



SITE ADDRESS: 8448 N. PALAFOX STREET
PROPERTY REFERENCE NUMBER: 21-1S-30-1101-003-068.

**221 PALAFOX PLAZA, SUITE 420
PENSACOLA, FLORIDA 32502
(850) 595-4947**

[illegible]

BOARD OF COUNTY COMMISSIONERS - CRA BOARD OF DIRECTORS

Index of Sheets

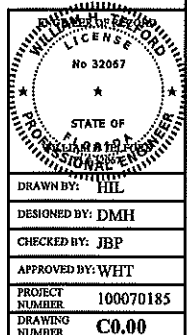
Sheet #	Sheet Title	Issued Date	Rev.	Revised Date
C0.00	Cover Sheet	2021/-/-	-	----/-/-
C0.01	General Notes	2021/-/-	-	----/-/-
C0.02	General Notes	2021/-/-	-	----/-/-
1 of 1	Topographic Survey	2021/-/-	-	----/-/-
C1.01	Site Plan	2021/-/-	-	----/-/-
C2.01	Grading & Drainage Plan	2021/-/-	-	----/-/-
C3.01	Utility Adjustments	2021/-/-	-	----/-/-
C8.01	Hardscape Details	2021/-/-	-	----/-/-
C8.02	Hardscape & Drainage Details	2021/-/-	-	----/-/-
C8.03	Drainage Details	2021/-/-	-	----/-/-
C8.04	Erosion Control Details	2021/-/-	-	----/-/-
C9.01	Storm Water Pollution Prevention Plan	2021/-/-	-	----/-/-
C9.02	Erosion Control Plan	2021/-/-	-	----/-/-
L1.01	Landscape Plan	2021/-/-	-	----/-/-
L2.01	Landscape & Irrigation Notes	2021/-/-	-	----/-/-
L2.02	Landscape Schedule & Details	2021/-/-	-	----/-/-

ATKINS

2114 AIRPORT BLVD., SUITE 1450
PENSACOLA, FLORIDA 32504
PHONE NO. 850.478.9844
CERTIFICATE OF AUTHORIZATION NO. 24

October 2021

THIS DOCUMENT HAS BEEN DIGITALLY
SIGNED AND SEALED BY
William H Telford
2021.11.02 10:45:15
-04'00'
ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
UNLESS THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.
ATKINS NORTH AMERICA, INC.
478 S. KELLER ROAD
OKLAHOMA, OK 73180
(405) 871-2325
CERTIFICATE OF AUTHORIZATION: 24



**FINAL PLANS
NOT RELEASED FOR CONSTRUCTION**

ENSLEY GATEWAY - 100070185

GENERAL NOTES:

- ALL SITE WORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL ADHERE TO RULES CONCERNING SAFETY OF ESCAMBIA COUNTY, AND OTHER AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
- AT THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO SHALL BE CAPABLE OF BEING REACHED 24 HOURS A DAY, 7 DAYS A WEEK.
- HORIZONTAL AND VERTICAL CONTROL HAS BEEN PROVIDED FOR THE CONTRACTOR PER THE SURVEY INFORMATION PROVIDED ON THE SHEETS INCLUDED IN THIS SET. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SURVEY CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION AND/OR SETTING ADDITIONAL CONTROLS IF REQUIRED DUE TO MEANS AND METHODS FOR CONSTRUCTION OF THE IMPROVEMENTS.
- CONTRACTOR IS TO NOTIFY ESCAMBIA COUNTY AND ENGINEER OF RECORD 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND WRITTEN SPECIFICATIONS, NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES AS PER COUNTY AND STATE AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL ARRANGE WITH THE COUNTY AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE ENTIRE PROJECT UPON COMPLETION.
- THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION. MEASURES FOR EROSION CONTROL DEPICTED IN THE PLANS ARE MINIMUM SUGGESTIONS ONLY AND DO NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO PREVENT AND CONTROL EROSION AND SEDIMENTATION. THESE CONTROLS SHALL BE ADDED TO OR REINFORCED AS CONDITIONS DICTATE.
- CLEAR AND GRUB ONLY AS NECESSARY TO COMPLETE NEW CONSTRUCTION.
- BURNING SHALL NOT BE PERMITTED ONSITE.
- SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT. REMOVE SEDIMENT AT APPROPRIATE TIME AND PRIOR TO THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING MATERIAL DOES NOT SPILL, LEAK, OR FALL FROM TRUCKS HAULING MATERIAL TO OR AWAY FROM SITE, INCLUDING MATERIAL FALLING FROM TIRES. SHOULD THE STATE OR COUNTY REQUIRE SWEEPING AND CLEANING OF ROADWAYS DUE TO THE ABOVE, THE SAME SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY FINES DUE TO THE ABOVE.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 16 (ABOVE).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- CONTRACTOR SHALL NOTIFY SUNSHINE 811 TWO (2) FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES, AND OTHER UTILITIES AS NECESSARY.
- THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE PROJECT ENGINEER IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
- FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITY, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURE.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION. ALL EARTHWORK SHALL BE ACCOMPLISHED TO KEEP WATER FLOW AND DRAINAGE WITHIN THE CONFINES OF THE EXISTING CURBS.
- THE CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE CONSTRUCTION DOCUMENTS. TESTING SHALL BE PAID FOR BY THE CONTRACTOR AND THE COUNTY SHALL APPROVE OF TESTING LAB CHOSEN. CONTRACTOR SHALL COORDINATE AND ASSIST TESTING LABORATORIES WITH TESTING. ANY NECESSARY RE-TESTING SHALL BE PAID FOR BY THE CONTRACTOR.

- ALL DEMOLITION MATERIALS AND EXCESS SOIL MATERIAL EXCAVATED AND NOT USED AS FILL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF-SITE IN A LEGAL AND RESPONSIBLE MANNER BY THE CONTRACTOR. CONCRETE AND ANY OTHER DEBRIS SHALL BE REMOVED AND HAULED OFF THE SAME DAY.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS, AND THE CONSTRUCTION DOCUMENTS.
- ALL WORK SHALL BE CONFINED TO WITHIN THE PROJECT R/W OR PROPERTY LIMITS. ALL REMOVAL OF DEBRIS AND DELIVERY OF PLANT MATERIALS AND SOILS BY HEAVY VEHICLES SHALL BE DONE IN SUCH A WAY AS TO PROTECT THE EXISTING CURB AND GUTTER FROM CRACKING AND BREAKING.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- SHOULD CONTRACTOR ELECT TO USE ONSITE EXCAVATION AS FILL, HE IS CAUTIONED NO ADDITIONAL TIME OR COST WILL BE ALLOWED SHOULD MATERIAL BECOME WET AND UNWORKABLE. IF NECESSARY, CONTRACTOR WILL BE REQUIRED TO BRING IN OFFSITE FILL MATERIAL MEETING TECHNICAL SPECIFICATIONS AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING AND NEW STORMWATER PIPES AND STRUCTURES IMPACTED BY THE PROJECT AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES, AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE CONTINUED MAINTENANCE OF TRAFFIC TO PUBLIC/PRIVATE PROPERTY IN A SAFE AND FEASIBLE MANNER IN AREAS IMPACTED BY THE PROJECT CONSTRUCTION UNTIL ALL SUCH ACCESS CAN BE RESTORED PERMANENTLY. ALL MAINTENANCE OF TRAFFIC PLANS MUST BE SUBMITTED TO THE COUNTY FOR APPROVAL A MINIMUM OF FIVE (5) CALENDAR DAYS PRIOR TO IMPLEMENTING ANY PROPOSED MEASURES AND COORDINATION WITH IMPACTED RESIDENTS AND/OR PROPERTY OWNERS (OR OWNER REPRESENTATIVES) MAY BE REQUIRED OF THE CONTRACTOR AS PART OF THE MAINTENANCE OF TRAFFIC PLAN. ALL COST FOR SUCH REVISED MAINTENANCE OF TRAFFIC PLANS AND MEASURES SHALL BE COVERED/INCLUDED IN THE CONTRACTORS BID.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- THE CONTRACTOR SHALL NOT BLOCK OR OBSTRUCT ANY ROADS OR DRIVES WITHOUT FIRST RECEIVING PERMISSION FROM THE COUNTY TO DO SO.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS SEWER, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED ON PLANS.
- CONTRACTOR SHALL CLEANUP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC., AT LEAST TWICE A WEEK AT NO ADDITIONAL COST TO THE COUNTY.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL ITEMS OF PRIVATE PROPERTY LOCATED WITHIN THE COUNTY R/W SHALL BE PROTECTED AND/OR RELOCATED TO THE COUNTY'S SATISFACTION AS PART OF THE PROJECT. SUCH ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO, IRRIGATION SYSTEMS, MAIL BOXES, SIGNS, LANDSCAPE, PLANTER BEDS/BOXES, YARD DRAINS, BENCHES, ETC., AND SHALL BE COORDINATED AND ADDRESSED IN A TIMELY AND PROFESSIONAL MANNER. ITEMS REQUIRING REPLACEMENT SHALL BE OF EQUAL OR BETTER QUALITY.
- THE LOCATION OF THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAY-DOWN AREA SHALL BE APPROVED BY THE COUNTY PRIOR TO SECURING SUCH ARRANGEMENTS, AS DIRECTLY RELATED TO THE PROJECT. THE LAY-DOWN AREA SHALL BE COMPLETELY SECURED UTILIZING TEMPORARY 6' CHAIN-LINK CONSTRUCTION FENCING WITH LOCKED GATES AND PROPER EROSION CONTROL BARRIER, AS NECESSARY, AND SHALL BE KEPT IN A NEAT AND UNIFORM MANNER AT ALL TIMES, AS DETERMINED BY THE COUNTY. ONLY MATERIALS AND EQUIPMENT DIRECTLY REQUIRED TO FACILITATE THE CURRENT PROGRESS OF THE PROJECT CONSTRUCTION SHALL BE STORED IN THE LAY-DOWN AREA AT ANY GIVEN TIME AND ALL OTHER MATERIALS AND EQUIPMENT SHALL BE IMMEDIATELY REMOVED AT THE REQUEST OF THE CITY. CONTRACTOR IS RESPONSIBLE FOR LAY-DOWN AREAS.
- THE CONTRACTOR'S PROPOSED SCHEDULE OF WORK FOR BOTH STANDARD (M-F, 7AM-4PM) AND NON-STANDARD HOURS SHALL BE REVIEWED AND APPROVED BY THE COUNTY AND SUBMITTED FOR REVIEW IN WRITING A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF THE PROPOSED WORK. THE COUNTY RESERVES THE RIGHT TO DENY WORK ON ANY PROPOSED DAY IF CERTAIN PUBLIC EVENTS, ENVIRONMENTAL CONDITIONS, NEIGHBORHOOD CIRCUMSTANCES, ETC., REQUIRE SUCH ACTION. THE CONTRACTOR SHALL ACKNOWLEDGE ULTIMATE RESPONSIBILITY OF THE JOB SITE DURING CONSTRUCTION (24 HRS/DAY) FOR THE ENTIRE DURATION OF THE PROJECT, REGARDLESS OF APPROVED WORK SCHEDULES AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL SUBMIT A POST-CONSTRUCTION CERTIFICATION AND REPRODUCIBLE RECORD DRAWINGS TO THE COUNTY PRIOR TO INSPECTION AND ACCEPTANCE. THE RECORD DRAWINGS SHALL BE PREPARED AND CERTIFIED BY A FLORIDA PROFESSIONAL SURVEYOR.
- BENCHMARK ELEVATIONS SHOWN ON THE PLANS ARE NORTH AMERICAN VERTICAL DATUM OF 1983 (NAVD 83).

- ALL SURVEY INFORMATION WAS OBTAINED FROM A LICENSED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER AND UTILIZED AS SUPPORTING DATA IN THE PRODUCTION OF DESIGN PLANS AND FOR CONSTRUCTION ON SUBJECT PROJECT. THE PROFESSIONAL SURVEYOR AND MAPPER OF RECORD IS:
JOSEPH BARRETT, P.S.M
P.S.M. NO: 6260
ENGINEERING DEPARTMENT, ESCAMBIA COUNTY, FLORIDA
3363 W. PARK PLACE
PENSACOLA, FLORIDA 32505
CERTIFICATE OF AUTHORIZATION NO: LB 7918
- THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS (INCLUDING THOSE DESIGNATED Vv, Vh, AND Vvh) ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE POINTS SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT SITE. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, PERMISSION FROM THE OWNER'S REPRESENTATIVE IN ADVANCE. THE CONTRACTOR SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE OWNER'S REPRESENTATIVE SHALL COORDINATE WITH THE COUNTY PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR. BECAUSE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AND INTENDED FOR EQUIPMENT USE AS A HAZARDOUS MATERIAL, SUCH PRODUCTS DO NOT NEED A MSDS SUBMITTAL. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE OWNER'S REPRESENTATIVE IS TO NOTIFY THE COUNTY OF THE DISCOVERY. THE COUNTY WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ATTENDING A PRE-CONSTRUCTION MEETING DURING WHICH INSTALLATION SPECIFICATIONS, INSTALLATION REQUIREMENTS, SCHEDULES, AND MAINTENANCE REQUIREMENTS WILL BE DISCUSSED.

THIS DOCUMENT HAS BEEN DIGITALLY
SIGNED AND SEALED BY
William H Telford
2021.11.02 10:45:56
-04'00'
ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
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ATKINS NORTH AMERICA, INC.
482 S. KELLER ROAD
ORLANDO, FL 32809
(407) 647-7775
CERTIFICATE OF AUTHORIZATION: 24
WILLIAM H. TELFORD, P.E. NO. 32067



APPROVED BY									
DATE									
REVISIONS									
NUMBER									

ENSLEY GATEWAY

GENERAL NOTES

ATKINS

2114 AIRPORT BLVD., SUITE 1450
PENSACOLA, FLORIDA 32504
PHONE NO. 850.478.9844
CERTIFICATE OF AUTHORIZATION NO. 24

WILLIAM H. TELFORD
LICENSE
No 32067
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

ENGINEER OF RECORD

WILLIAM H TELFORD
FLA 32067

DRAWN BY: HIL

DESIGNED BY: DMH

CHECKED BY: JBP

APPROVED BY: WHT

PROJECT NUMBER 100070185

DRAWING NUMBER C0.01

TOPOGRAPHIC SURVEY



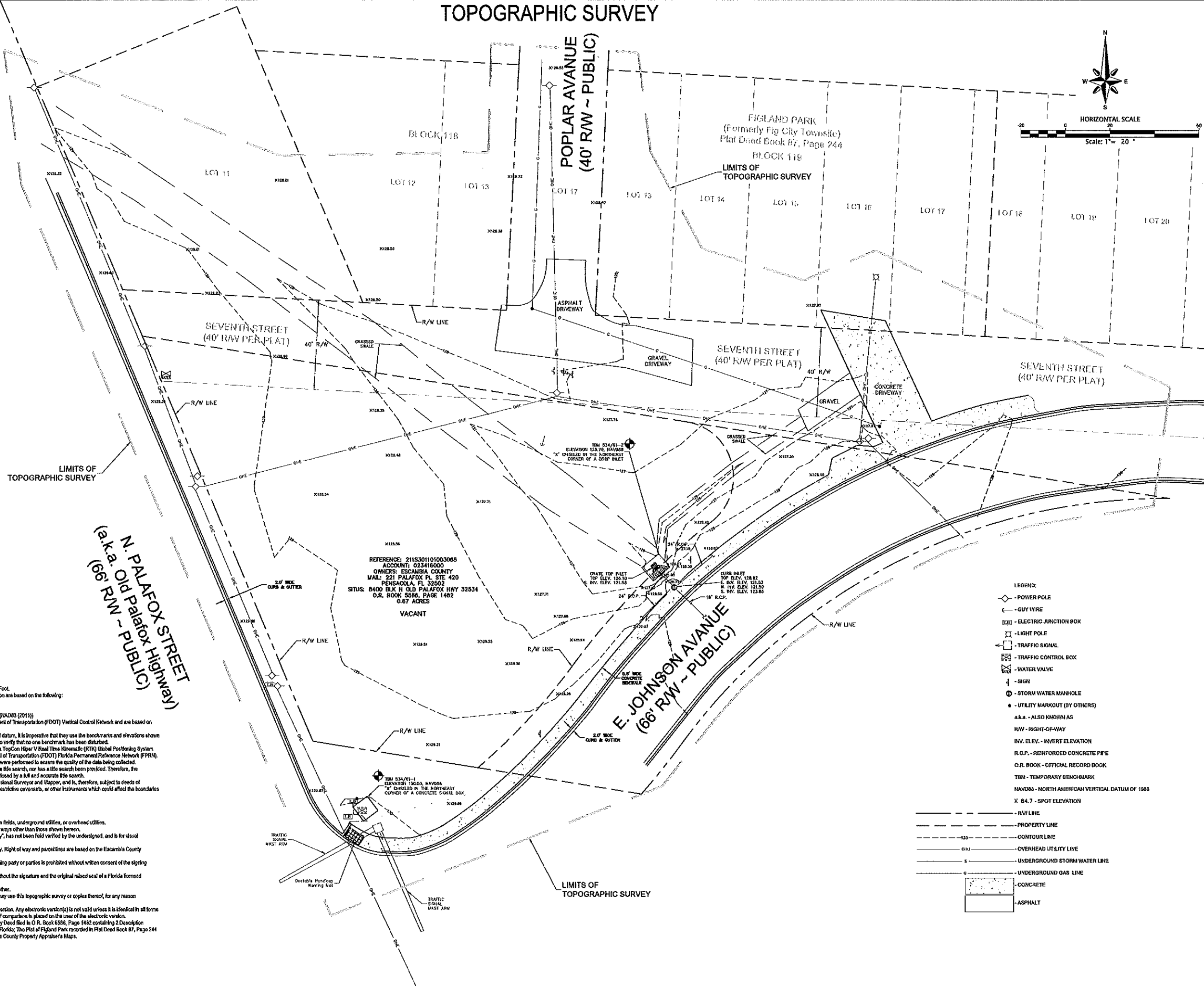
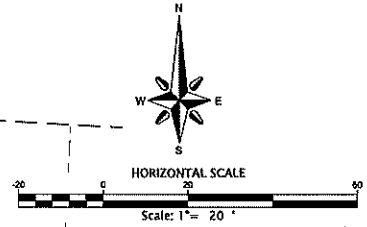
I hereby certify that the survey shown herein was made under my responsible charge and that I am a duly Licensed Professional Engineer in the State of Florida, License No. 6250, and that the survey was made in accordance with the provisions of Chapter 463, F.S. and the Rules and Regulations of the Board of Professional Engineers, State of Florida.

DATE: 7/17/2019
 DRAWN BY: J. BARRETT
 CHECKED BY: J. BARRETT
 PROFESSIONAL SURVEYOR AND MAPPER NO. 6250

ENGINEERING DEPARTMENT
 ESCAMBA COUNTY, FLORIDA
 3363 WEST PARK PLACE, PENSACOLA, FLORIDA 32505

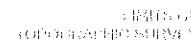
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 SHEET 1 OF 1
 SHEETS/1

DRAWING NUMBER:
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 SHEET 1
 OF 1 SHEETS/1



Surveyor's Notes:

- Measurements were made in accordance with the United States Standard Foot.
- Basis of Bearings Reference: Grid North and the grid bearings shown herein are based on the following:
 - Projection Zone: Florida North (State Plane)
 - Projection Type: Lambert Conformal Conic
 - Datum: North American Datum of 1983 with a datum tag of 2011 (NAD83 (2011))
- The vertical elevations as shown herein are referenced to Florida Department of Transportation (FDOT) Vertical Control Network and are based on North American Vertical Datum of 1988 (NAVD88).
- To ensure that any contractor, engineer, or surveyor is on the same vertical datum, it is imperative that they use the benchmarks and elevations shown herein. In addition, a check between benchmarks needs to be performed to verify that no one benchmark has been disturbed.
- The horizontal positions shown herein were derived from the utilization of a Topcon HiPer V Real Time Kinematic (RTK) Global Positioning System (GPS) dual frequency receiver in RTK Mode utilizing the Florida Department of Transportation (FDOT) Florida Permanent Reference Network (FPRN). Periodic checks into known horizontal control with published coordinates were performed to ensure the quality of the data being collected.
- Joseph Barrett, Florida Professional Surveyor and Mapper did not perform a title search, nor has a title search been provided. Therefore, the topographic survey shown herein is subject to any facts that may be disclosed by a full and accurate title search.
- Land shown herein were not obstructed by Joseph Barrett, Florida Professional Surveyor and Mapper, and is, therefore, subject to deeds of record, unrecorded deeds, easements, right-of-ways, building setbacks, restrictive covenants, or other instruments which could affect the boundaries or use of the subject property.
- Locations are limited to visual improvements only.
- No existing improvements were located other than those shown herein.
- This survey does not reflect, determine, or guarantee ownership.
- No attempt was made to locate any underground foundations, easements, fields, underground utilities, or overhead utilities.
- No attempt was made to locate written or unwritten easements or right of ways other than those shown herein.
- Any item shown herein and designated as "For Illustrative Purposes Only", has not been field verified by the undersigned, and is for visual representation only.
- No boundary survey was performed for, or during, this topographic survey. Right of way and parcel lines are based on the Escambia County Property Appraiser's maps.
- Additions or deletions to survey map(s) or report(s) by other than the signing party or parties is prohibited without written consent of the signing parties.
- The topographic survey map and report or copies thereof are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
- The topographic survey and report are not full and complete without the other.
- No other person(s) and/or entity(ies) other than those certified to above may use this topographic survey or copies thereof, for any reason whatsoever, without the prior written consent of the undersigned.
- The official record of this survey is the original signed and sealed paper version. Any electronic version(s) is not valid unless it is identical in all forms and respects to the original signed and sealed paper version. The units of measurement is placed on the user of the electronic version.
- Documents used in the preparation of this topographic survey: A Warranty Deed filed in O.R. Book 6356, Page 1482 containing 2 Deed and 2 Subdivision Stakes Exhibit A recorded in the Public Records of Escambia County, Florida; The Plat of Figland Park recorded in Plat Deed Book 87, Page 244 recorded in the Public Records of Escambia County, Florida; and Escambia County Property Appraiser's Maps.



Land Cover	Area (Acres)	Percent of Total Site Area
Site Pervious/Landscape Cover	0.70	61%
Site Impervious Cover	0.29	25%
Site Semi-Impervious Cover (Gravel)	0.16	14%
Total Site Parcel Area	1.15	100%

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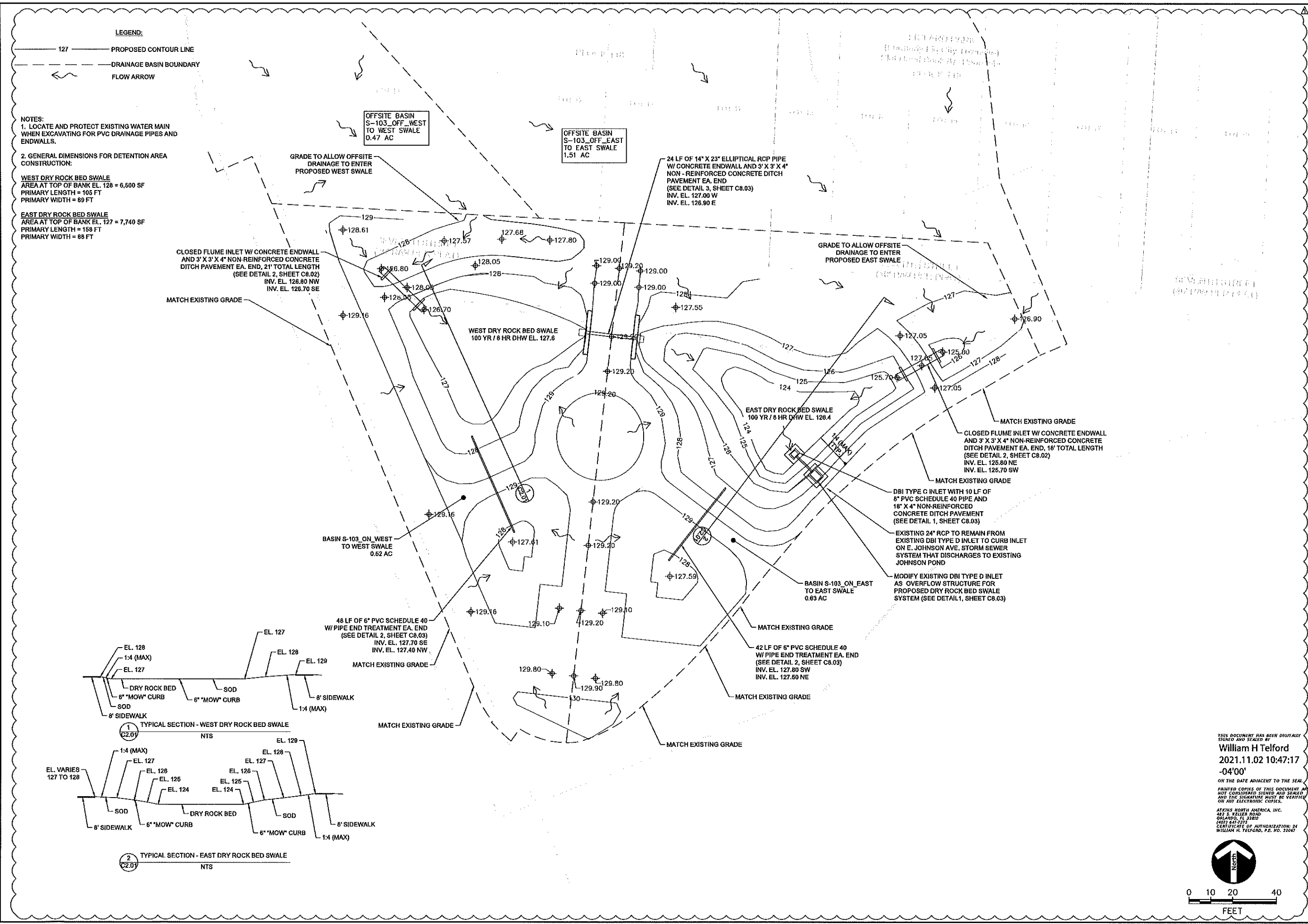
ENSLEY GATEWAY

SIEFLAN

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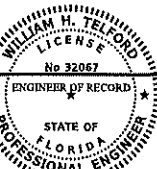


DRAWN BY:	HIL
DESIGNED BY:	DMH
CHECKED BY:	JBP
APPROVED BY:	WHT
PROJECT NUMBER	100070
DRAWING NUMBER	C1.01

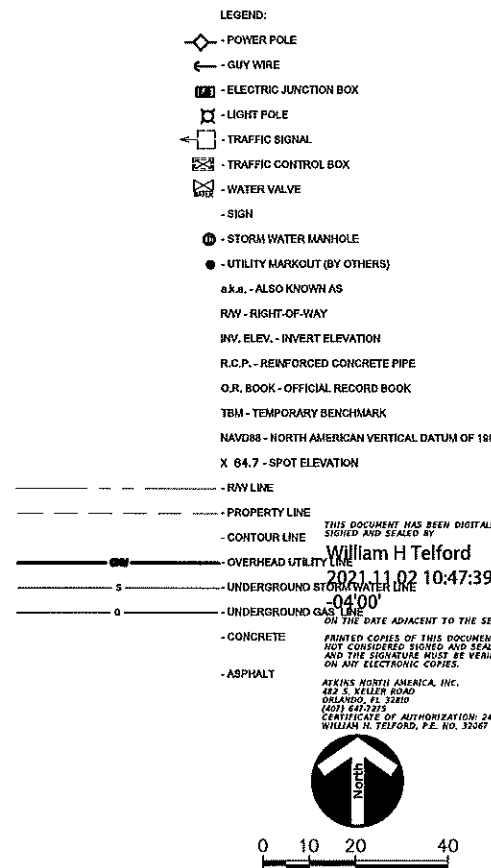


ENSLEY GATEWAY
GRADING & DRAINAGE PLAN

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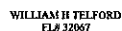
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PROJECT NUMBER	100070185
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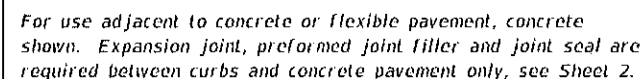
UTILITY ADJUSTMENTS

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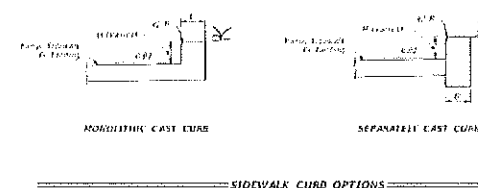
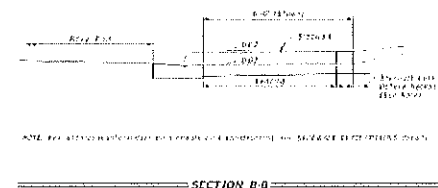


DRAWN BY:	HIL
DESIGNED BY:	DMH
CHECKED BY:	JBP
APPROVED BY:	WH
PROJECT NUMBER	1000
DRAWING NUMBER	C3.0



1. PROVIDE ISOLATION JOINT BETWEEN SIGN WALL AND MODIFIED FDOT TYPE D CURB, OR ALTERNATE #1 IF CHOSEN.

2. PROVIDE CONTRACTION JOINTS EVERY 10 FEET ON SIGN WALL AND MODIFIED FDOT TYPE D CURB, OR ALTERNATE #1 IF CHOSEN. SEE GENERAL NOTE 1 ON SHEET 2 OF FDOT STANDARD PLANS INDEX 520-001.



5 FDOT CR-C CURB RAMP
C8.01 NTS

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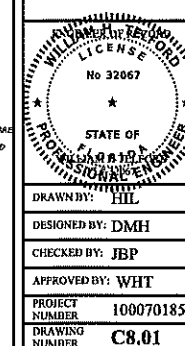
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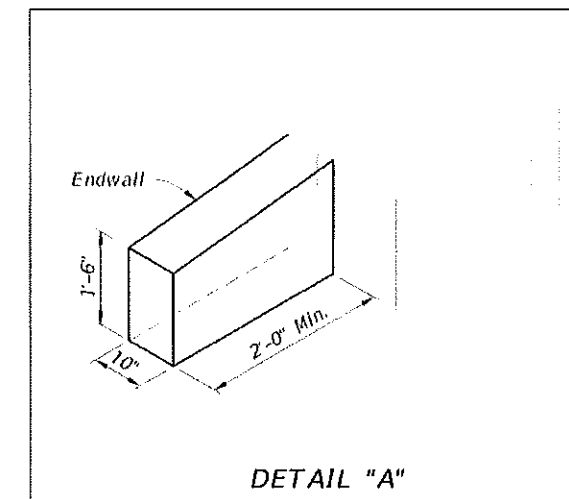
ENSLEY GATEWAY

HARDSCAPE DETAILS

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




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WILLIAM H. REED
LICENSE
No 32067
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STATE OF LOUISIANA
PROFESSIONAL ENGINEER

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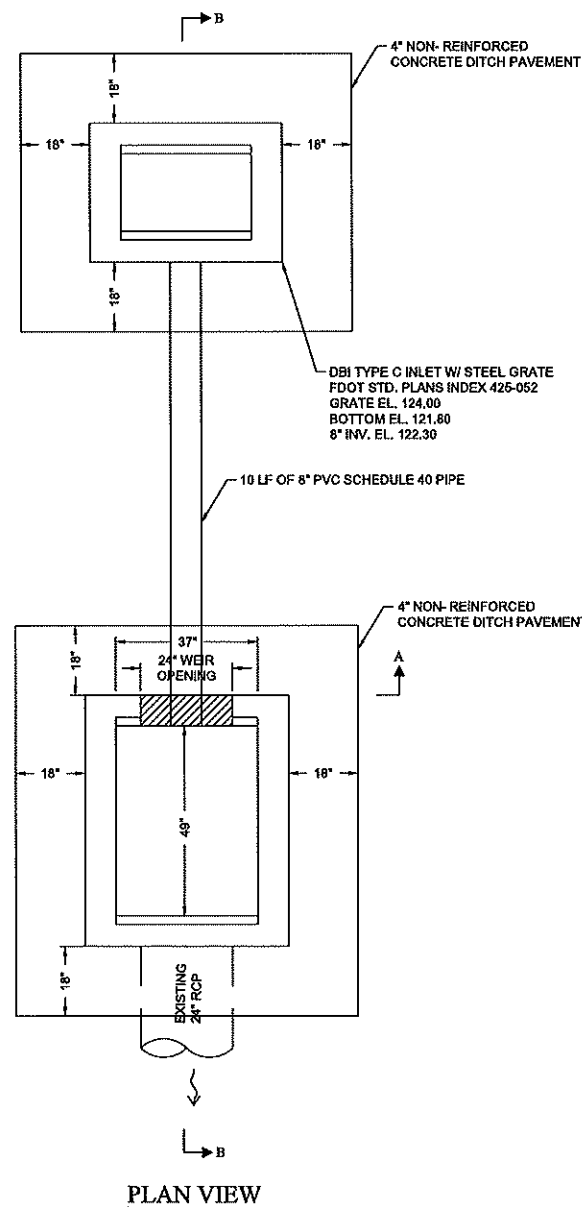
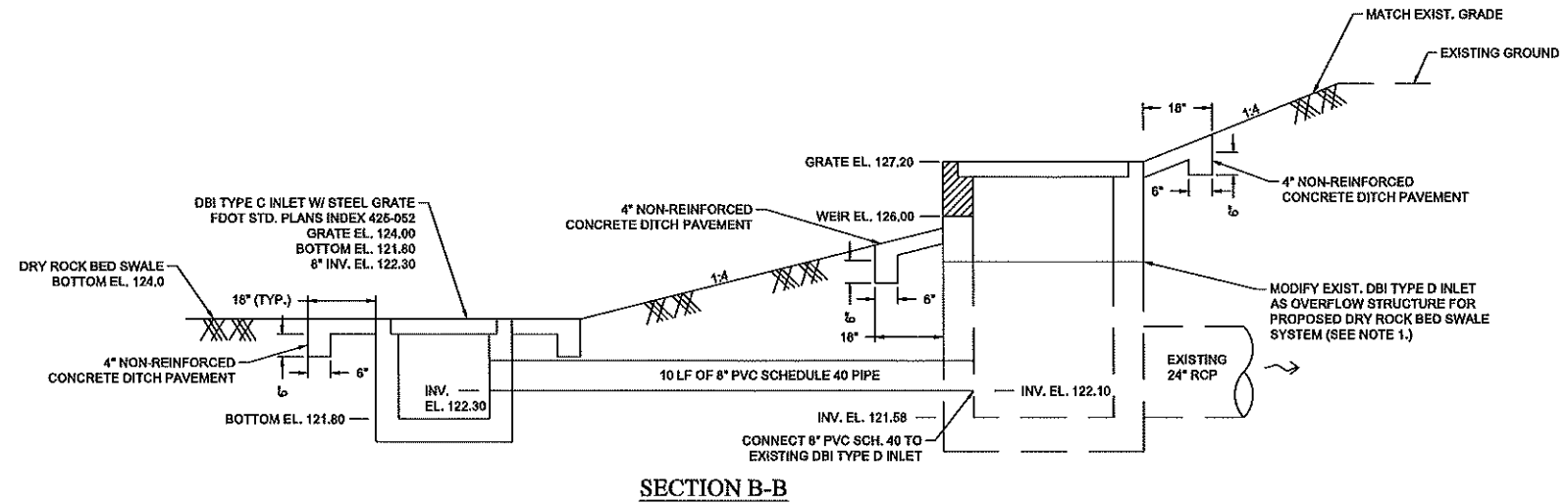
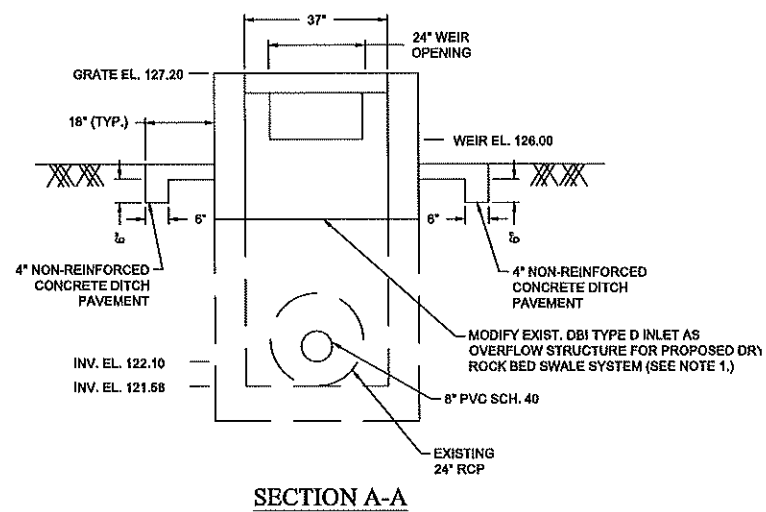
DESIGNED BY: DMH

CHECKED BY: JBP

APPROVED BY: WHT

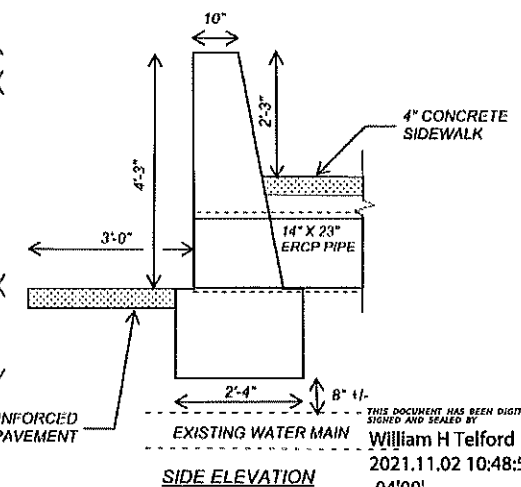
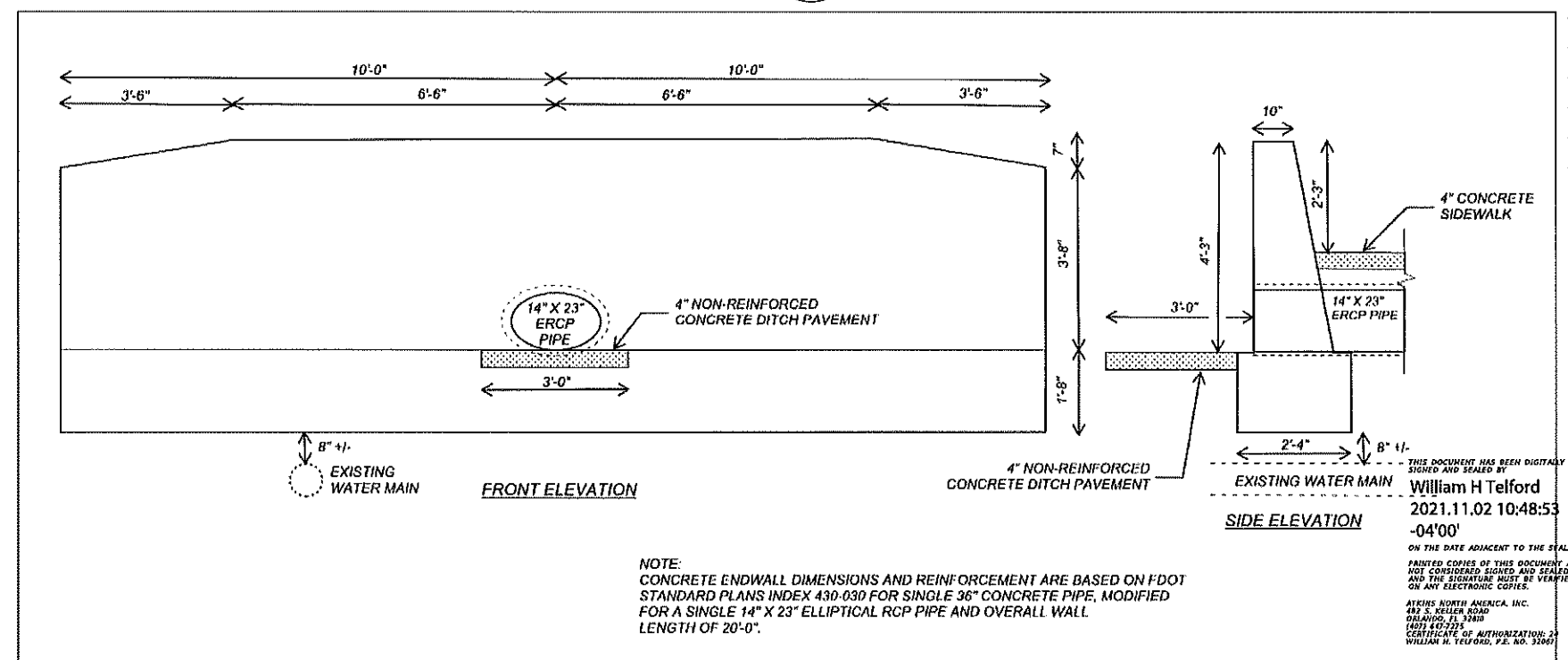
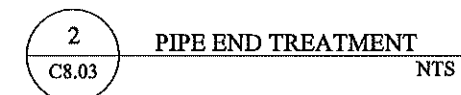
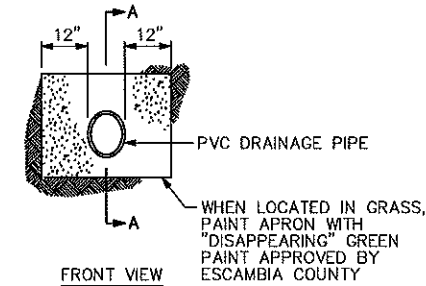
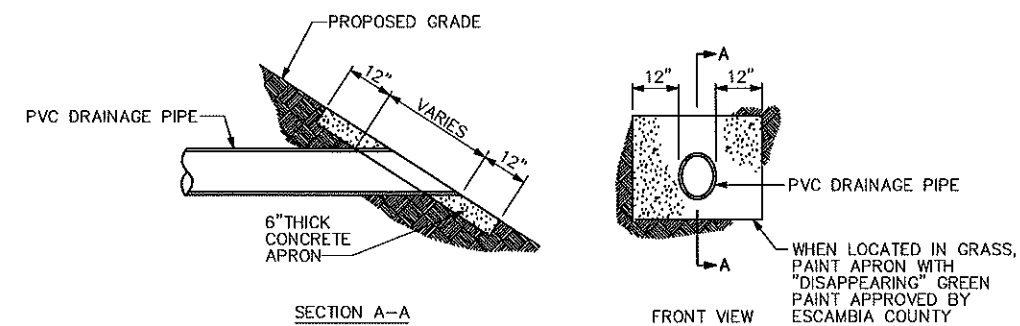
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DRAWING NUMBER C8.02



- NOTES:

1. SAWCUT AND REMOVE EXIST. DBI TYPE D INLET TOP AND CONCRETE APRON ABOVE EL. 125.00. CONNECT PROPOSED DBI TYPE D MODIFIED INLET TOP WITH STEEL GRATE PER FDOT STANDARD PLANS INDEX 425-052 TO EXIST. INLET BOTTOM WITH JOINT DOWELS PER FDOT STANDARD PLANS INDEX 425-001.



NOTE:
CONCRETE ENDWALL DIMENSIONS AND REINFORCEMENT ARE BASED ON FDOT
STANDARD PLANS INDEX 430-030 FOR SINGLE 36" CONCRETE PIPE, MODIFIED
FOR A SINGLE 14" X 23" ELLIPTICAL RCP PIPE AND OVERALL WALL
LENGTH OF 20'-0".

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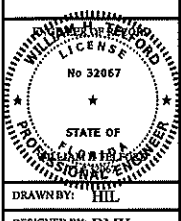


ENSLEY GATEWAY

DRAINAGE DETAILS

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APPROVED BY:	WHT
PROJECT NUMBER	100070
DRAWING NUMBER	C8.03

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED STABILIZATION AND STRUCTURAL PRACTICES BASED ON THE PROPOSED TEMPORARY TRAFFIC CONTROL (TTC) PLAN. THE FOLLOWING RECOMMENDED GUIDELINES ARE BASED ON THE TEMPORARY TRAFFIC CONTROL PLAN OUTLINED IN THE CONSTRUCTION PLANS. WHERE FOLLOWING THE TEMPORARY TRAFFIC CONTROL PLAN OUTLINED IN THESE CONSTRUCTION PLANS,

THE FOLLOWING GUIDELINES MAY BE ACCEPTED OR MODIFIED IN THE SEDIMENT AND EROSION CONTROL PLAN, SUBJECT TO APPROVAL BY THE ENGINEER. AS WORK PROGRESSES, THE CONTRACTOR SHALL MODIFY THE PLAN TO ADAPT TO SEASONAL VARIATIONS, CHANGES IN CONSTRUCTION ACTIVITIES, AND THE NEED FOR BETTER PRACTICES.

FOR EACH CONSTRUCTION PHASE, INSTALL PERIMETER CONTROLS AFTER CLEARING AND GRUBBING NECESSARY FOR INSTALLATION OF CONTROLS BUT BEFORE BEGINNING OTHER WORK FOR THE CONSTRUCTION PHASE. REMOVE PERIMETER CONTROLS ONLY AFTER ALL UPSTREAM AREAS ARE STABILIZED.

PROJECT DESCRIPTION:

1. PLACE SILT FENCES AROUND DITCH BOTTOM INLETS. PLACE SYNTHETIC BALES ON REMAINING INLETS.
2. PROTECT PROJECT AREAS NOT DISTURBED AND OFFSITE AREAS BY PLACING SILT FENCE ALONG LOW SIDE OF GRADING AND AROUND PROJECT PERIMETER.

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE STABILIZATION PRACTICES PROPOSED TO CONTROL EROSION, INITIATE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN CASE MORE THAN 7 DAYS AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. THE STABILIZATION PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

* ARTIFICIAL COVERING IN ACCORDANCE WITH STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION SECTION 104.

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED STRUCTURAL PRACTICES TO CONTROL OR TRAP SEDIMENT AND OTHERWISE PREVENT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. SEDIMENT CONTROLS SHALL BE IN PLACE BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. THE STRUCTURAL PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

* SEDIMENT BARRIERS IN ACCORDANCE WITH STANDARD PLAN INDEX 570-001, SPECIFICATION SECTION 104, AND FDEP EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.

* INLET PROTECTION IN ACCORDANCE WITH STANDARD INDEX 570-001, FDEP EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL AND SPECIAL DETAILS SHOWN IN THE TTC PLAN.

TWO DRY ROCK BED SWALES WILL BE CONSTRUCTED TO COLLECT AND CONVEY STORMWATER RUNOFF FROM THE PROJECT'S ONSITE AND OFFSITE DRAINAGE AREAS. AN EXISTING DITCH BOTTOM INLET ON THE EAST BOUNDARY OF THE SITE WILL BE MODIFIED TO PROVIDE A CONTROL STRUCTURE FOR UTILIZING THE TWO SWALE AREAS FOR WATER QUALITY TREATMENT AND PEAK DISCHARGE ATTENUATION FOR THE SITE. A PERMIT IS PENDING FOR THE FACILITY BY THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (NWFWD).

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED METHODS TO PREVENT THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO WATERS OF THE UNITED STATES. THE PROPOSED METHODS SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER:

* DISPOSING OF ALL FERTILIZER AND/OR OTHER CHEMICAL CONTAINERS ACCORDING TO EPA'S STANDARD PRACTICES AS DETAILED BY THE MANUFACTURER.

* DISPOSING OF SOLID MATERIALS INCLUDING BUILDING AND CONSTRUCTION MATERIALS OFF THE PROJECT SITE BUT NOT IN SURFACE WATERS, OR WETLANDS.

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL DESCRIBE THE PROPOSED METHODS FOR MINIMIZING OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND GENERATING DUST. THE PROPOSED METHODS SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

* COVERING LOADED HAUL TRUCKS WITH TARPAULINS.

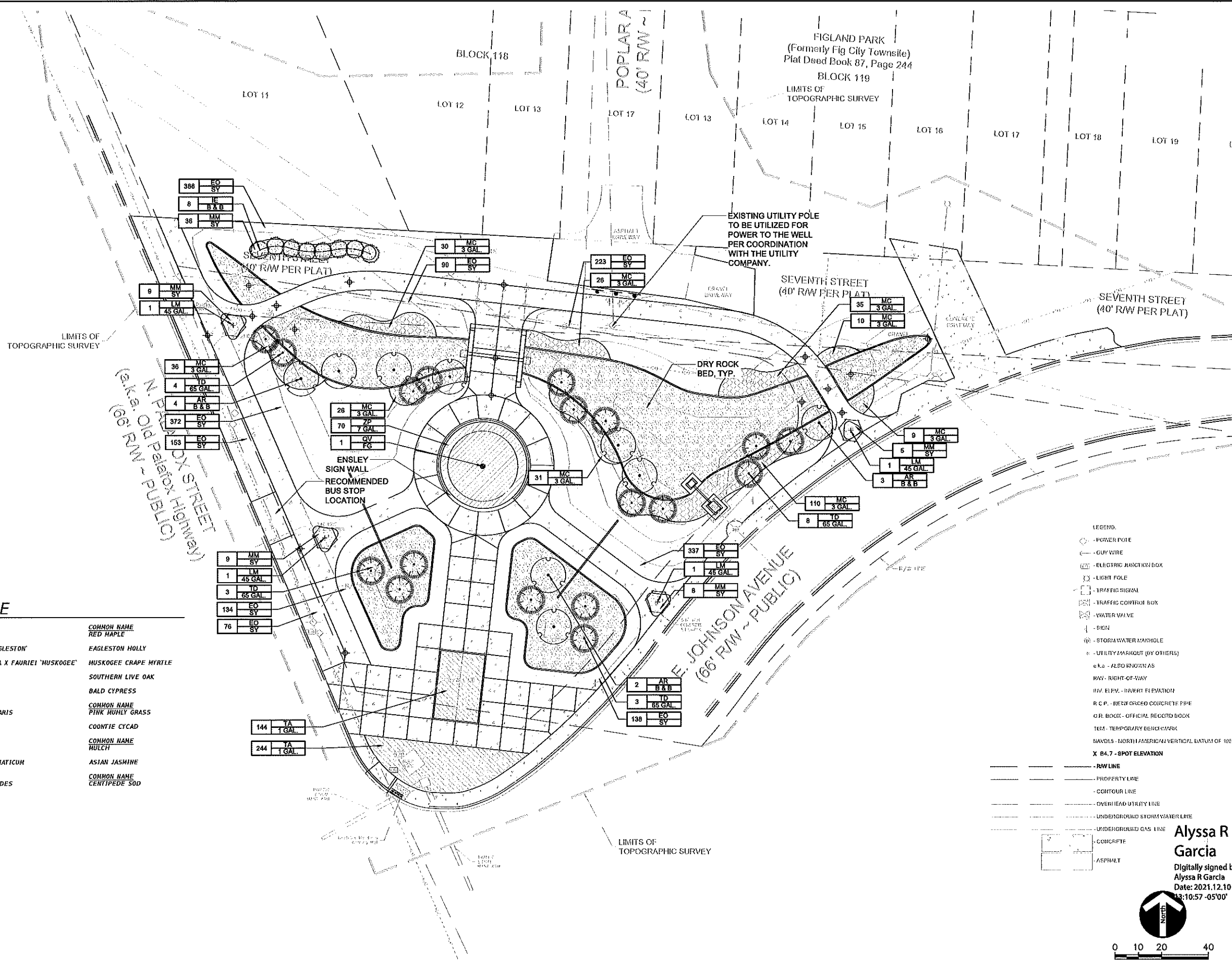
PER SPECIFICATION SECTION 104 EROSION CONTROL PLAN, IDENTIFY ALL ANTICIPATED NON-STORMWATER DISCHARGES (EXCEPT FLOWS FROM FIRE FIGHTING ACTIVITIES). THE CONTRACTOR SHALL DESCRIBE THE PROPOSED MEASURES TO PREVENT POLLUTION OF THESE NON-STORMWATER DISCHARGES.

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CHECKED BY:	JBP
APPROVED BY:	WHT
PROJECT NUMBER	100070185
DRAWING NUMBER	C9.01

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PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME
AR	KCER RUBRUM	RED MAPLE
IE	ILEX X ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY
LM	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE
QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
TD	TAXODIUM DISTICHUM	BALD CYPRESS
SHRUB AREAS	BOTANICAL NAME	COMMON NAME
MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS
ZP	ZAMIA PUMILA	COONTIE CYCAD
GROUND COVERS	BOTANICAL NAME	COMMON NAME
MM	PINE STRAW	MULCH
TA	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE
SOD/SEED	BOTANICAL NAME	COMMON NAME
EO	ERENOCLOA OPHIUROIDES	CENTPEDE SOD



- LEGEND:
- POWER POLE
 - GUY WIRE
 - ELECTRIC JUNCTION BOX
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - TRAFFIC CONTROL BOX
 - WATER VALVE
 - SIGN
 - STORMWATER MANHOLE
 - UTILITY MARKOUT (BY OTHERS)
 - ALSO KNOWN AS
 - RAW - RIGHT-OF-WAY
 - IRM ELEV. - INVERT ELEVATION
 - R.C.P. - REINFORCED CONCRETE PIPE
 - O.R. BOOK - OFFICIAL RECORD BOOK
 - TEM - TEMPORARY BENCHMARK
 - NAVD83 - NORTH AMERICAN VERTICAL DATUM OF 1983
 - X 84.7 - SPOT ELEVATION
 - RAW LINE
 - PROPERTY LINE
 - CONTOUR LINE
 - OVERHEAD UTILITY LINE
 - UNDERGROUND STORMWATER LINE
 - UNDERGROUND GAS LINE
 - CONCRETE
 - ASPHALT



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FEET

Alyssa R Garcia
Digitally signed by
Alyssa R Garcia
Date: 2021.12.10
13:10:57 -05'00'

APPROVED BY	DATE	NOTES	NUMBER
ENSLEY GATEWAY			
LANDSCAPE PLAN			
ATKINS			
482 SOUTH KELLER ROAD ORLANDO, FLORIDA 32810 PHONE NO. 407.806.4155 CERTIFICATE OF AUTHORIZATION NO. 24			
LANDSCAPE ARCHITECT OF RECORD			
DRAWN BY: AG			
DESIGNED BY: AG			
CHECKED BY: SP			
APPROVED BY: MR			
PROJECT NUMBER 100070185			
DRAWING NUMBER L1.01			

- THE ESTABLISHMENT PERIOD FOR WATERING AND MAINTENANCE BY THE CONTRACTOR SHALL BE 730 DAYS. THE CONTRACTOR SHALL REQUEST AN ESTABLISHMENT PERIOD INSPECTION AT THE END OF THE 730 DAY ESTABLISHMENT PERIOD. A REPRESENTATIVE FROM ESCAMBIA COUNTY WHO IS RESPONSIBLE FOR MAINTENANCE SHALL BE IN ATTENDANCE AT THE ESTABLISHMENT PERIOD INSPECTION.
2. LANDSCAPE MATERIALS SHALL BE ADJUSTED IN THE FIELD TO AVOID CONFLICTS WITH ANY (PROPOSED OR EXISTING TO REMAIN) UTILITY STRUCTURES, DRAINAGE STRUCTURES, DITCHES, UNDER DRAINS, DITCH BLOCKS, STORM WATER MANAGEMENT FACILITIES, PAVING, DRAINAGE DISCHARGE PATHS, SIGNAGE, OVERHEAD AND UNDERGROUND UTILITIES, LIGHTING AND THEIR APPURTENANCES. THE CONTRACTOR SHALL NOT INSTALL THE PROPOSED IMPROVEMENTS IF A CONFLICT EXISTS. ANY COSTS TO REMOVE AND/OR REPAIR WORK INSTALLED THAT HAS NOT BEEN APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. ALL WORK, INCLUDING BUT NOT LIMITED TO IRRIGATION AND LANDSCAPE, SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS.
4. REFER TO THE LANDSCAPE PLANS, GENERAL NOTES, AND THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. WHERE CONFLICTS EXIST, THE MORE STRINGENT STANDARDS AND SPECIFICATIONS SHALL APPLY.
5. THE CONTRACTOR SHALL INSURE THAT, PRIOR TO MOVING ON SITE, ALL EQUIPMENT WHICH LAST OPERATED IN AREAS KNOWN TO BE INFESTED WITH NOXIOUS WEEDS IS FREE OF SOIL, SEEDS, VEGETATIVE MATTER, OR OTHER DEBRIS THAT COULD CONTAIN OR HOLD SEEDS.
6. QUANTITIES ON LANDSCAPE PLAN ARE MINIMUM ONLY. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN QUANTITY TAKE-OFF, AND SHALL PROVIDE ALL PLANT MATERIAL REQUIRED TO FILL PLANT BED AREA AT SPACING SHOWN ON PLANT SCHEDULE.
7. ANY EXISTING CONCRETE AND BASE MATERIAL IN PROPOSED PLANTING AREA SHALL BE REMOVED COMPLETELY AND DISPOSED OF OFF SITE. APPROPRIATE TOP SOIL AND AMENDMENTS SHALL BE IMPORTED FOR OPTIMAL PLANT GROWTH TO REPLACE REMOVED MATERIAL.
8. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST SIX INCHES DEEP.
9. IF THE QUANTITY OF EXISTING STOCKPILED OR EXCAVATED TOPSOIL IS INADEQUATE FOR PLANTING, SUFFICIENT ADDITIONAL TOPSOIL SHALL BE IMPORTED TO THE SITE BY THE CONTRACTOR. TOPSOIL FURNISHED SHALL BE A NATURAL, FERTILE, FRIABLE, LOAMY SOIL, POSSESSING CHARACTERISTICS OF REPRESENTATIVE OF PRODUCTIVE SOILS IN THE VICINITY. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND FREE FROM JOHNSON GRASS (SORGHUM HALAPENSE), NUT GRASS (CYPRISSUS ROTUNDIFOLIA), AND OBJECTIONABLE WEEDS AND TOXIC SUBSTANCES. IT SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, AND NOXIOUS WEEDS, AND SHOULD GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY PLANT GROWTH.
10. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENED BY DISKING OR SCARIFYING TO A DEPTH OF 2 INCHES TO ENSURE BONDING OF THE TOPSOIL AND SODDING.
11. TOPSOIL SHALL NOT BE PLACED WHILE IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING.
12. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM TOP-SOILING OR OTHER OPERATIONS, SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
13. LANDSCAPE BEDS AND PLANTING LOCATIONS MAY HAVE BEEN ADJUSTED IN THE FIELD DURING INSTALLATION AND WILL BE NOTED ON THE AS-BUILT CERTIFICATION AND NOTED AS "REVISED LOCATION IS ACCEPTABLE AND APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD".
14. ALL PLANTS MUST BE FLORIDA GRADE NUMBER 1 QUALITY OR BETTER ACCORDING TO THE MOST RECENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES' GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND II

PLANTING BED PREPARATION

1. LOOSEN SOIL TO A MINIMUM DEPTH OF FOUR INCHES AND REMOVE ALL DEBRIS. REGRADE THE BED TO ITS PREPLANTING SUBGRADE. DIG PLANTING PITS AT 1.5 TIMES THE DIAMETER OF THE POT. FILL PLANT PIT WITH APPROVED PLANTING MIX AND COMPACT SO THAT THE TOP OF ROOT BALL WILL SETTLE TO THE PROPER LEVEL RELATIVE TO FINISH GRADE. SET PLANT AND FILL REMAINDER OF HOLE WITH PLANTING MIX. FERTILIZE EACH PLANT WITH THE APPROVED TYPE AND RATE OF FERTILIZER. WATER IN THOROUGHLY. RESET ANY PLANTS THAT SETTLE TOO DEEP. REMOVE SPOIL SOIL AND RAKE THE BED TO ITS FINISH GRADE. COVER ALL BED AREAS WITH THE SPECIFIED MULCH DEPTH. REMOVE ALL DEBRIS FROM THE MULCH. WATER BED THOROUGHLY. ALL PINE STRAW SHALL BE HIGH GRADE FROM THE 'IMPROVED SLASH' PINE TREE WITH A MINIMUM NEEDLE LENGTH OF EIGHT INCHES.
2. ALL PROPOSED PLANTING AND ROCK AREAS SHALL THEN BE TREATED WITH A PRE-EMERGENT HERBICIDE TO ASSURE THAT WEEDS WILL BE CONTROLLED PRIOR TO PLANTING. HERBICIDE INSTRUCTIONS SHALL BE FOLLOWED AS TO TREATMENT DILUTION, MIX, APPLICATION, AND TIME PERIODS BETWEEN APPLICATIONS AS APPLICABLE TO ASSURE WEEDS ARE ELIMINATED FROM THE PLANTING BEDS PRIOR TO COMMENCING PLANTING.
3. ALL SOIL AMENDMENTS SHALL BE ADDED TO THE PROPOSED PLANTING AREAS AND THOROUGHLY INCORPORATED INTO THE SOIL PRIOR TO COMMENCING FINAL GRADING AND INSTALLATION.

1. THE LOCATION(S) OF THE UTILITIES SHOWN ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE ONLY.
2. A UTILITY REPRESENTATIVE SHALL BE PRESENT IF LANDSCAPING REQUIRES ANY EXCAVATION OF GREATER THAN 36 INCHES DEPTH WITHIN 15' OF UNDERGROUND UTILITIES.

1. PERMANENT IRRIGATION SHALL BE INSTALLED FOR ALL LANDSCAPE INCLUDING EXISTING SOD SHOWN ON THE PLANS. THE IRRIGATION COVERAGE IS TO BE COMPRISED OF DRIP, SPRAY HEADS, AND BUBBLERS. A LOCKABLE CABINET CONTROLLER(S) SHALL BE PROVIDED BY THE CONTRACTOR AND ITS LOCATION DETERMINED IN CONJUNCTION WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. WATER SUPPLY SHALL BE BY WELL(S) INSTALLED BY THE CONTRACTOR. LOCATION AND NUMBER OF WELLS SHALL BE DETERMINED BY THE CONTRACTOR WITH COORDINATION WITH THE COUNTY. IT IS SUGGESTED TO OBTAIN POWER AT THE LIGHTING SERVICE LOCATIONS. ALL PERMITTING IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED AS A DESIGN-BUILD PORTION OF THE WORK PERFORMED BY THE CONTRACTOR. THE SYSTEM MUST BE DESIGNED/ZONED SO THAT ALL IRRIGATION CAN OCCUR BETWEEN THE HOURS OF 1:00 A.M. AND 7:00 A.M.
3. THE CONTRACTOR SHALL FURNISH THE OWNER'S REPRESENTATIVE WITH SHOP DRAWINGS AND SCHEMATIC DESIGN PLANS INDICATING FULL COVERAGE OF IRRIGATED AREAS. THE SHOP DRAWINGS MUST INCLUDE PROPOSED SLEEVING LOCATIONS/SIZES. ALL TREES SHALL HAVE 2 BUBBLERS THAT ARE PLACED ON BUBBLER-ONLY ZONES THAT ARE SEPARATE FROM THE OTHER IRRIGATION ZONES. INSTALLATION SHALL NOT COMMENCE UNTIL THE SHOP DRAWINGS ARE APPROVED BY THE OWNER'S REPRESENTATIVE.
4. PERMANENT SLEEVES SHALL BE INSTALLED BY THE CONTRACTOR AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL BORINGS AND CASINGS, AS NEEDED. THE CONTRACTOR IS RESPONSIBLE, AT THEIR EXPENSE, TO REPAIR ANY AND ALL DAMAGE CAUSED TO ANY ROADWAY OR ANY/ALL OTHER AREAS, OR UTILITIES AS A RESULT OF THE BORINGS OR ANY OTHER IRRIGATION WORK.
5. THE INSTALLER SHALL BE EXPECTED TO MAKE IRRIGATION SYSTEM FIELD ADJUSTMENTS ON THE SITE AS NEEDED, IN ORDER TO MAINTAIN COMPLETE AND ACCURATE IRRIGATION COVERAGE, AND TO MAINTAIN THE INTENT OF THE DESIGN. THE FINAL LOCATIONS FOR ALL MAJOR EQUIPMENT (AS APPLICABLE), INCLUDING CONTROLLERS, VALVES, WELLS, SUPPLY CONNECTIONS, MAINLINES, METERS, ETC. SHALL BE DETERMINED IN THE FIELD, STAKED OUT BY THE CONTRACTOR USING THEIR DRAWINGS AS A GUIDE, AND THEN APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. OVER FLOW ONTO STRUCTURES AND PAVED SURFACES IS NOT ALLOWED TO OCCUR.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO VERIFY AND CONFORM TO THE PARTICULAR CODES FOR THIS LOCATION. THE INSTALLER SHALL OBTAIN ALL NECESSARY PERMITS (INCLUDING THOSE FOR BORES, AND ANY WATER LINE TAPS, IF NECESSARY), UTILITY LOCATES, AND INSPECTIONS.
8. ALL MATERIAL AND LABOR NECESSARY TO PROVIDE A COMPLETE, FULLY OPERATIONAL, AND GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE SUBMITTED DOCUMENTS. THIS SHALL INCLUDE CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE VARIOUS MANUFACTURERS OF THE EQUIPMENT, AND WITH APPLICABLE TRAINING AND CERTIFICATION OF INSTALLATION PERSONNEL.
9. METALLIC LOCATOR/WARNING TAPE SHALL BE BURIED ABOVE ALL WIRING AND PIPING.
10. VALVE BOXES SHALL BE TAMPER-RESISTANT TYPE.
11. ALL IRRIGATION SHALL BE OF THE PROPER SIZE AND TYPE FOR THE LOCATION AND PLANT MATERIAL. ALL EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FROM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. ALL IRRIGATION SHALL BE ADJUSTED TO OBTAIN OPTIMAL COVERAGE OF PLANT MATERIAL.
12. CONTROLLER(S) SHALL BE HOOKED UP BY A LICENSED ELECTRICIAN.

- CONTRACTOR'S DESIGN. ANY POWER REQUIREMENTS FOR THE TIMERS ARE INTENDED TO COINCIDE WITH THE LIGHTING SYSTEM POWER SERVICE POINTS.

20. ALL ELECTRICAL WORK WILL BE PROVIDED BY THE CONTRACTOR.

1. THE LANDSCAPE INSTALLATION MUST BE PROPERLY SEQUENCED WITH OTHER CONSTRUCTION SO THAT THE LANDSCAPE AND IRRIGATION IS NOT DAMAGED BY OTHER WORK/TRADES (AND VICE VERSA).
2. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF AND STAKE ALL UTILITIES PRIOR TO CONSTRUCTION. EXCAVATION OF PLANT PITS LOCATED WITHIN 5' OF UTILITIES SHALL BE PERFORMED BY HAND. ANY UTILITY/PLANT MATERIAL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OR ANY FIELD ADJUSTMENTS.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON ALL DRAWINGS. ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS AS SHOWN IN THE PLANT SCHEDULE. THE CONTRACTOR SHALL GUARANTEE PLANT HEALTH AND SURVIVABILITY FOR ONE YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. ANY MATERIAL NOT MEETING SPECIFICATIONS OR DISPLAYING POOR HEALTH SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITHIN 2 WEEKS OF NOTICE.
4. TREAT ALL SOD AREAS WITHIN THE PROJECT LIMITS BY APPLYING 2 APPLICATIONS WITHIN A 14 DAY PERIOD WITH A NON-SELECTIVE HERBICIDE TAKING CARE TO PROJECT AREAS OUTSIDE THE PLANTING BEDS FROM OVERSPRAY. FOLLOWED BY TILLING AND SOIL AMENDMENT IF NECESSARY.
5. NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF ONE WEEK PRIOR TO PLANT DELIVERY TO SCHEDULE ON-SITE INSPECTION UPON DELIVERY. INSTALLED PLANT MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE. ALL PLANTS MUST BE BROUGHT TO THE SITE FREE OF WEEDS. ADDITIONALLY, THE CONTRACTOR SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH REPRESENTATIVE PLANT PHOTOS TO APPROVE FOR ALL PLANT MATERIALS PRIOR TO ANY PLANT DELIVERY. MEASURING STICKS SHALL BE SHOWN IN PHOTOS, AS APPROPRIATE.
6. ALL PLANT MATERIALS INDICATED WITH A GALLON SIZE SHALL BE CONTAINER GROWN AND WITHIN A CONTAINER APPROPRIATE FOR THE PLANT SIZE. ROOT BOUND PLANTS SHALL NOT BE ACCEPTED. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE LANDSCAPE CONTRACTOR SHALL CONDUCT REPRESENTATIVE SOIL ANALYSIS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY IMPROPER SOIL CONDITION (NUTRITIONAL DEFICIENCIES, WETNESS, MUCK, DEBRIS, ETC.) AND SHALL RECOMMEND FOR APPROVAL, PRIOR TO INSTALLATION, ALL SOIL AMENDMENTS THAT MAY BE NECESSARY TO PROMOTE HEALTHY, VIGOROUS PLANT GROWTH.
8. ALL PLANT MATERIAL MUST BE PLANTED IMMEDIATELY UPON DELIVERY TO THE SITE AND WATERED IN (BY HAND IF THE IRRIGATION SYSTEM IS NOT FUNCTIONING PROPERLY). ANY PLANT MATERIAL NOT INSTALLED WITHIN 6 HOURS OF DELIVERY TO THE SITE MUST BE STORED IN AN APPROVED, PROTECTED HOLDING AREA AND SHALL BE WATERED AS NECESSARY TO MAINTAIN PLANT HEALTH AND QUALITY.
9. SUPPLY THE OWNER'S REPRESENTATIVE WITH AS-BUILT DRAWINGS IN ACAD FORMAT (2016 VERSION OR LATER) WITHIN 30 DAYS OF PROJECT ACCEPTANCE.
11. DUE TO THE LARGE QUANTITIES OF LANDSCAPE MATERIAL ON THIS PROJECT, MULTIPLE NURSERIES CAN BE UTILIZED TO SUPPLY THE MATERIALS AS LONG AS THEY MATCH IN TYPE, FORM AND PROPOSED DELIVERY CONDITIONS.

Alyssa R Garcia signed by Alyssa R Garcia Date: 2021.12.10 13:13:28

Digitally
signed by
Alyssa R
Garcia
Date:
2021.12.10
13:13:28
-05'00'



DRAWN BY:	HIL
DESIGNED BY:	AG
CHECKED BY:	SP
APPROVED BY:	MR
PROJECT NUMBER	100070
DRAWING NUMBER	L2.01

ENSLEY GATEWAY

LANDSCAPE & IRRIGATION
NOTES










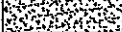
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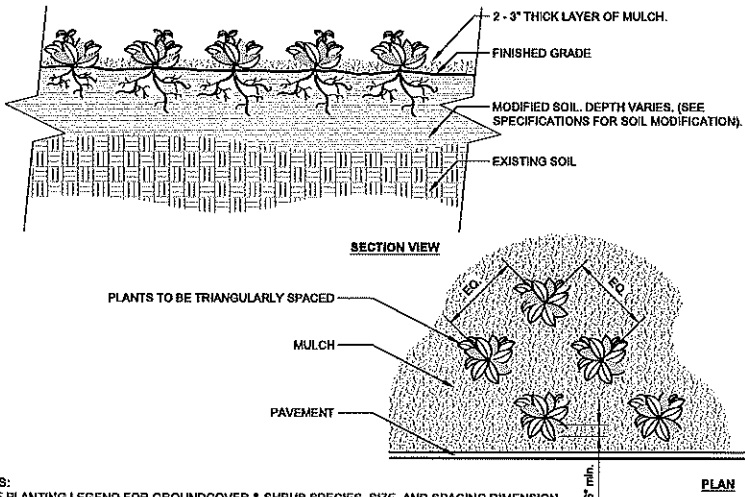
482 SOUTH KELLER ROAD
ORLANDO, FLORIDA 32810
PHONE NO. 407.806.4155

PHONE NO. 407.806.4133
CERTIFICATE OF AUTHORIZATION NO. 24

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	PAY ITEM NO.		REMARKS
	AR	9	ACER RUBRUM	RED MAPLE	B & B		3'-4' CAL., 14'-16' HT.
	IE	8	ILEX X ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	B & B		12-14' HT, 3" CAL. FULL TO GROUND
	LM	4	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	45 GAL.		STANDARD, 12'-14' HT X 4'-5' SPD, 6-7' CT
	QV	1	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	FG		17'-19' X 12'-14'; 7"-8" CAL.
	TD	18	TAXODIUM DISTICHUM	BALD CYPRESS	65 GAL.		2'-4" CAL., 12'-15' HT.
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	MC	313	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	36" o.c.	2.5-3' HT
	ZP	70	ZAMIA PUMILA	COONTIE CYCAD	7 GAL.	48" o.c.	1.5-2' HT, FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	MN	67	PINE STRAW	MULCH	SY	36" o.c.	
	TA	388	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	1 GAL.	24" o.c.	FULL, MIN. 12" TRAILING VINES
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	EO	1,909	EREMOCHLOA OPHIUROIDES	CENTPEDE SOD	SY	36" o.c.	

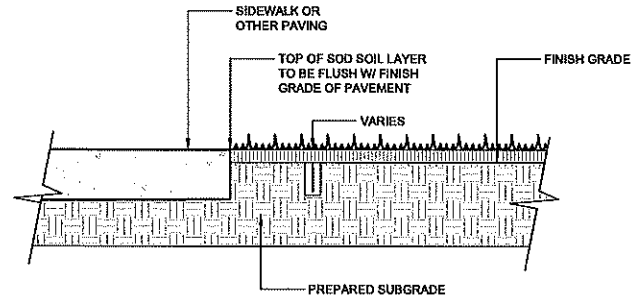


NOTES:
1- SEE PLANTING LEGEND FOR GROUND COVER & SHRUB SPECIES, SIZE, AND SPACING DIMENSION.
2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE. HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
3- SETTLE SOIL AROUND ROOT BALL OF EACH PLANT PRIOR TO MULCHING.

1 GROUND COVER

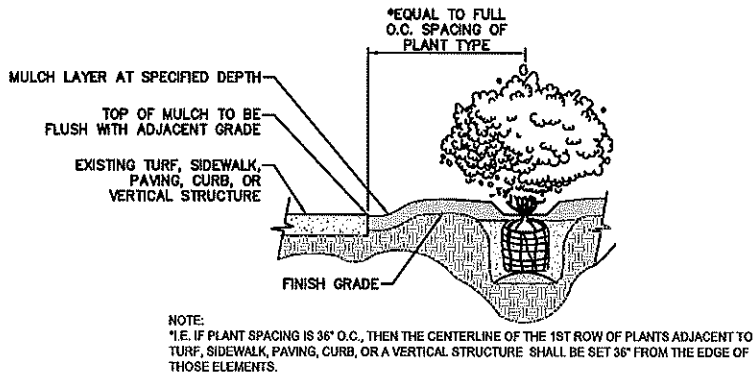
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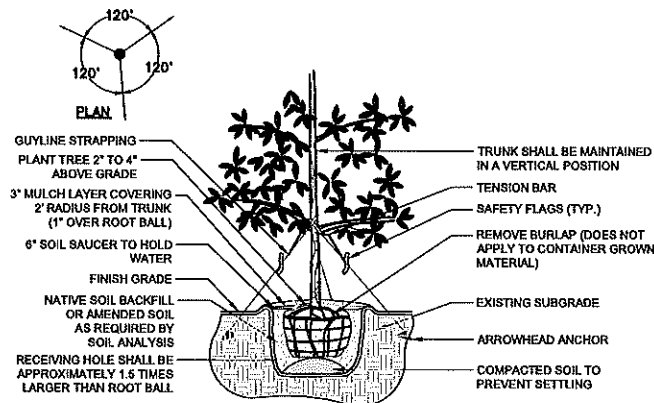
2 SOD PLACEMENT DETAIL

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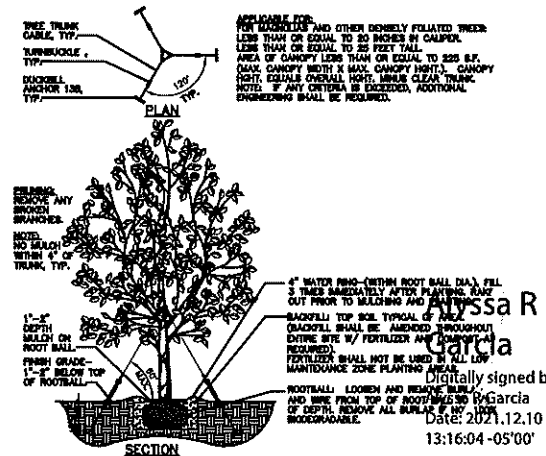
3 PLANT SPACING AT PERIMETER OF BED DETAIL

3



4 CANOPY TREE PLANTING & STAKING DETAIL

NTS



5 TREE PLANTING DETAIL - (SINGLE TRUNK)

NTS

3/4" = 1'-0"

ENSLEY GATEWAY

LANDSCAPE SCHEDULE & DETAILS

ATKINS

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CERTIFICATE OF AUTHORIZATION NO. 24

LANDSCAPE ARCHITECT
OF RECORD
ALYSSA GARCIA
FL LA 866715

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DESIGNED BY: AG
CHECKED BY: SP
APPROVED BY: MR
PROJECT NUMBER: 100070185
DRAWING NUMBER: 1.2.02