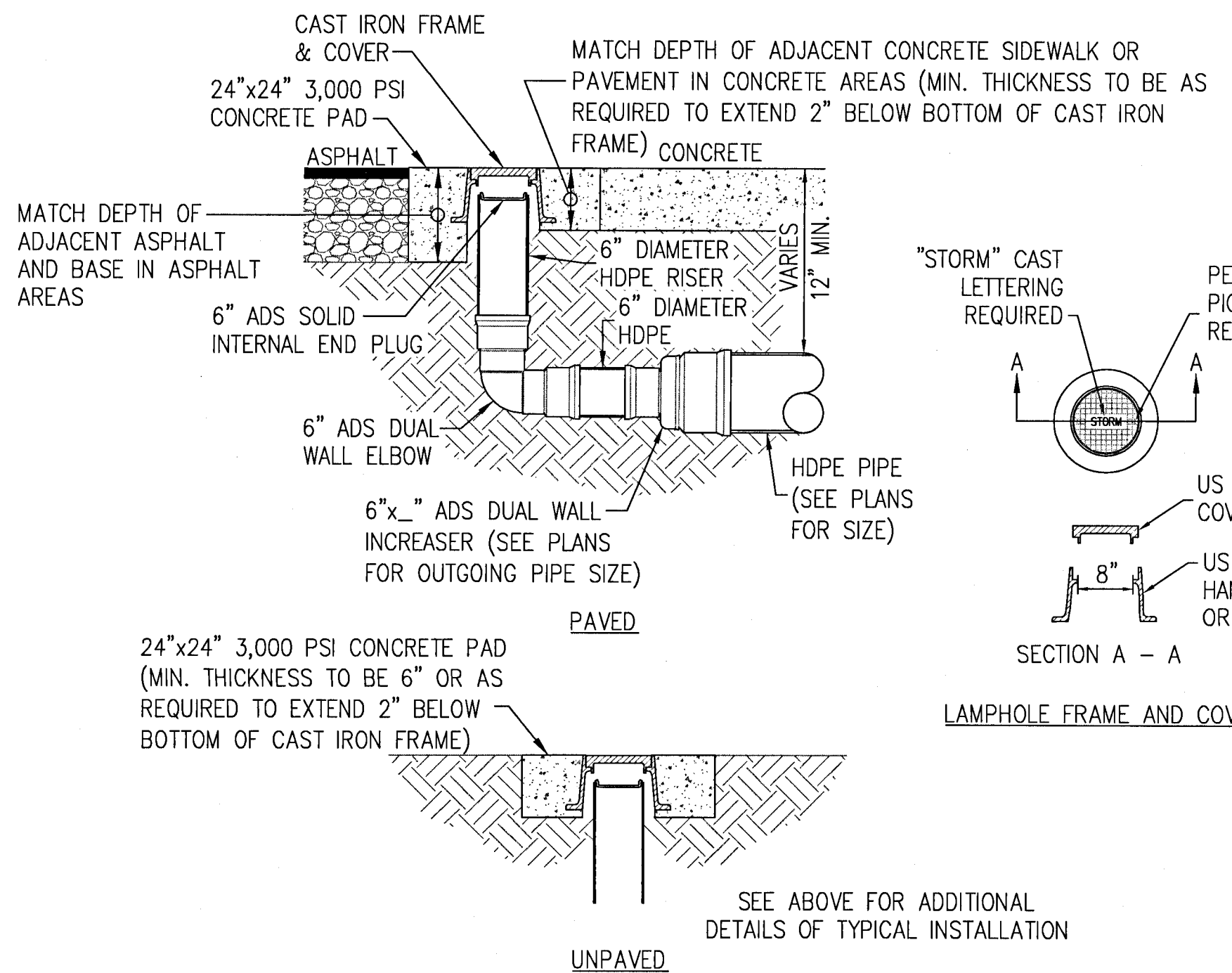
Sheet No.  
**C9**

**CONSTRUCTION DETAILS**

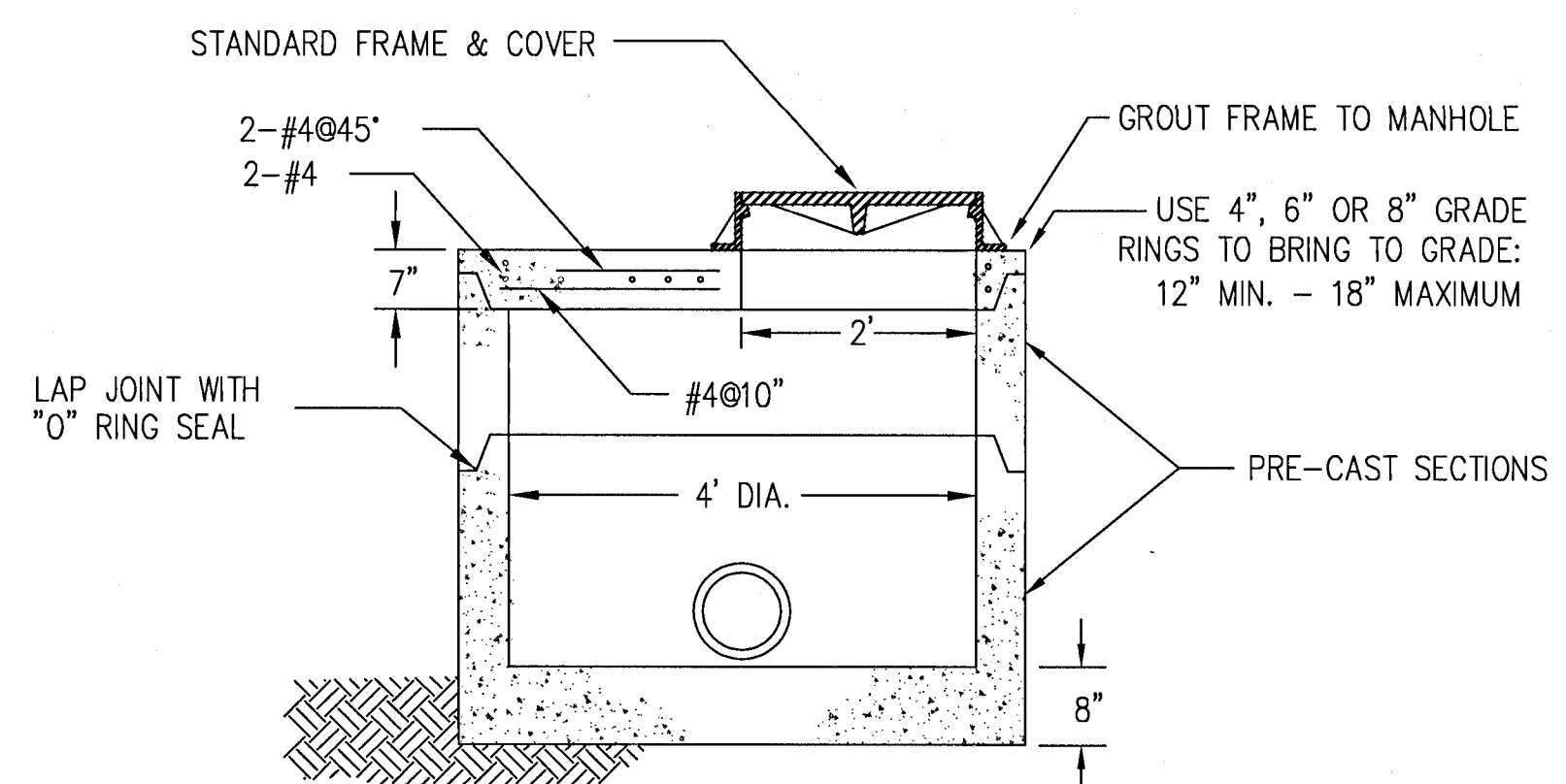


- NOTES:**
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
  - SIDES AND BOTTOM OF STORM WATER POND SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION, EXCLUSIVE OF PROPOSED FILTER-RAIN TRENCH AREA.
  - UPON FINAL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, POND SHALL BE RE-SHAPED AS NECESSARY TO REMOVE ACCUMULATED SEDIMENT AND TO MATCH THE PROPOSED GRADING ON THE PLANS. ALL DISTURBED AREAS SHALL BE RE-STABILIZED.
  - NEW SAND FILTER-RAIN MUST BE PROTECTED AT ALL TIMES. AT A MINIMUM, CONTRACTOR MUST INSTALL PERIMETER SILT FENCE AND A 12" OVERBURDEN OF CLEAN SAND. AT THE END OF CONSTRUCTION, ANY ACCUMULATED SEDIMENT IS TO BE REMOVED FROM OVERBURDEN SUCH THAT CLEAN FILTER SANDS ARE LEFT EXPOSED.

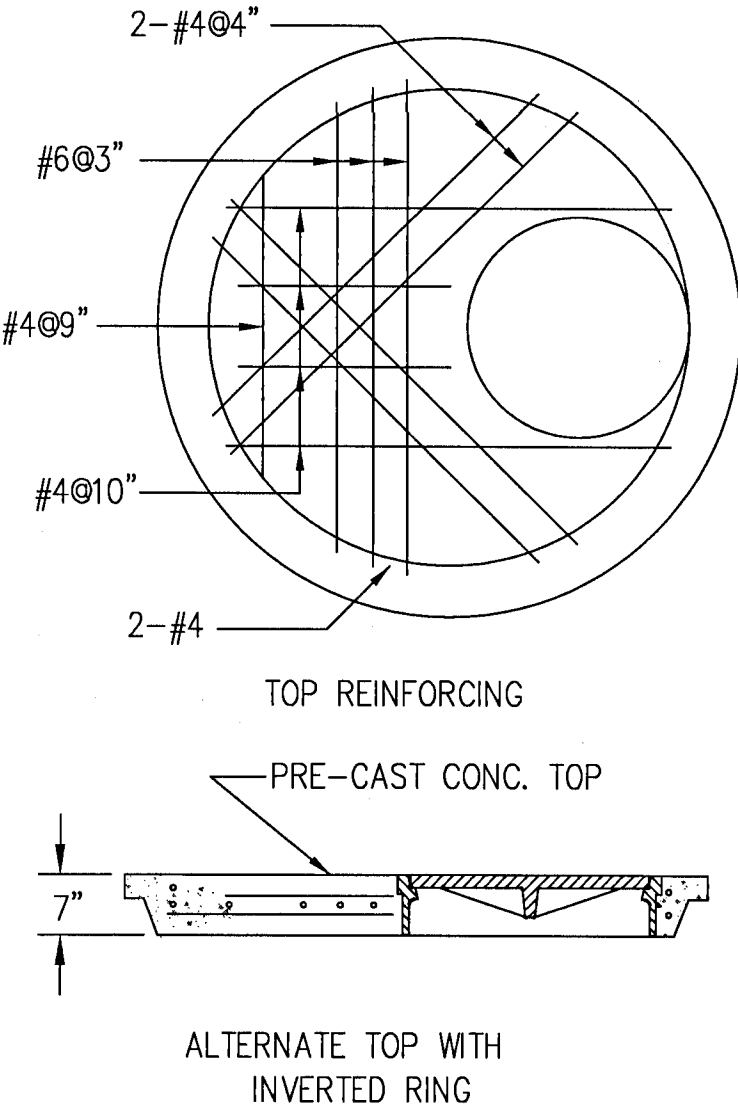
**STORM WATER POND 1**  
NOT TO SCALE C10



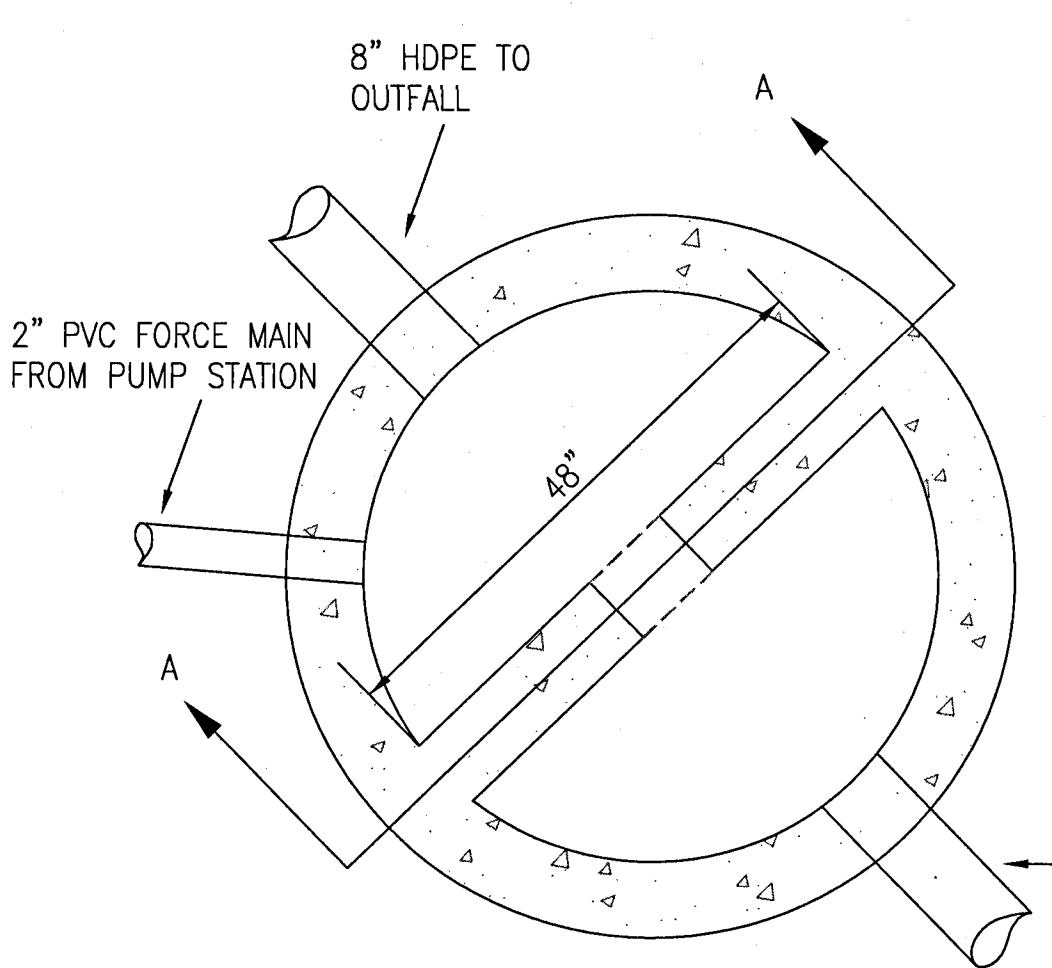
**STORM WATER LAMPHOLE 3**  
NOT TO SCALE C10



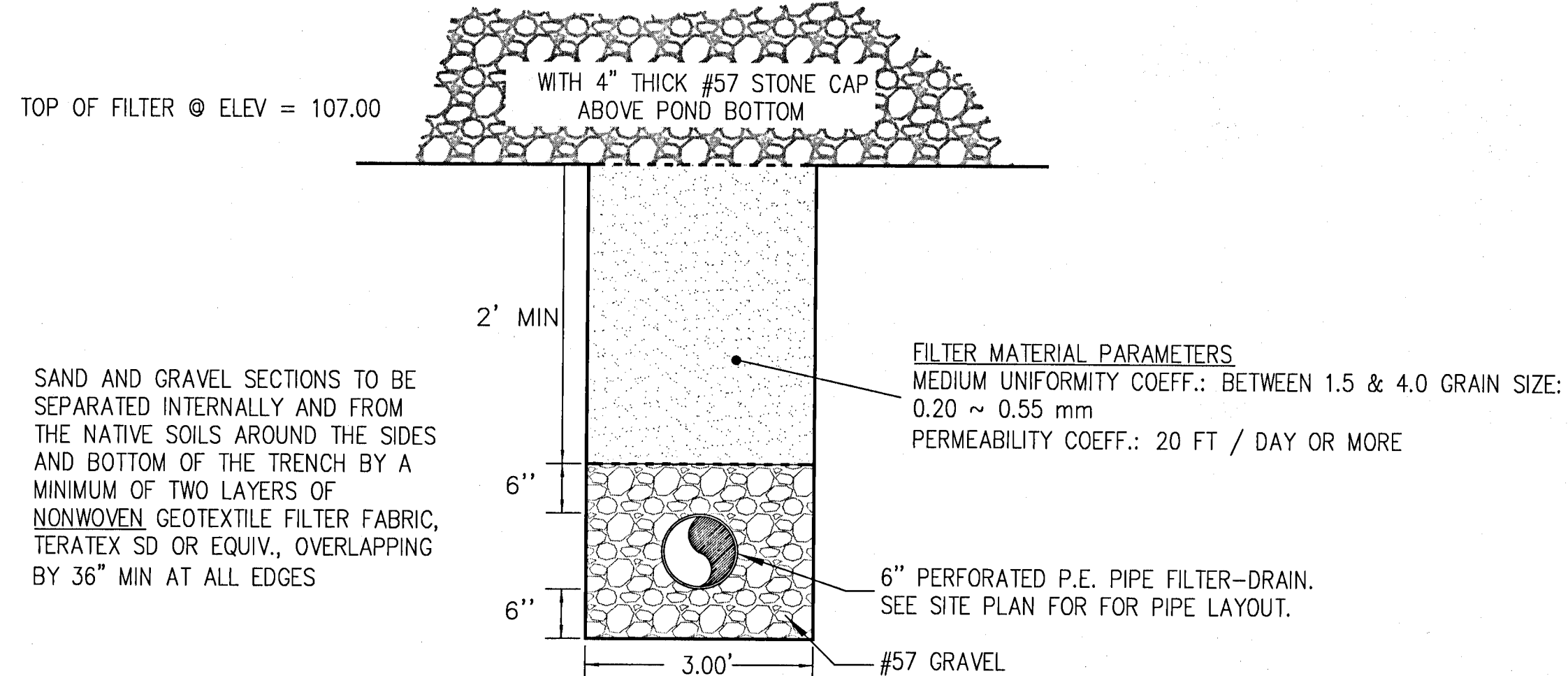
**SHALLOW MANHOLE (<5' DEPTH) 6**  
NOT TO SCALE C10



**CONCRETE MITERED END SECTION 4**  
NOT TO SCALE C10

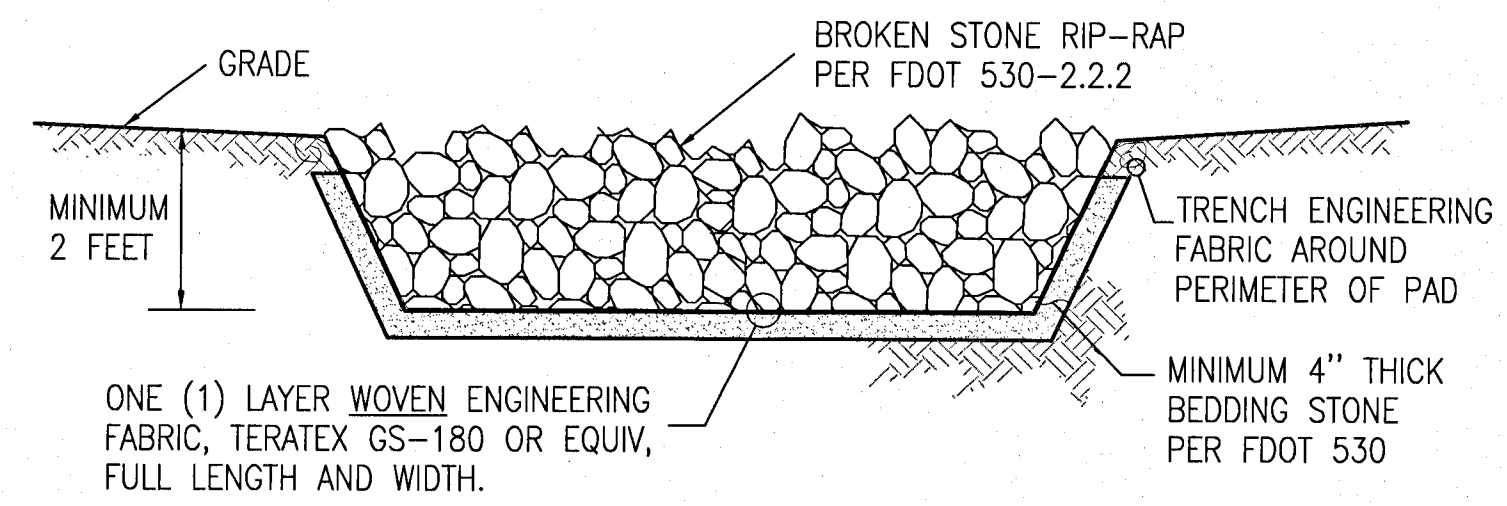


**MANHOLE WEIR 7**  
NOT TO SCALE C10



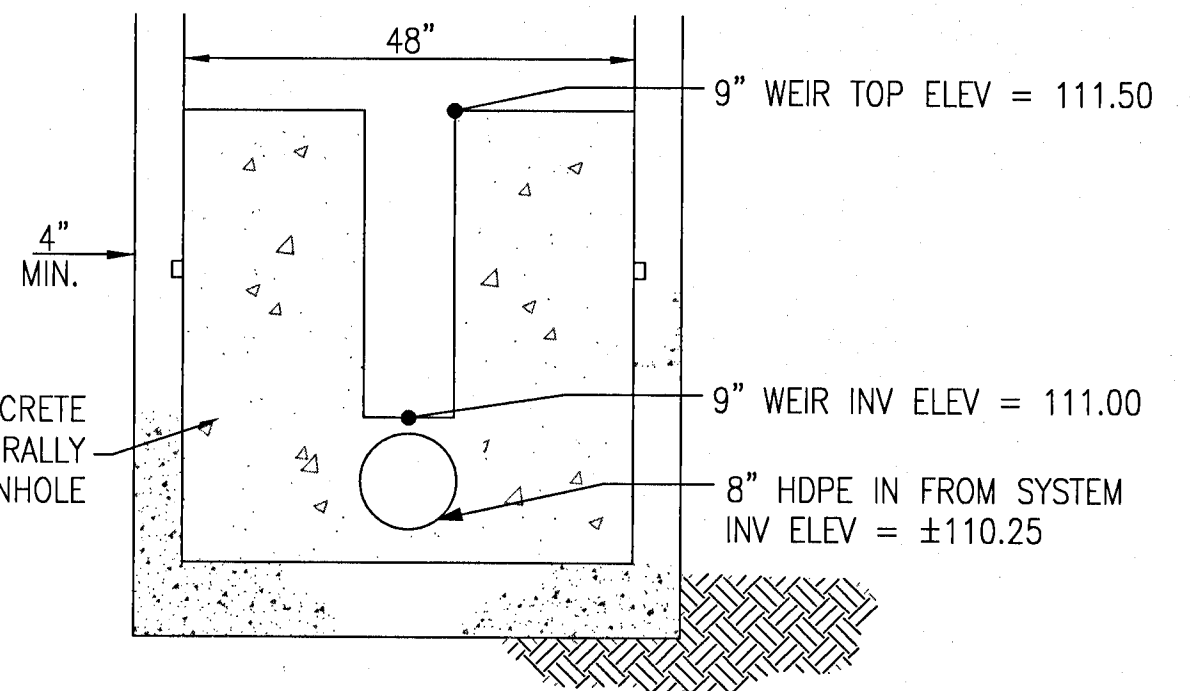
- NOTES:**
- 6" FILTER-RAIN PIPE TO BE INSTALLED AT A MINIMUM 0.50% GRADE. SEE PLAN FOR DETAILED INVERT ELEVATIONS.
  - CONTRACTOR MUST PROVIDE ANALYTICAL TEST RESULTS TO THE ENGINEER FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE TO SAND FILTER MATERIAL CRITERIA PRIOR TO STARTING THIS PHASE OF CONSTRUCTION.
  - AFTER INSTALLATION THE PROPOSED FILTER-RAIN TRENCH SHALL BE SURROUNDED BY SILT FENCE AND BE COVERED BY AN OVERBURDEN OF TWELVE INCHES OF CLEAN SAND IMMEDIATELY UPON INSTALLATION. THESE PROTECTIVE MEASURES ARE TO BE MAINTAINED UNTIL SUCH TIME THE SURROUNDING POND EMBANKMENTS HAVE BEEN FULLY STABILIZED, AT WHICH POINT IN TIME THE OVERBURDEN SHALL BE SCRAPED CLEAN AND THE FILTER-RAIN LEFT IN ITS FINAL CONDITION DETAILED ABOVE.

**SAND FILTER-RAIN SECTION 2**  
NOT TO SCALE C10



- NOTES:**
- RIP-RAP TO EXTEND UP POND EMBANKMENT TO FORM APRON AROUND CONCRETE END SECTIONS AT PIPE INPUT LOCATIONS.
  - RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
  - TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

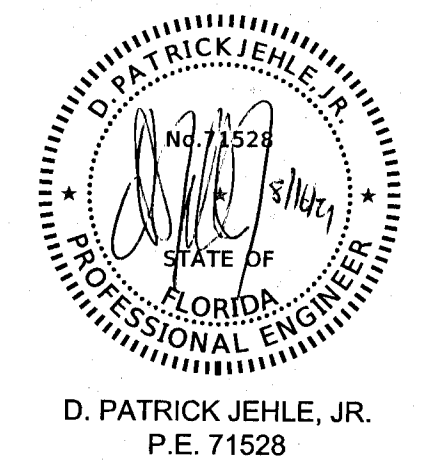
**RIP-RAP PAD 5**  
NOT TO SCALE C10



**SECTION A-A**  
NOT TO SCALE

**LEGEND:**

—	FENCE GATE
—	CHAIN LINK FENCE
—	WOOD PANEL FENCE
—	MISCELLANEOUS FENCE
—	SILT FENCE
—	TREE PROTECTION
—	OVERHEAD UTILITIES
—	GAS LINE
—	WATER LINE
—	SEWER LINE
—	FORCE MAIN
—	STORMWATER LINE
—	SET BENCHMARK
—	DROP INLET
—	BACK FLOW PREVENTER
—	WATER VAULT
—	SEWER MANHOLE
—	CLEANOUT
—	ELECTRIC BOX
—	GAS METER
—	GUY WIRE ANCHOR
—	WOOD UTILITY POLE
—	PLAYGROUND TOY
—	HALF-BURIED TIRE
—	GATE-STOP BOLLARD
—	WOOD POST
—	METAL POST
—	SINGLE SUPPORT SIGN
—	DOUBLE SUPPORT SIGN
—	BASKETBALL HOOP
—	BENCH
—	SPOT ELEVATION
—	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
—	ASPHALT
—	CONCRETE
—	SOD



D. PATRICK JEHL, JR.  
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Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

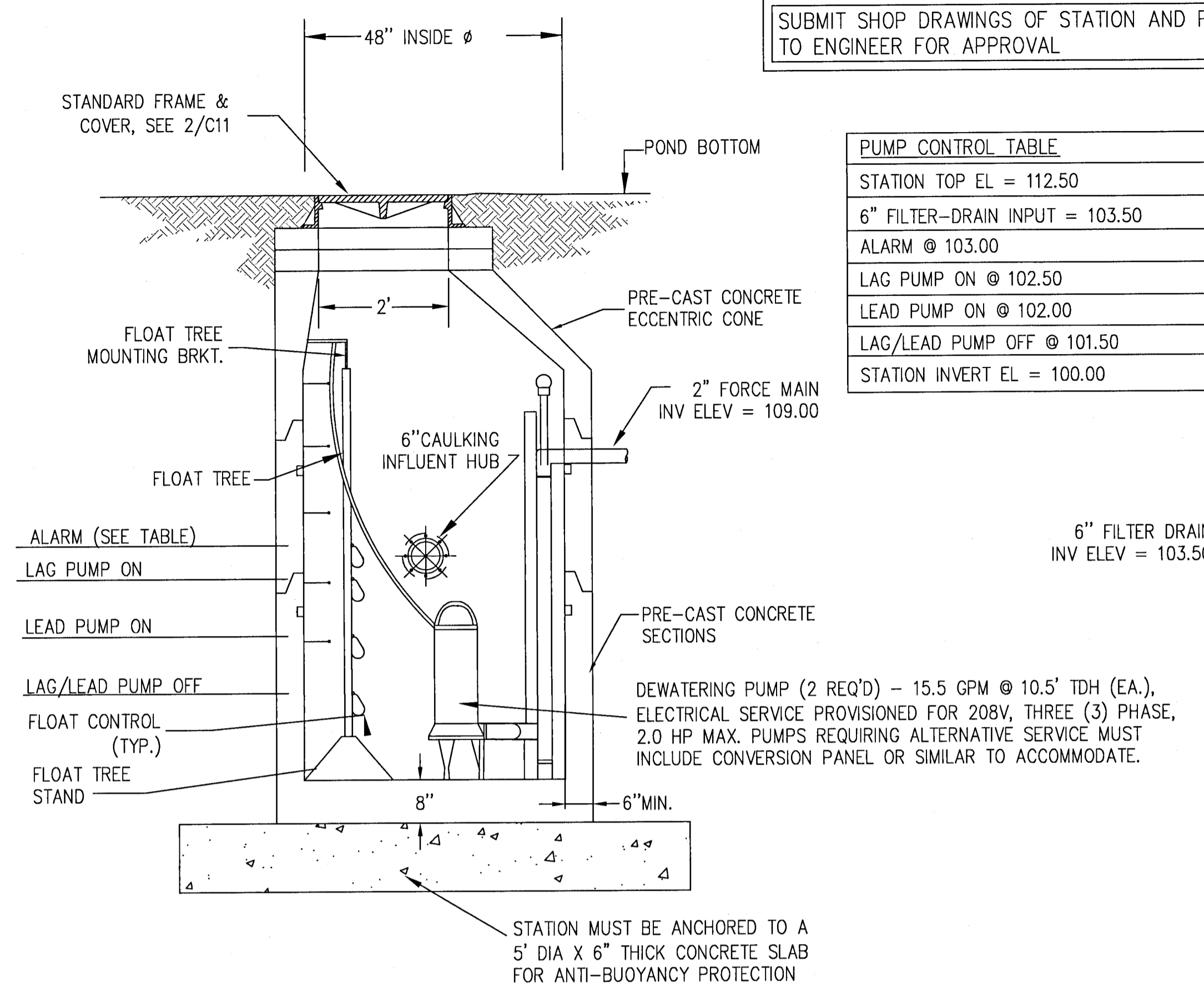
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8/16/2021  
Project No.  
07615-0009

Sheet No.  
**C10**

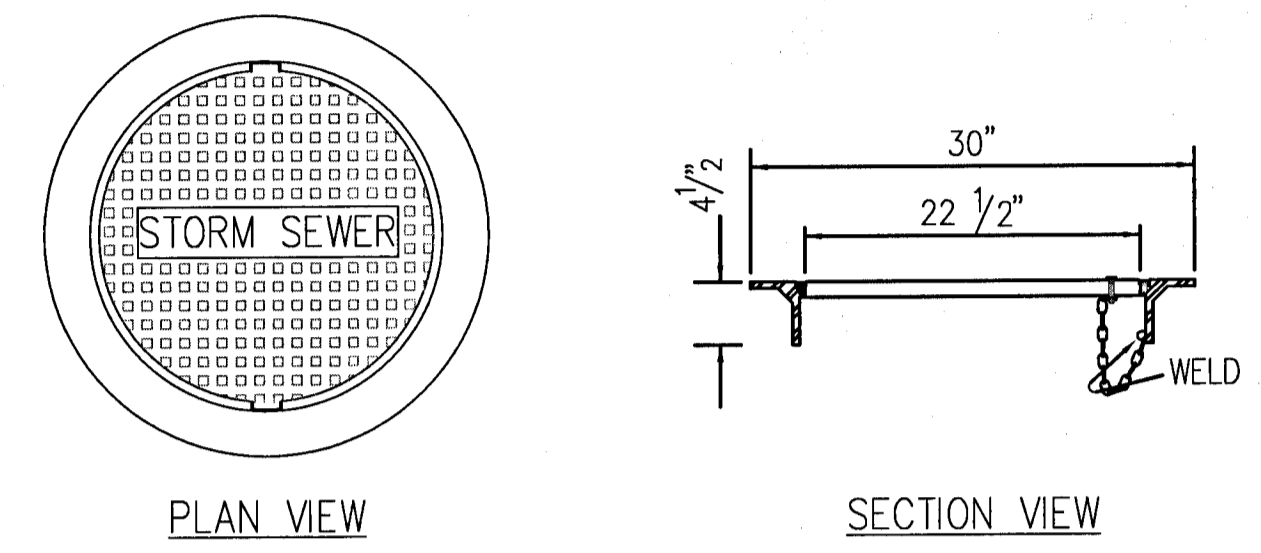
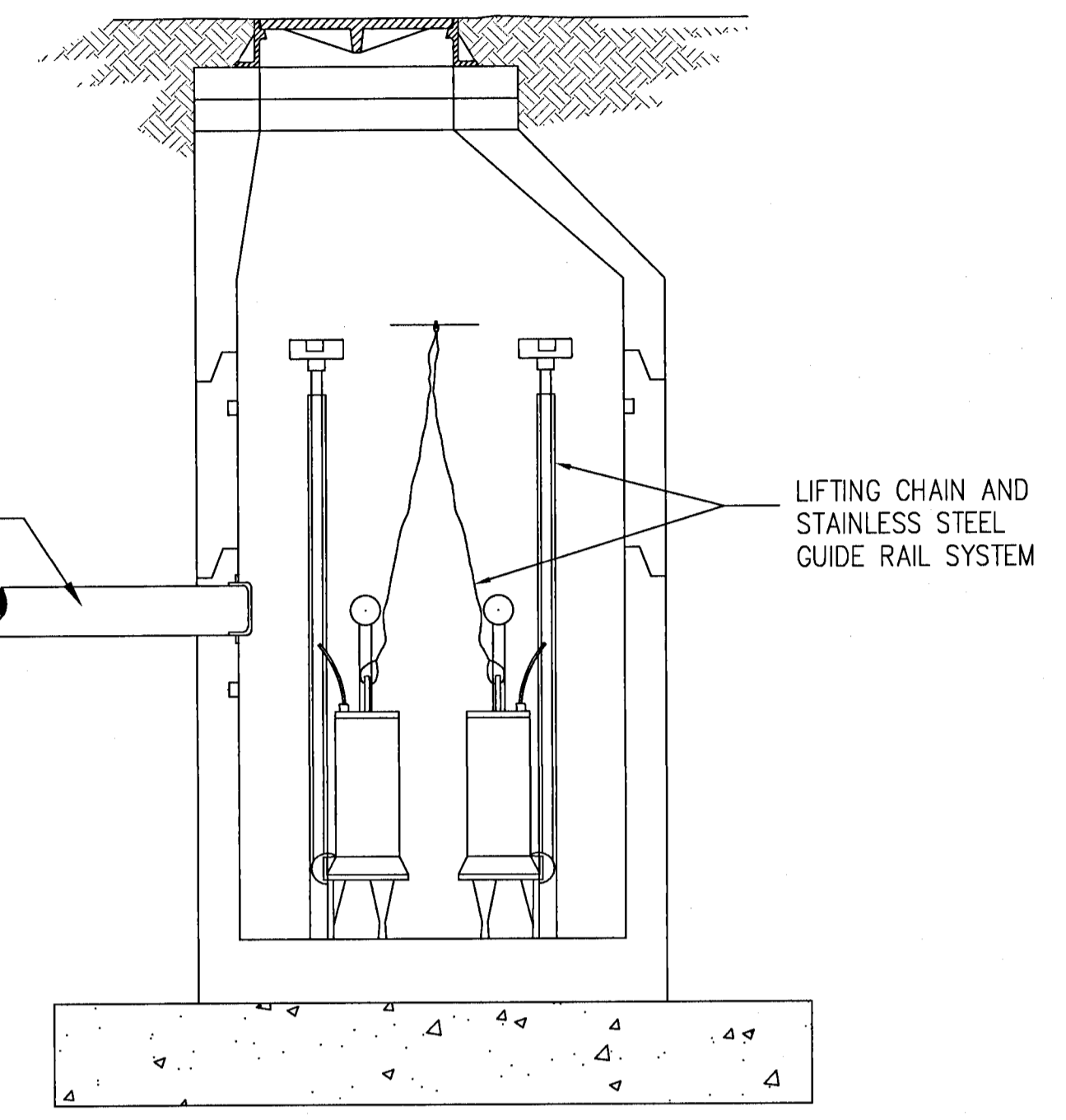
**STORM WATER DETAILS**

SUBMIT SHOP DRAWINGS OF STATION AND PUMP TO ENGINEER FOR APPROVAL

PUMP CONTROL TABLE	
STATION TOP EL =	112.50
6" FILTER-DRAIN INPUT =	103.50
ALARM @	103.00
LAG PUMP ON @	102.50
LEAD PUMP ON @	102.00
LAG/LEAD PUMP OFF @	101.50
STATION INVERT EL =	100.00

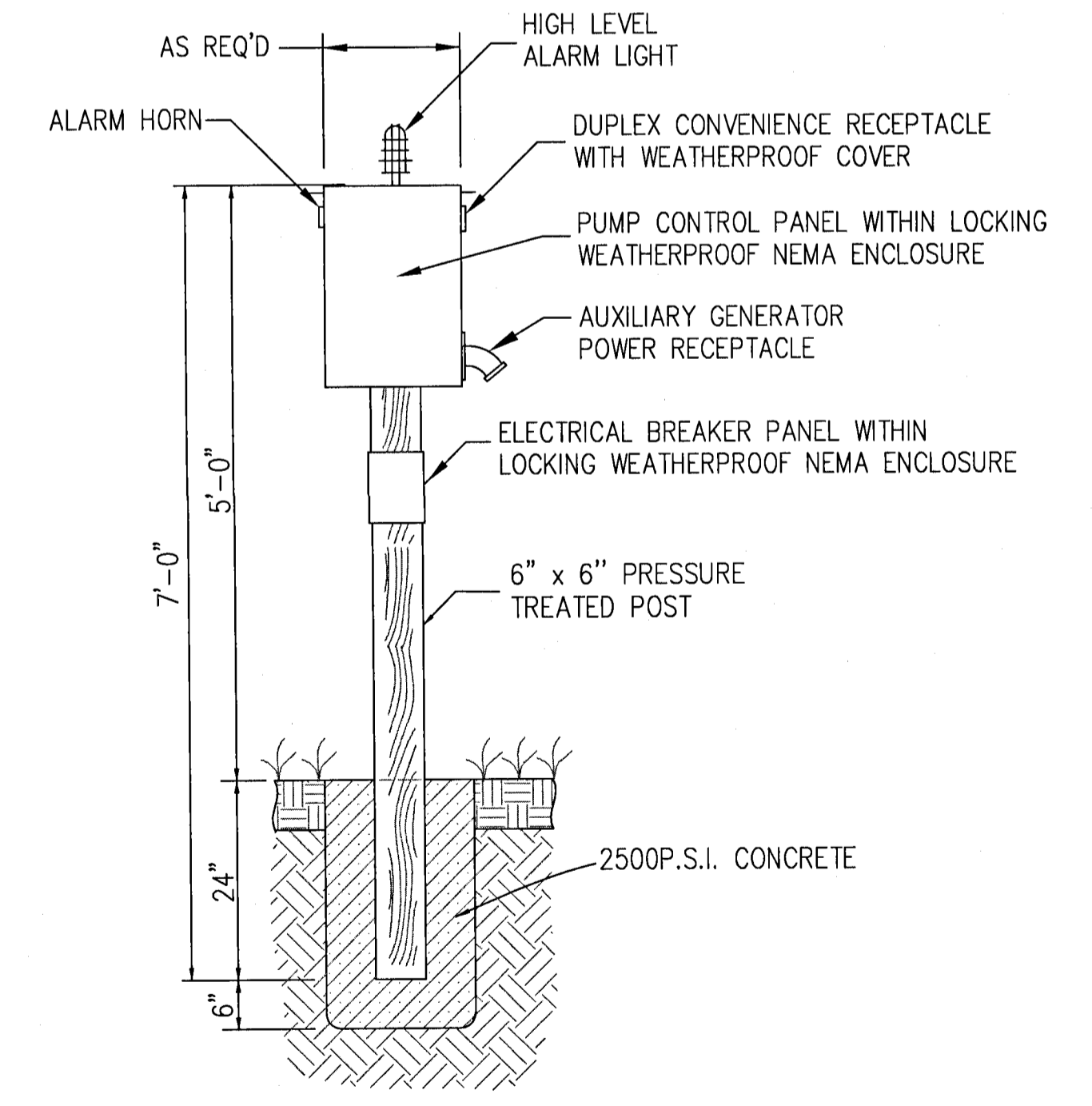


**DUPLEX STORM WATER PUMP STATION** 1  
NOT TO SCALE C11

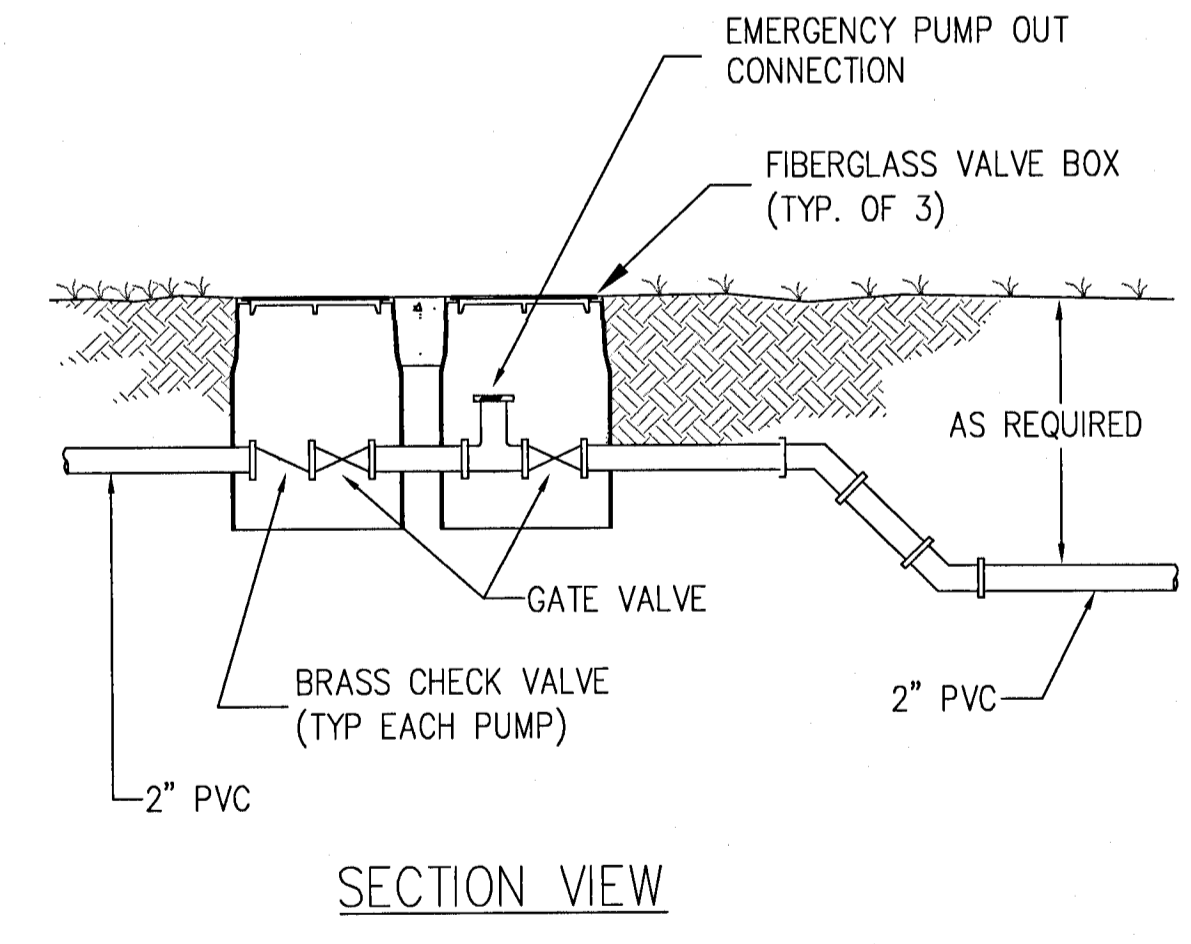


- NOTES:**
- ALL INLET COVERS SHALL BE OF TYPE THAT ARE BOLTED TO FRAME. AFTER COUNTY INSPECTION AND ACCEPTANCE ALL COVERS ARE TO BE IN PLACE AND BOLTED.
  - FRAME AND COVER TO BE U.S. FOUNDRY MODEL 1265, TYPE 'E'
  - ALL COVERS SHALL BEAR "STORM SEWER" CAST INTO COVER.
  - MANHOLE COVER SHALL BE CHAINED TO FRAME WITH 1" GALVANIZED CHAIN 2' LONG. WELD OR BOLT (1/2" BOLT) CHAIN TO COVER AND WELD TO FRAME.

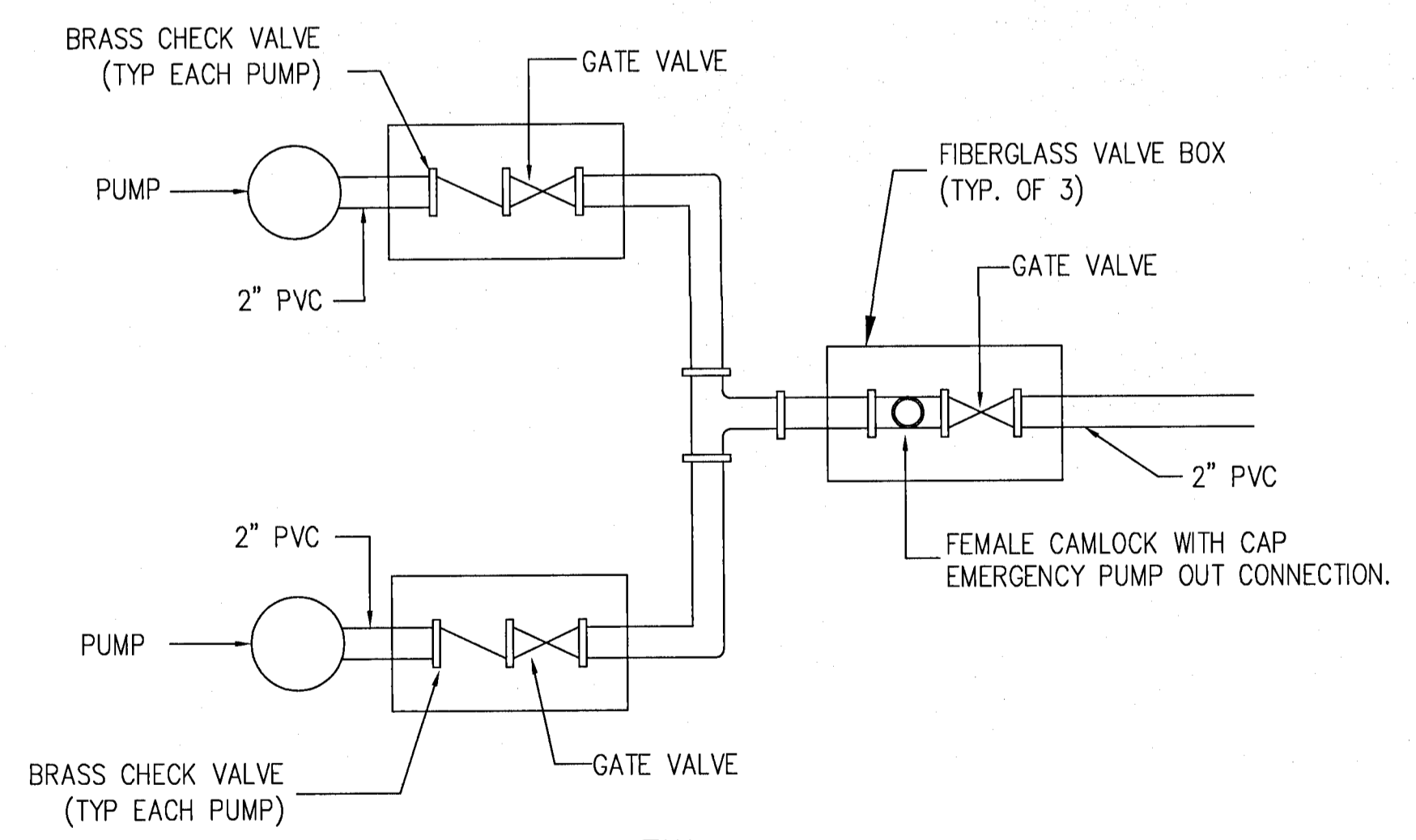
**STANDARD FRAME AND COVER** 2  
NOT TO SCALE C11



**PUMP CONTROL PANEL AND BREAKER** 3  
NOT TO SCALE C11



SECTION VIEW

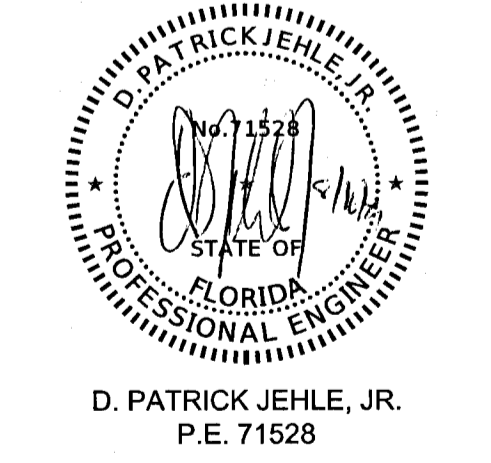
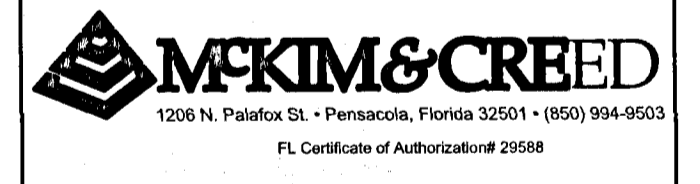


PLAN VIEW

**STORM WATER VALVE CLUSTER** 4  
NOT TO SCALE C11

**LEGEND:**

	FENCE GATE
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	MISCELLANEOUS FENCE
	SILT FENCE
	TREE PROTECTION
	OVERHEAD UTILITIES
	GAS LINE
	WATER LINE
	SEWER LINE
	FORCE MAIN
	STORMWATER LINE
	SET BENCHMARK
	DROP INLET
	BACK FLOW PREVENTER
	WATER VAULT
	SEWER MANHOLE
	CLEANOUT
	ELECTRIC BOX
	GAS METER
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
	PLAYGROUND TOY
	HALF-BURIED TIRE
	GATE-STOP BOLLARD
	WOOD POST
	METAL POST
	SINGLE SUPPORT SIGN
	DOUBLE SUPPORT SIGN
	BASKETBALL HOOP
	BENCH
	SPOT ELEVATION
	ELEVATION CONTOUR LINE AT ONE-FOOT INTERVALS
	ASPHALT
	CONCRETE
	SOD

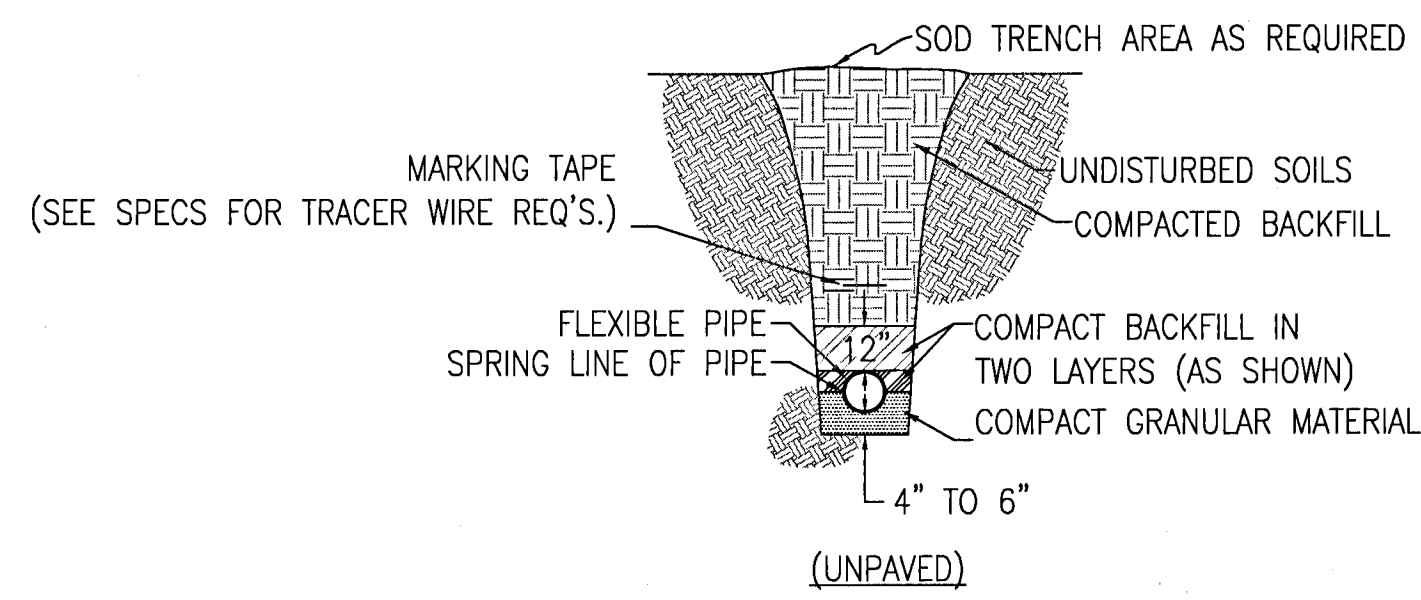


Project  
**Covered Play Area and Multi-Purpose Room**  
Ferry Pass Elementary  
Escambia County School District  
Pensacola, Florida

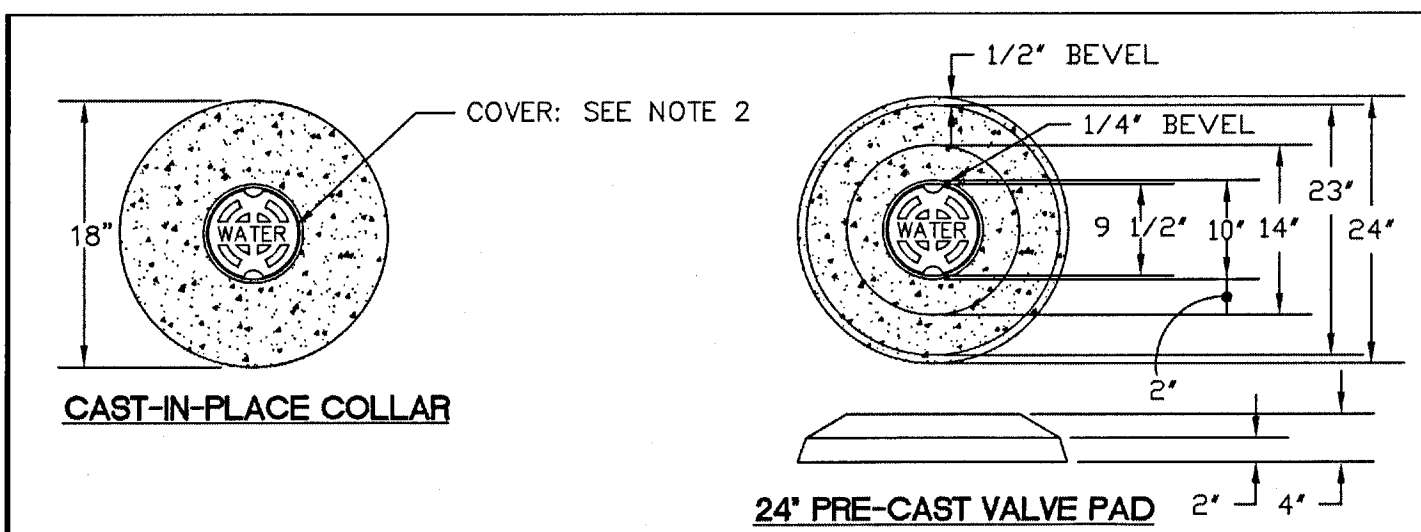
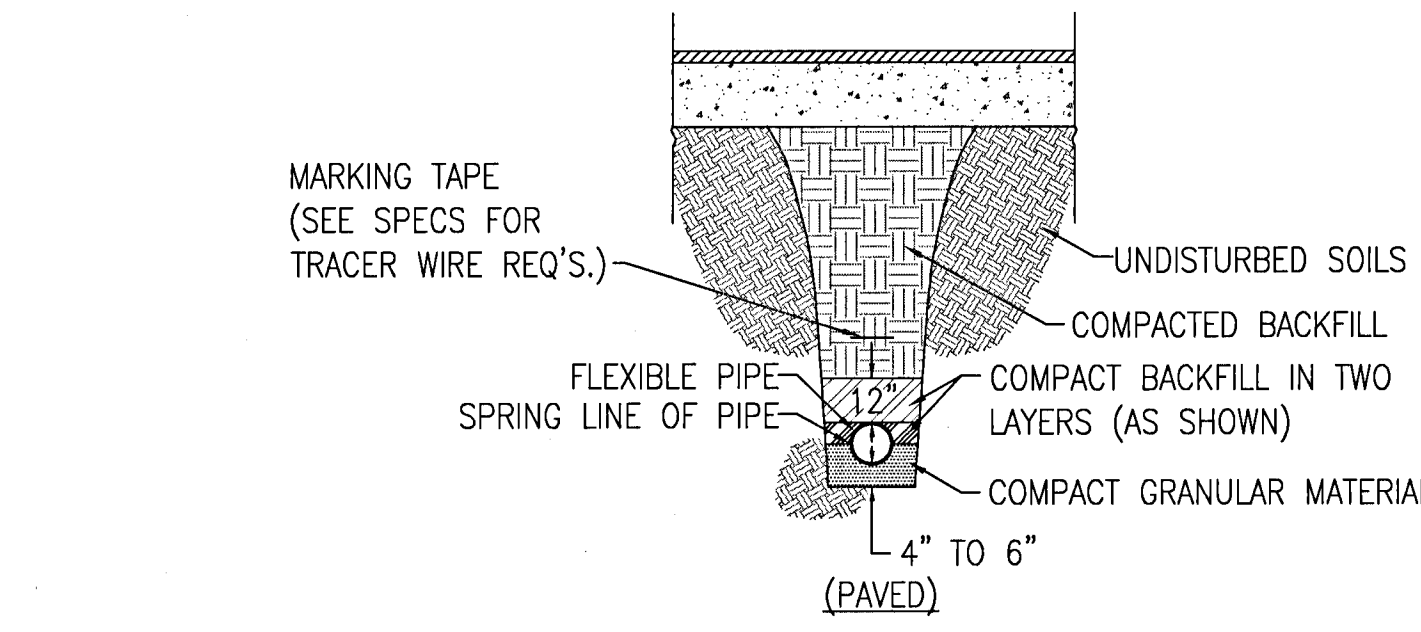
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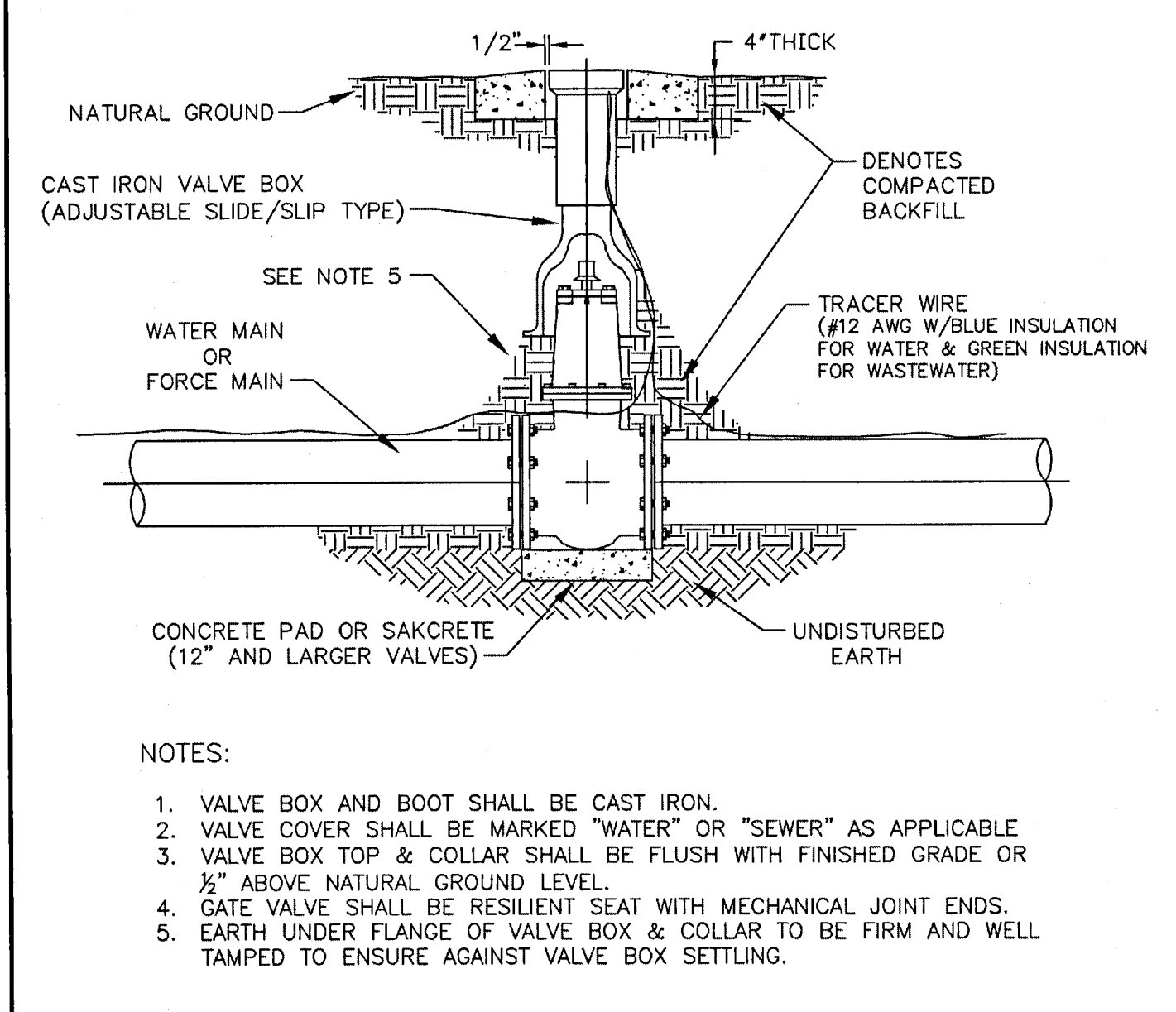
**PUMP STATION DETAILS**



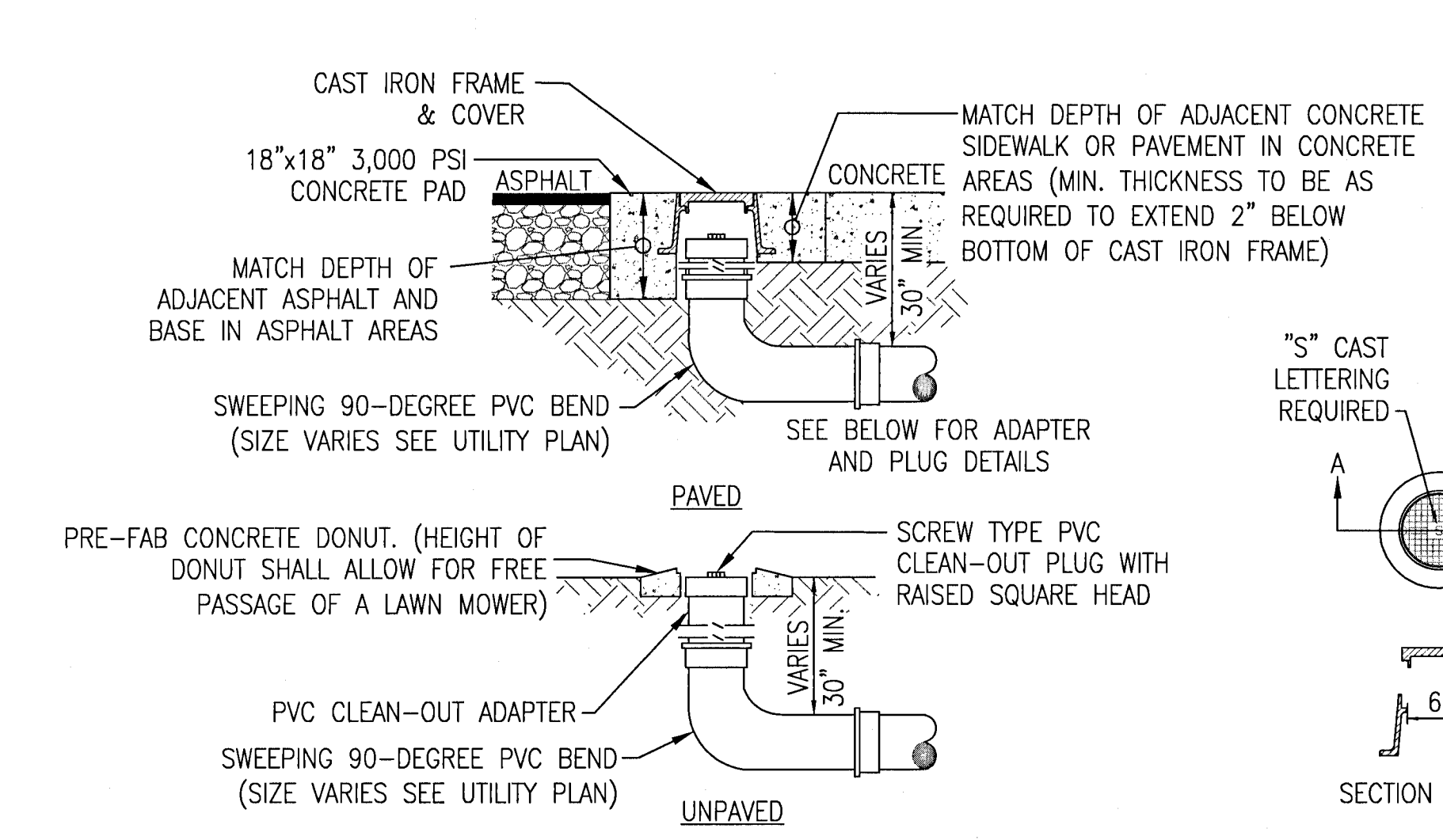
**TYPICAL PIPE BEDDING 1**  
NOT TO SCALE C12



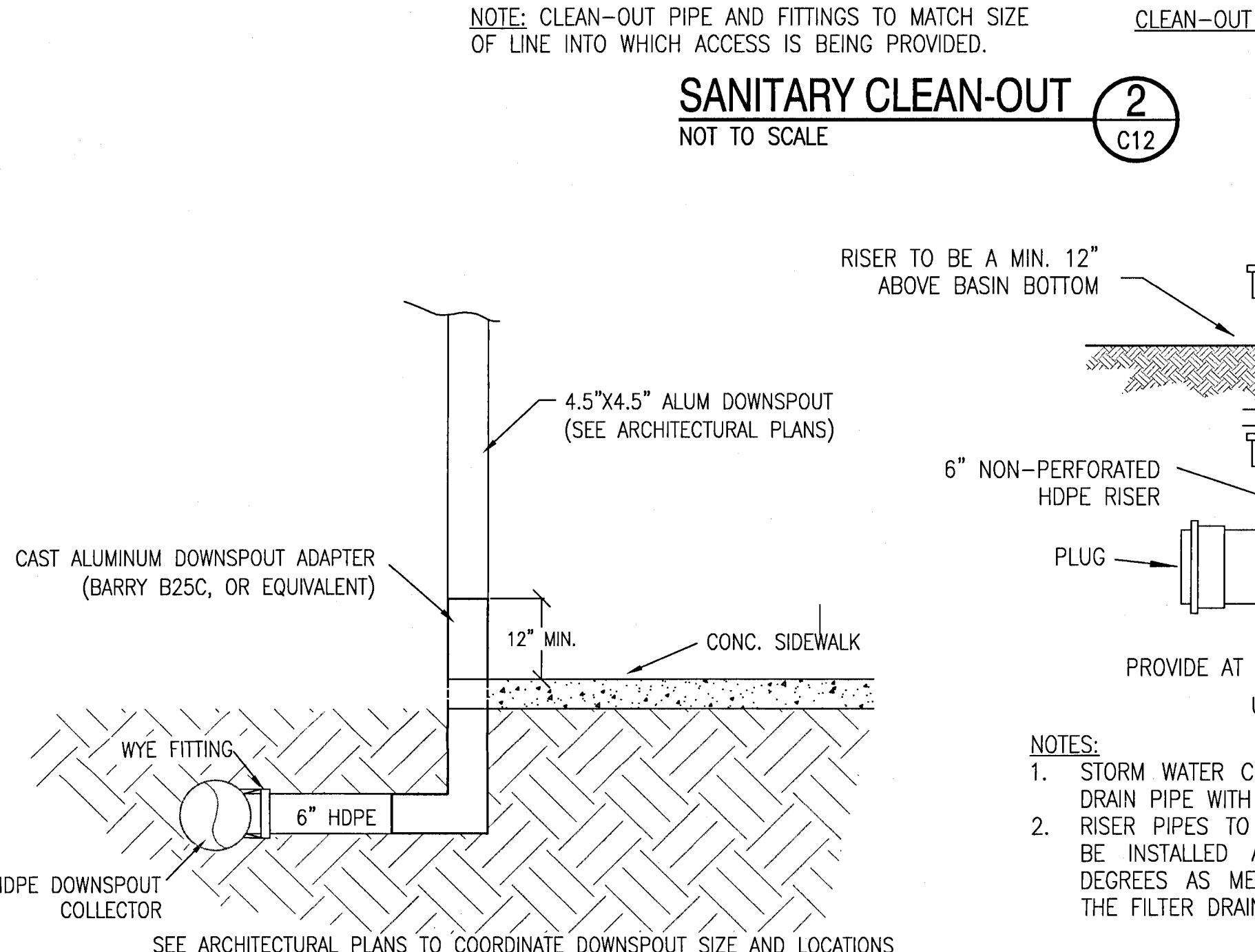
**TYPICAL VALVE AND BOX 4**  
NOT TO SCALE C12



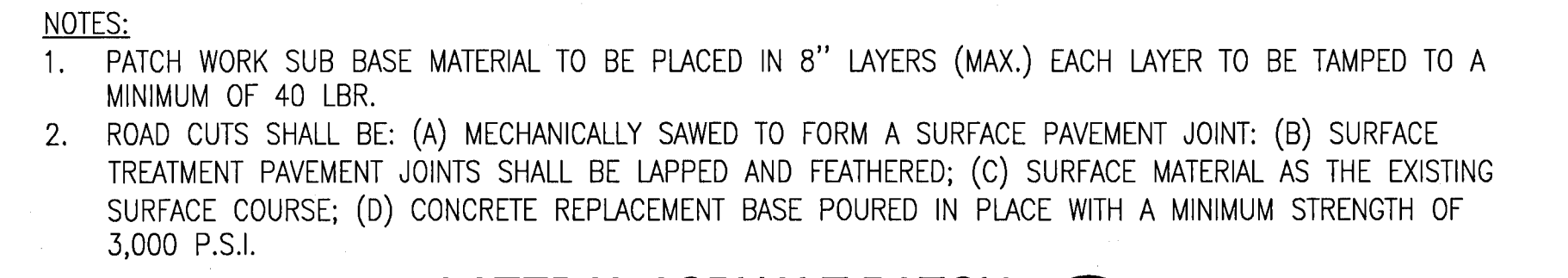
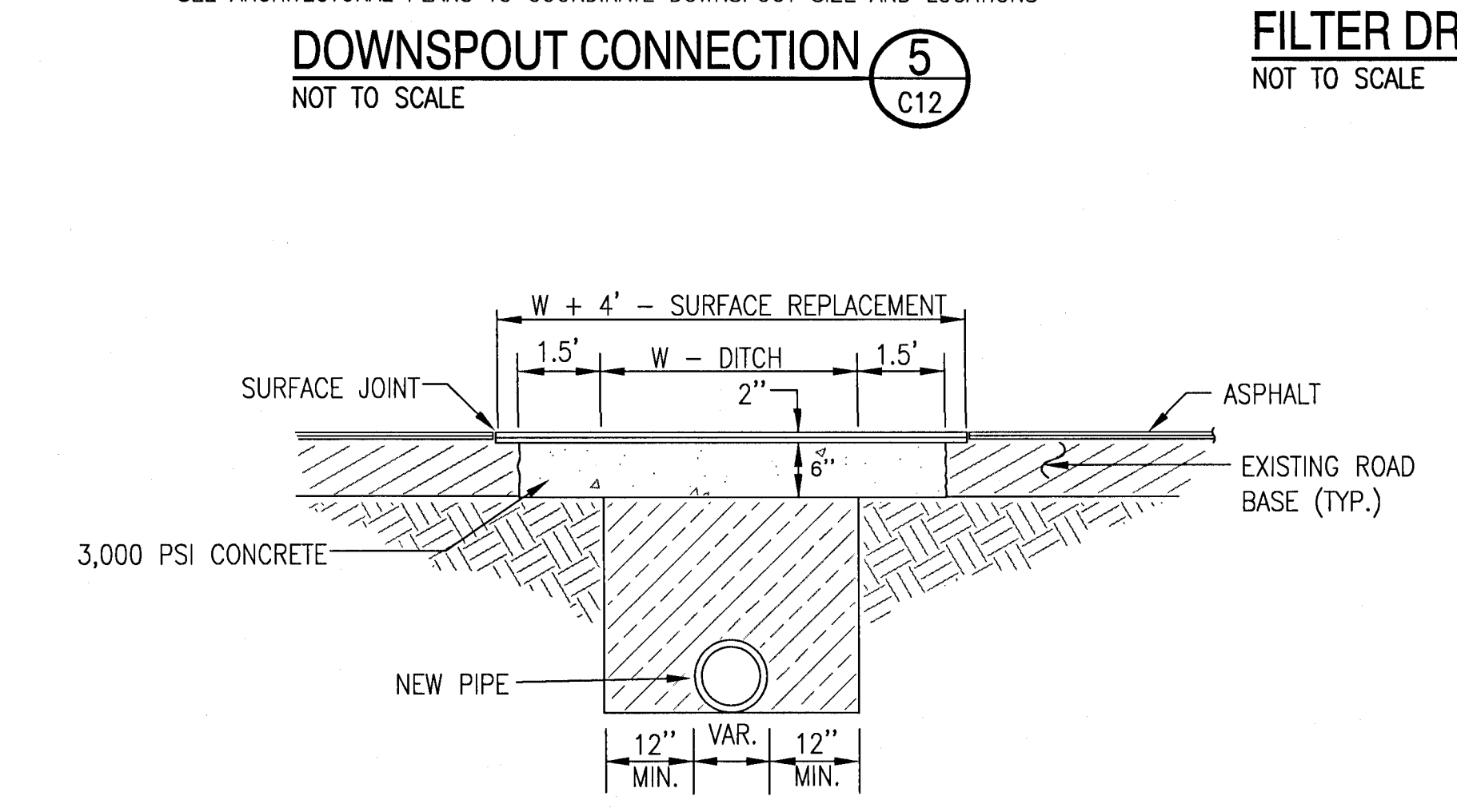
**TYPICAL VALVE & BOX INSTALLATION**  
SCALE: N.T.S. DATE: 9/01/2016  
**D-43**



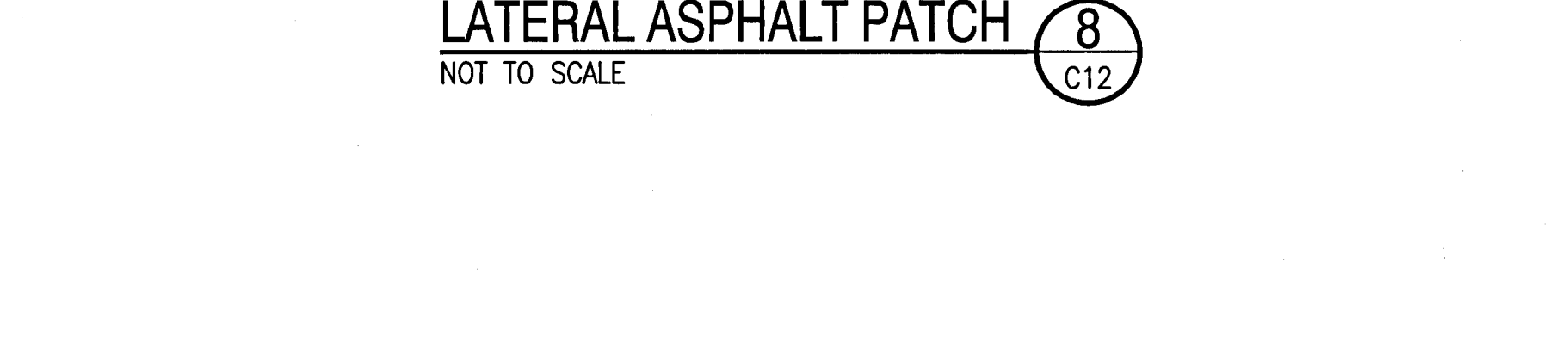
**SANITARY CLEAN-OUT 2**  
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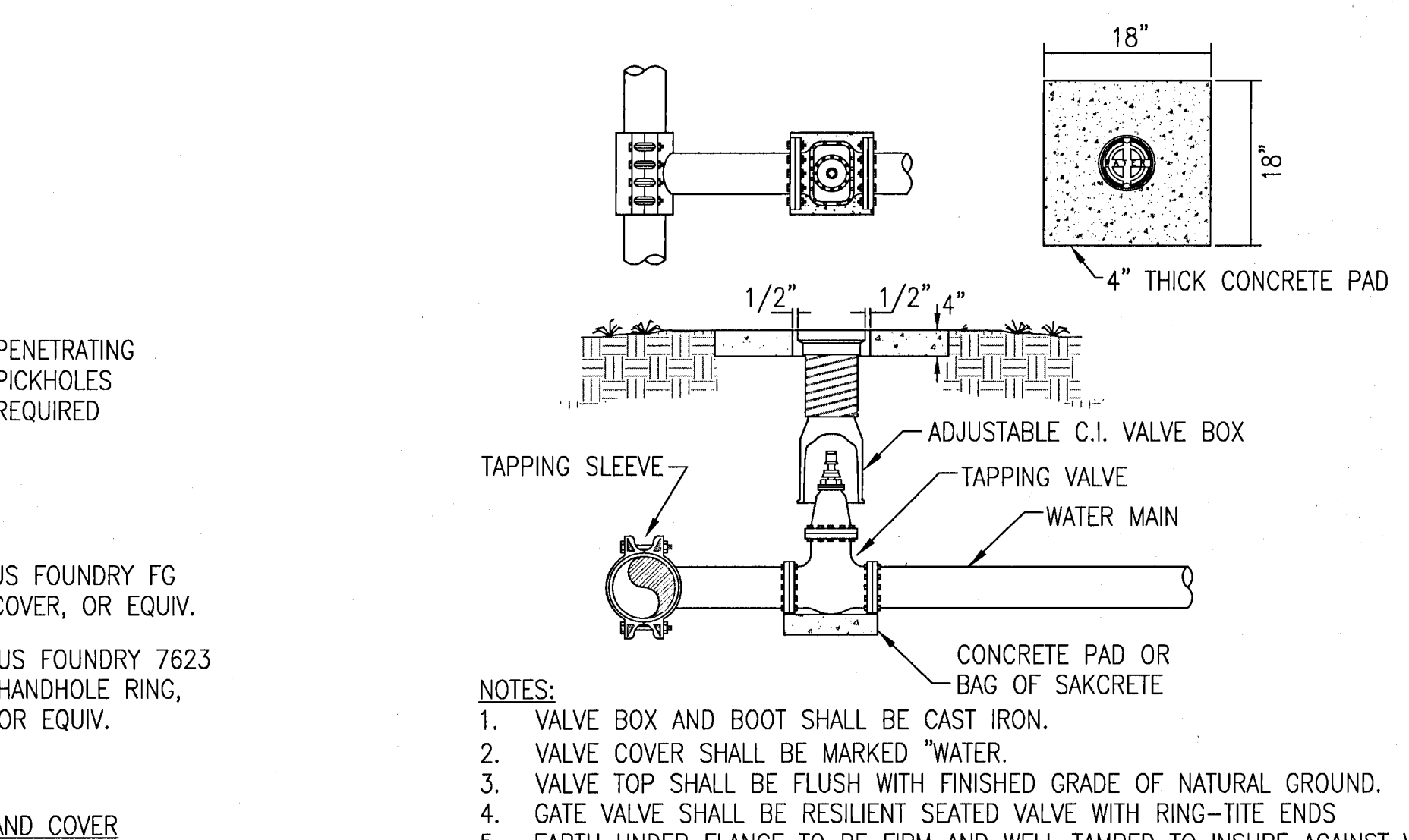
**DOWNSPOUT CONNECTION 5**  
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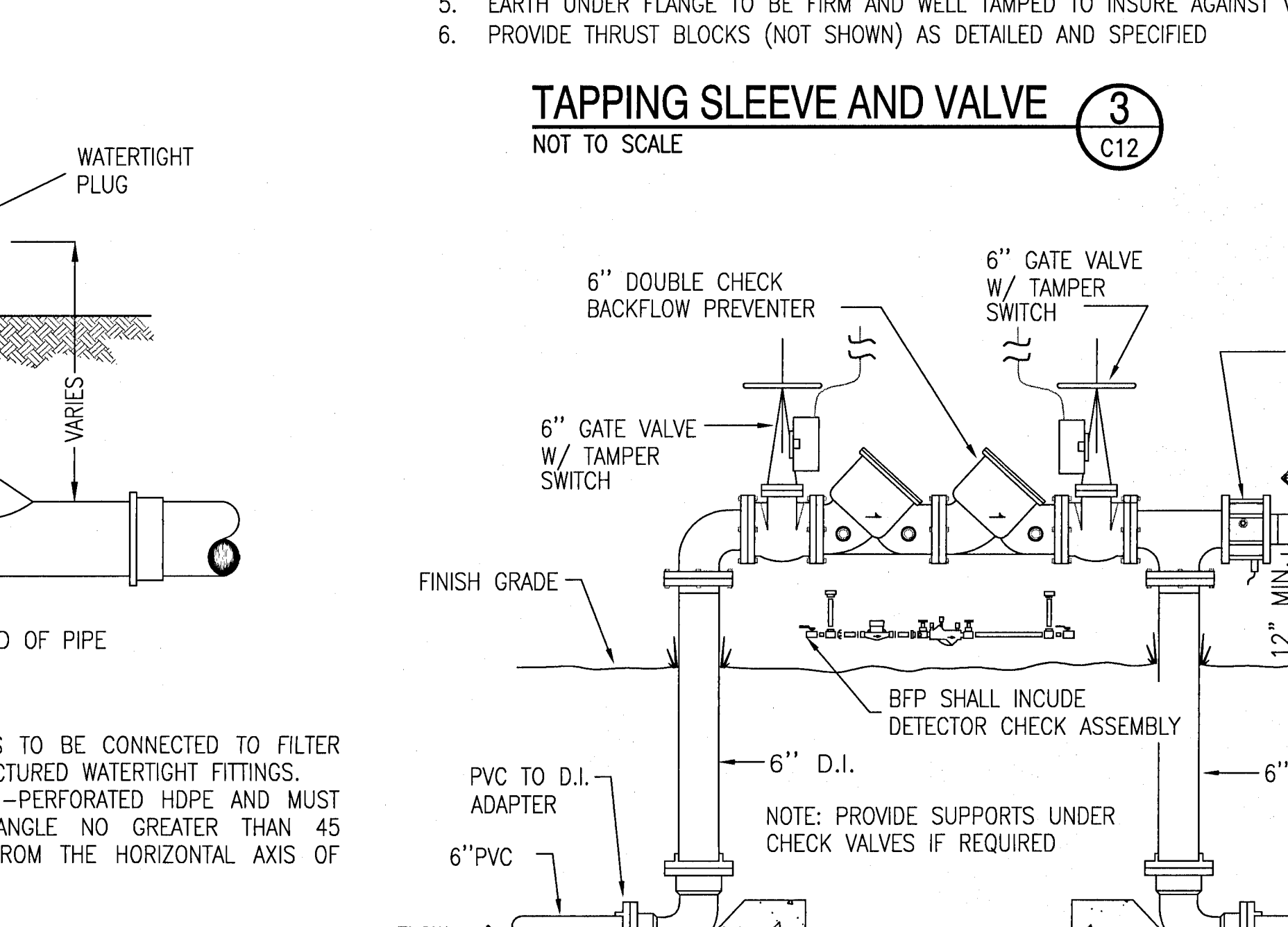
**LATERAL ASPHALT PATCH 8**  
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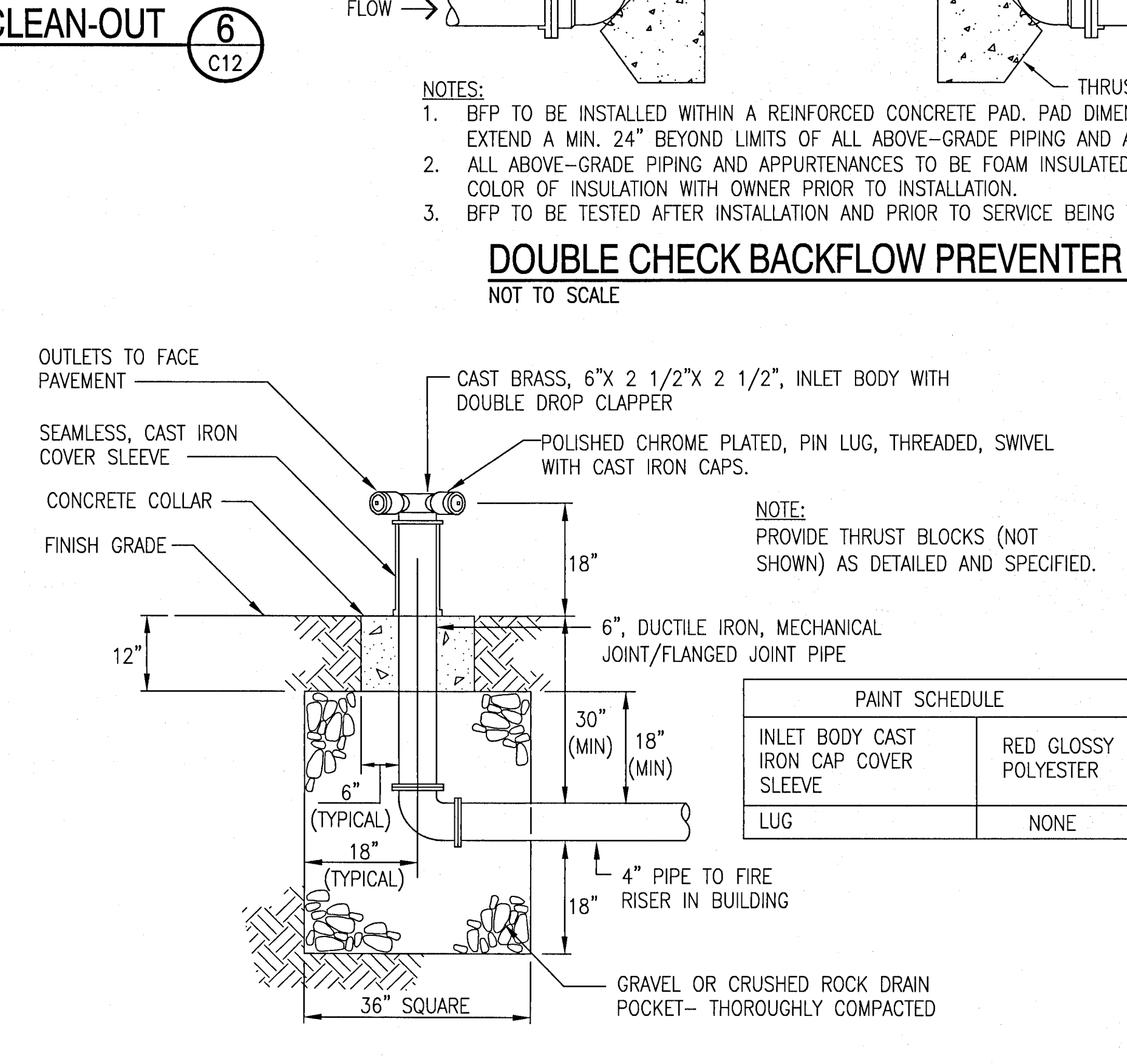
**UTILITY DETAILS**



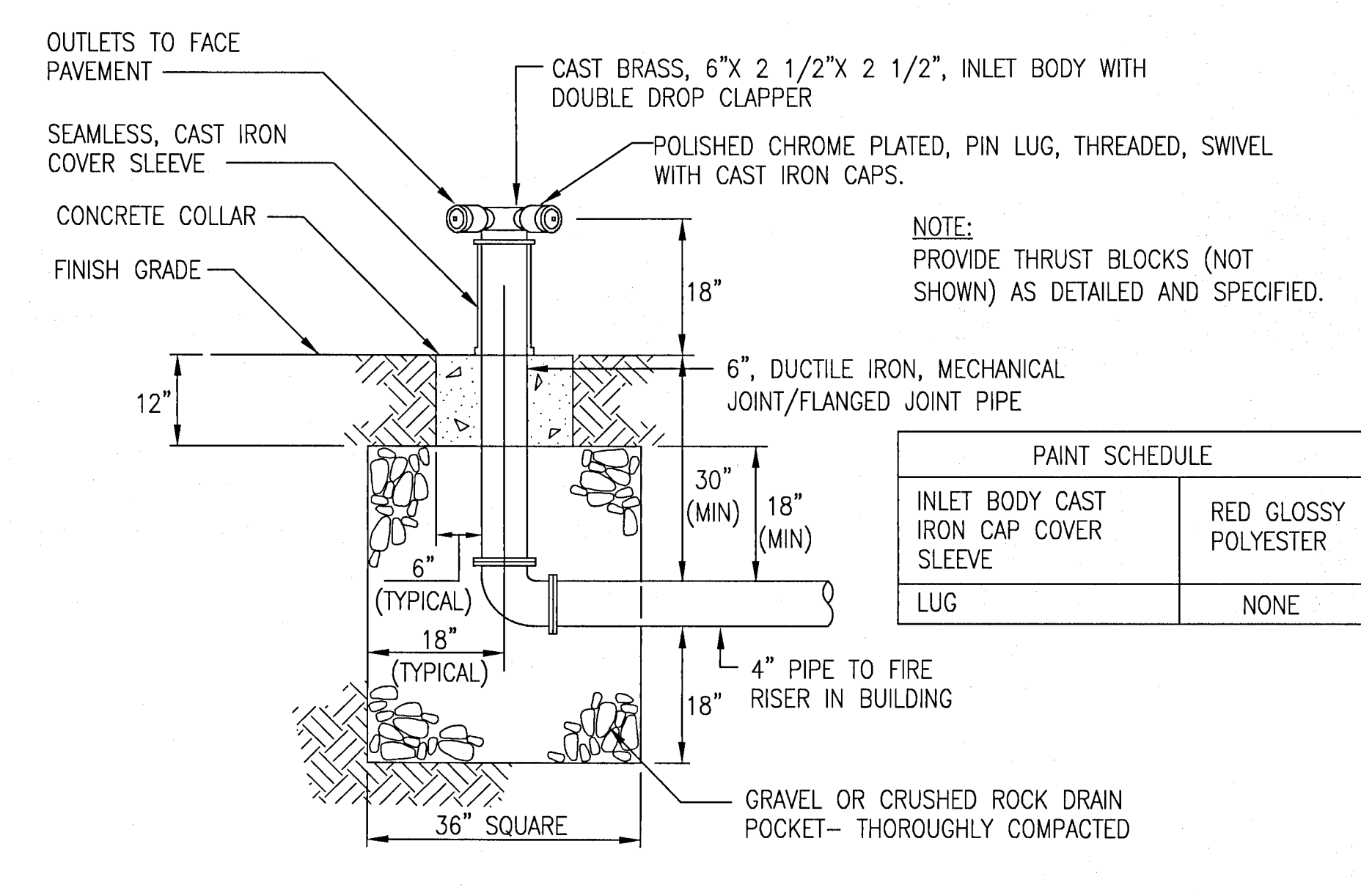
**TAPPING SLEEVE AND VALVE 3**  
NOT TO SCALE C12



**FILTER DRAIN CLEAN-OUT 6**  
NOT TO SCALE C12



**DOUBLE CHECK BACKFLOW PREVENTER 7**  
NOT TO SCALE C12



**FREESTANDING FIRE DEPARTMENT CONNECTION 9**  
NOT TO SCALE C12

**Quina Grundhoefer Architects**  
400 West Romana Street Pensacola, FL 32502  
850 433-5575 qg@grundhoefer.com

**LEGEND:**

- O — FENCE GATE
- X — CHAIN LINK FENCE
- X — WOOD PANEL FENCE
- X — MISCELLANEOUS FENCE
- SF — SILT FENCE
- TP — TREE PROTECTION
- OHU — OVERHEAD UTILITIES
- C — GAS LINE
- W — WATER LINE
- SS — SEWER LINE
- FM — FORCE MAIN
- SD — STORMWATER LINE
- SET — SET BENCHMARK
- DI — DROP INLET
- BFP — BACK FLOW PREVENTER
- WVA — WATER VAULT
- SM — SEWER MANHOLE
- CLEANOUT — CLEANOUT
- EB — ELECTRIC BOX
- GM — GAS METER
- GWA — GUY WIRE ANCHOR
- WUP — WOOD UTILITY POLE
- PTO — PLAYGROUND TOY
- HBT — HALF-BURIED TIRE
- GSB — GATE-STOP BOLLARD
- WP — WOOD POST
- MP — METAL POST
- SSS — SINGLE SUPPORT SIGN
- DSS — DOUBLE SUPPORT SIGN
- BH — BASKETBALL HOOP
- B — BENCH
- SE — SPOT ELEVATION
- ECL — ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS

ASPHALT  
CONCRETE  
SOD

**MFKIM & CREED**  
1206 N. Palafox St. • Pensacola, Florida 32501 • (850) 994-9503  
FL Certificate of Authorization # 2558

**D. PATRICK JEHL, P.E.**  
No. 71528  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
D. PATRICK JEHL, JR.  
P.E. 71528

Project  
**Covered Play Area and Multi-Purpose Room Ferry Pass Elementary**  
Escambia County School District  
Pensacola, Florida  
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Sheet No. **C12**