

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.

# CONSTRUCTION PLANS FOR FALLSCHASE AT PATHSTONE COMMERCIAL LOTS EAST RIVER OAKS DRIVE ESCAMBIA COUNTY, FLORIDA

**PROFESSIONAL SURVEYOR AND MAPPER**  
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REBOL-BATTLE & ASSOCIATES, LLC  
2301 NORTH NINTH AVE., SUITE 300  
PENSACOLA, FL 32503  
TELEPHONE 850.438.0400

**CIVIL ENGINEER**  
JEREMY R. KING, P.E.  
REBOL-BATTLE & ASSOCIATES, LLC  
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PENSACOLA, FL 32503  
TELEPHONE 850.438.0400

RBA PROJECT NO.: 2017.103

October 18, 2021

**ECUA REQUIRED PLAN NOTES**  
(NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET)

**A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE**

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH ANY LISTED UPDATES (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND THE PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD ON THE APPROPRIATE RESOLUTION.

**B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)**

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

YES  NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*

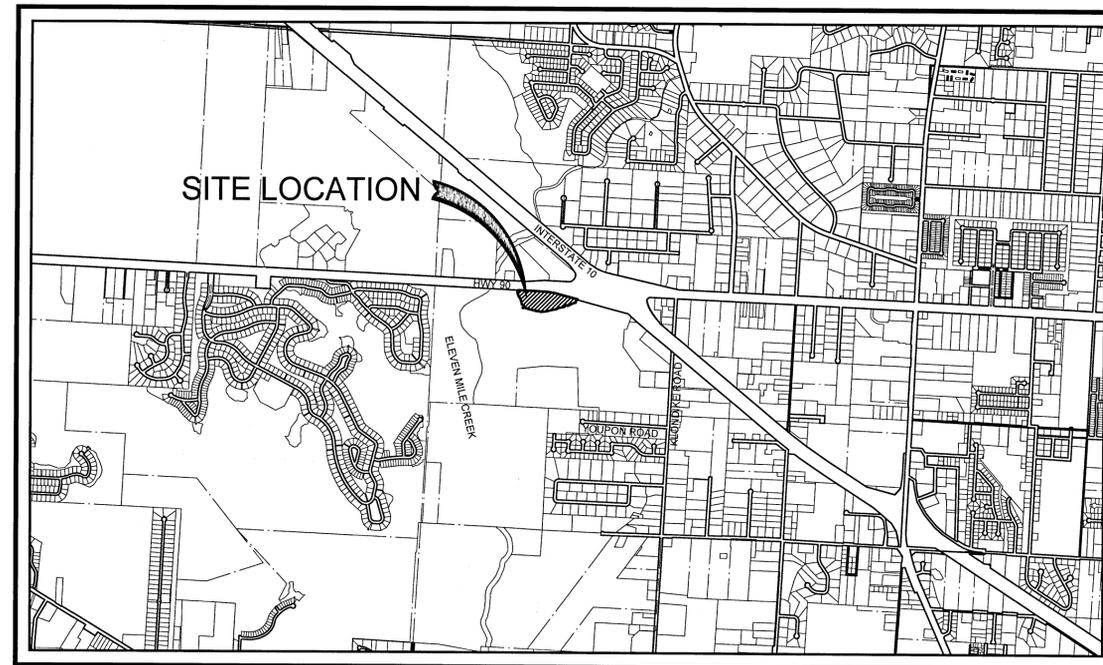
\*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

**C. ENGINEER OF RECORD RESPONSIBILITIES**

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTION OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

SITE INFORMATION	
OWNER:	PATHSTONE FL 2017 LLC 29891 WOODROW LN STE 300 SPANISH FORT, AL 36527
DEVELOPER:	PATHSTONE FL 2017 LLC 29891 WOODROW LN STE 300 SPANISH FORT, AL 36527
PROPERTY REFERENCE NO:	10-1S-31-1401-003-002
PROPERTY ADDRESS:	EAST RIVER OAKS DRIVE
PROPERTY AREA:	7.88 ACRES
PROJECT AREA:	7.88 ACRES
PROPERTY ZONING:	COMMERCIAL
FUTURE LAND USE:	MU-U
PROPOSED ACTIVITY:	COMMERCIAL SITE PLAN
REQUIRED BUILDING SETBACKS COMMERCIAL:	FRONT YARD - 15 FT. SIDE YARD - 10 FEET OR 10% OF LOT WIDTH AT STREET R/W WHICHEVER IS LESS BUT NOT LESS THAN 5' REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	290	G	SEPT 29, 2006



**VICINITY MAP**  
SCALE: 1" = 2000'



## REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

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EB 00009657 LB 7916

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

### INDEX OF DRAWINGS

- C1.0 - 1.3 EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN
- C1.4 EROSION CONTROL DETAILS
- C1.5 NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0 - 2.3 SITE LAYOUT AND DIMENSION PLAN
- C2.4 SITE DETAILS
- C3.0 - 3.3 GRADING AND DRAINAGE PLAN
- C3.4 - 3.5 GRADING AND DRAINAGE DETAILS
- C4.0 - 4.3 UTILITY PLAN
- C4.4 UTILITY DETAILS
- C5.0 - 5.3 LANDSCAPE PLAN
- C5.4 LANDSCAPE DETAILS

### LEGAL DESCRIPTION

DESCRIPTION: (PREPARED BY REBOL-BATTLE & ASSOCIATES)  
LOTS 1-5 OF PATHSTONE COMMERCIAL SUBDIVISION

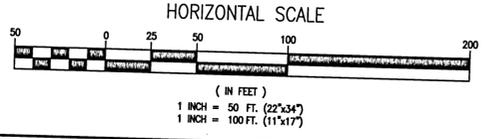
Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 1-5-22  
Printed Name: *[Name]*  
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



SITE ENVIRONMENTAL INFORMATION	
COMBINED SITE AREA	7.88 ACRES
ACOE/NWFWMD/ESCAMBIA COUNTY JURISDICTIONAL WETLANDS	0.57 ACRES
WETLAND BUFFER	0.50 ACRES
WETLAND IMPACT	0.57 ACRES
TEMPORARY OFFSITE WETLAND IMPACT	0 ACRES
WETLAND BUFFER IMPACT	0.50 ACRES
TEMPORARY OFFSITE WETLAND BUFFER IMPACT	0 ACRES
CONSERVATION EASEMENT	0 ACRES
MERS BUFFER	0 ACRES



**LEGEND**

- EXISTING ASPHALT
- EXISTING CONCRETE
- DEMOLITION
- WETLAND
- BENCHMARK
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- CLEANOUT
- MANHOLE
- GUY ANCHOR
- UTILITY POLE
- LIGHT POLE
- TELEPHONE BOX
- GAS VALVE
- MAILBOX
- POST
- STREET SIGN
- SIGN

**LEGEND**

- BOUNDARY LINE
- EASEMENT LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- ACOE LINE
- FDEP LINE
- WETLAND LINE
- WATER LINE
- SEWER LINE (GRAVITY)
- FORCE MAIN
- OVERHEAD UTILITIES
- BURIED TELEPHONE LINE
- GAS LINE
- BURIED ELECTRIC LINE
- BURIED FIBER OPTIC CABLE
- BURIED TV LINE
- EXISTING CONTOUR
- STRAW BALE
- SILT FENCE W/ HAYBALES

**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
- RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.

**TREE PROTECTION NOTE:**  
ALL TREE BARRICADES SHALL BE INSTALLED PRIOR TO SITE CONSTRUCTION ACTIVITIES.

**FLOOD ZONE NOTE:**  
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C02906, MAP REVISION DATED SEPTEMBER 29, 2006.

- ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE CLEANED OF DEBRIS AND CONSTRUCTION MATERIAL AND RAKED SMOOTH.
- ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING & GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR TO COORDINATE WITH RESPONSIBLE UTILITY FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
- DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
- ALL SIDEWALKS, CURB RAMPS AND DRIVEWAYS MUST BE BUILT TO THE LATEST EDITION OF THE FDOT DESIGN STANDARDS, ADA AND PROWAG.
- CONSERVATION EASEMENTS SHALL REMAIN IN THEIR NATURAL STATE AND AS CONDITIONED WITHIN THE GUIDELINES OUTLINED WITHIN THE RECORDED EASEMENT. WETLANDS, BUFFERS AND WERS NOT PERMITTED FOR IMPACTS OR WITHIN EASEMENTS SHALL REMAIN IN THEIR NATURAL STATE. EASEMENTS MAY BE IMPACTED IN ACCORDANCE WITH THE INTENDED USE OF THE EASEMENT.
- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

**DEMOLITION NOTES:**

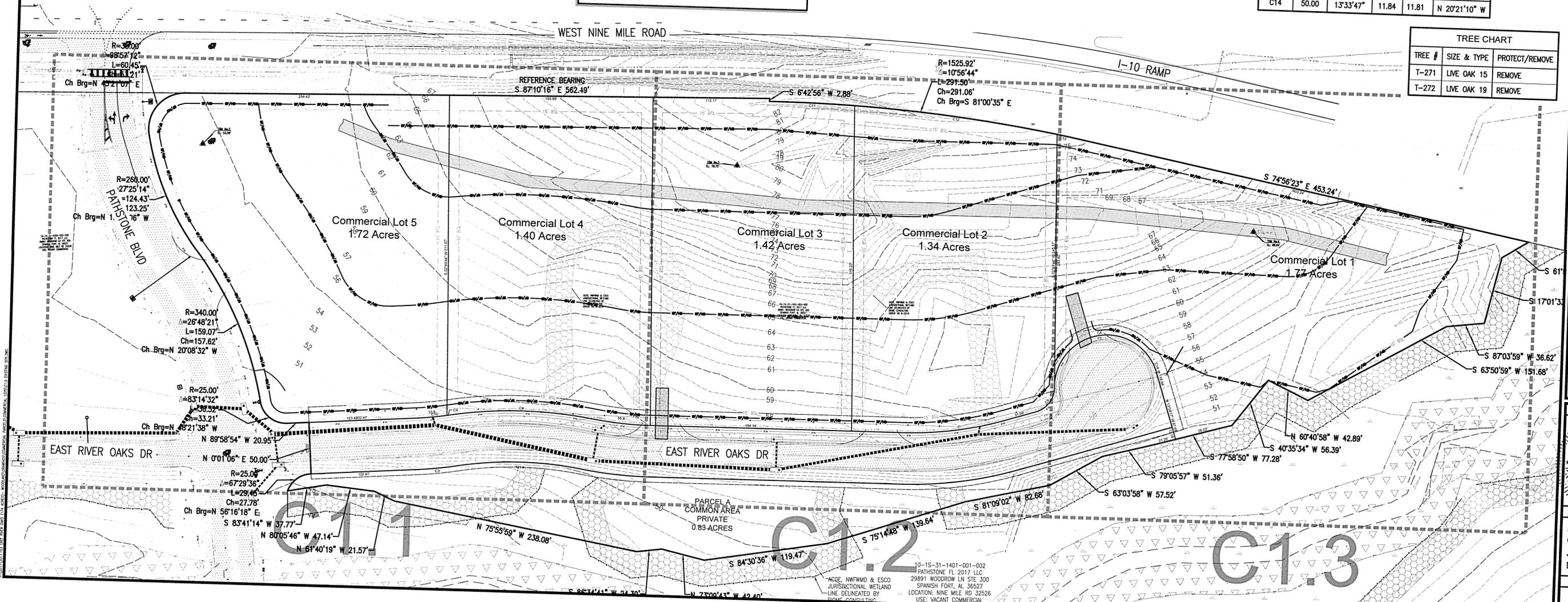
- ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
- NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

**EROSION CONTROL NOTES:**

- THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS SUGGESTED ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
- AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
- INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.
- THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(b)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE NPDES STORMWATER NOTICES CENTER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

PARCEL CURVE TABLE					
Curve #	Radius	Delta Angle	Length	Chord	Chord Bearing
C3	375.00	5°57'00"	38.94	38.93	N 87°02'36" E
C4	50.00	163°36'00"	142.77	98.98	S 84°37'43" W
C5	25.00	73°36'00"	32.11	29.95	S 39°37'43" W
C8	405.00	19°35'25"	138.48	137.80	N 86°08'11" W
C9	325.00	0°29'05"	2.75	2.75	N 84°18'38" E
C10	325.00	5°27'56"	31.00	30.99	S 87°17'08" W
C11	1525.92	3°05'12"	82.21	82.20	S 84°58'21" E
C12	1525.92	7°23'20"	196.78	196.64	S 79°42'04" E
C13	1525.92	0°28'12"	12.52	12.52	S 75°46'19" E
C14	50.00	13°33'47"	11.84	11.81	N 20°21'10" W

TREE CHART			
TREE #	SIZE & TYPE	PROTECT/REMOVE	
T-271	LIVE OAK 15	REMOVE	
T-272	LIVE OAK 19	REMOVE	



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**OVERALL  
EXISTING SITE, DEMOLITION  
& EROSION CONTROL PLAN**

**FALLSCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBA COUNTY, FLORIDA**

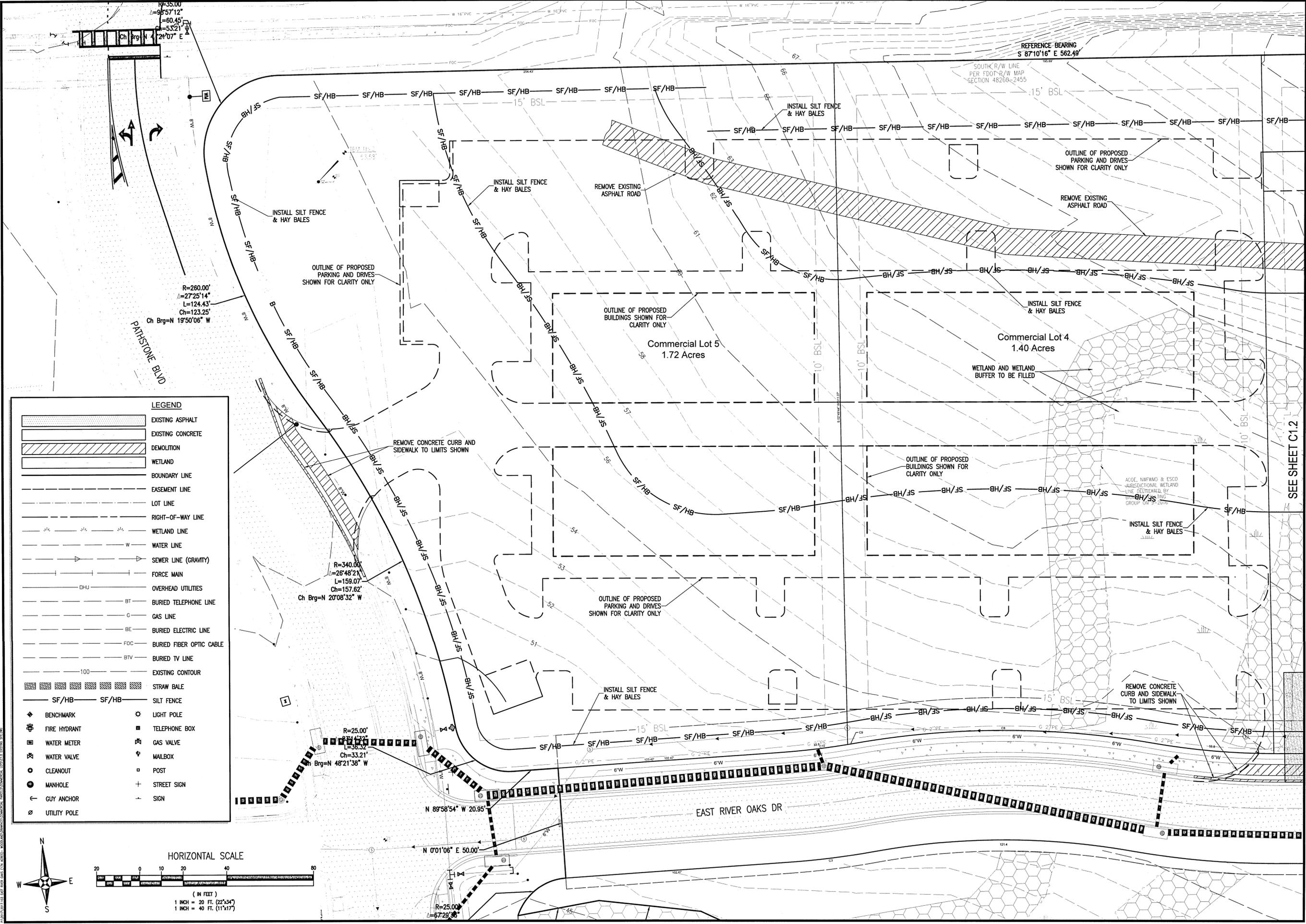
No.	DATE	REVISION

SEAL  
NOT FOR CONSTRUCTION  
JERRY M. R. KING, P.E.  
No. 76744  
STATE OF FLORIDA  
No. 76744

Dr. By: KAE  
Ck By: JRK  
Job No.: 2017-103  
Date: 10-18-2021

DRAWING No. C1.1

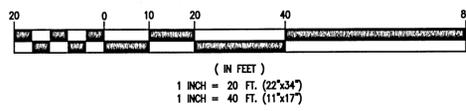
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**LEGEND**

- EXISTING ASPHALT
- EXISTING CONCRETE
- DEMOLITION
- WETLAND
- BOUNDARY LINE
- EASEMENT LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- WETLAND LINE
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- SIGN

**HORIZONTAL SCALE**



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 License No. EB 00009557 LB 7916

**EXISTING SITE, DEMOLITION  
 & EROSION CONTROL PLAN**

**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

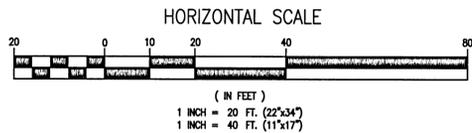
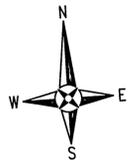
NO.	DATE	REVISION

NOTED FOR CONTRACT DOCUMENTS  
 No. 7614  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 JEREMY W. REBOL-BATTLE  
 No. 76144

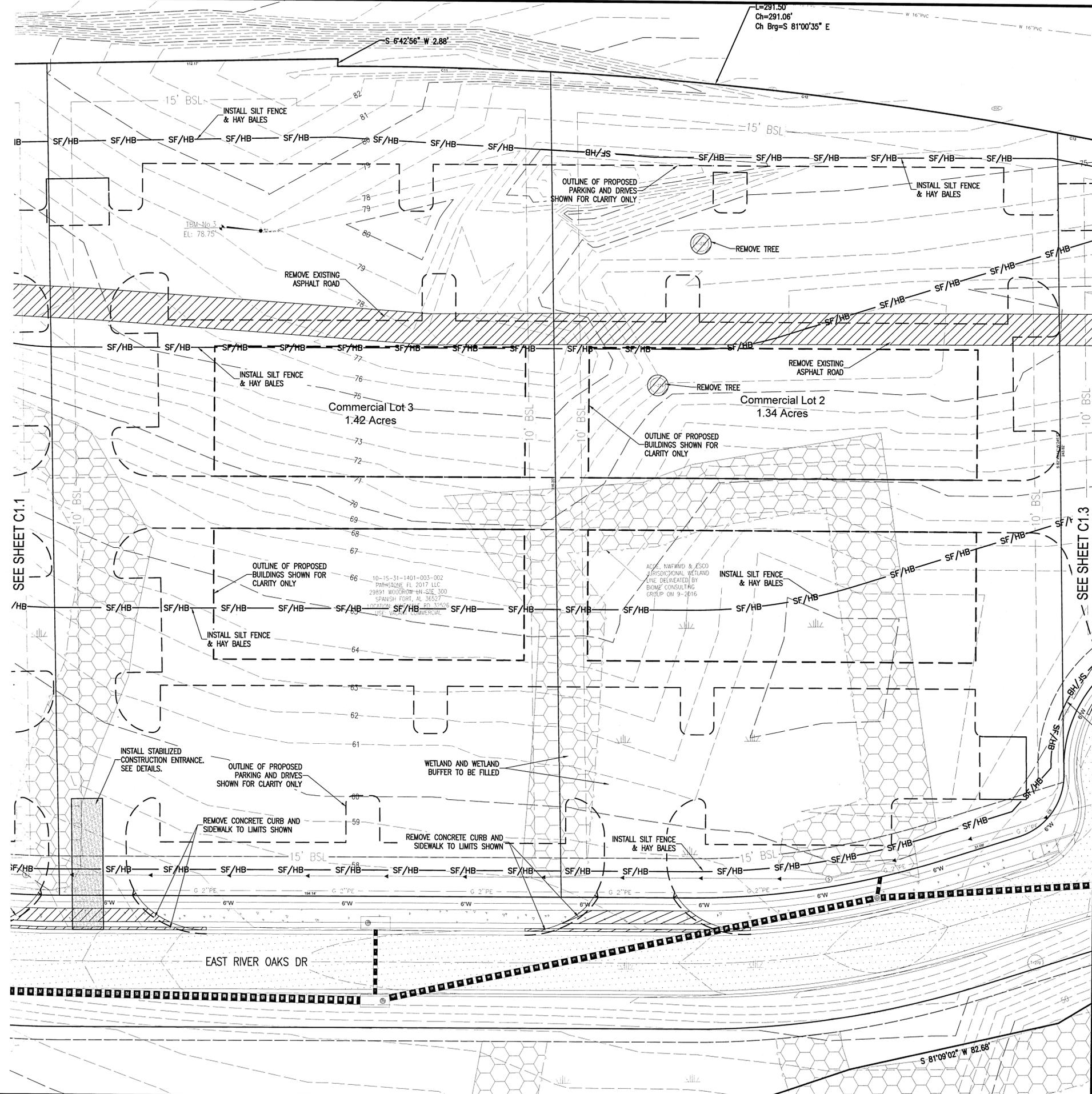
Dr. By: KAE  
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 Job No.: 2017-103  
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DRAWING No.  
**C1.1**

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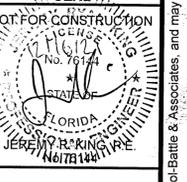


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 Civil Engineers and Surveyors  
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 Fort Lauderdale, Florida 33309  
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 License No. EB 00009857  
 License No. LB 91916

**EXISTING SITE, DEMOLITION  
 & EROSION CONTROL PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

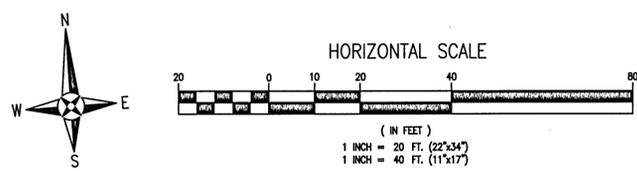
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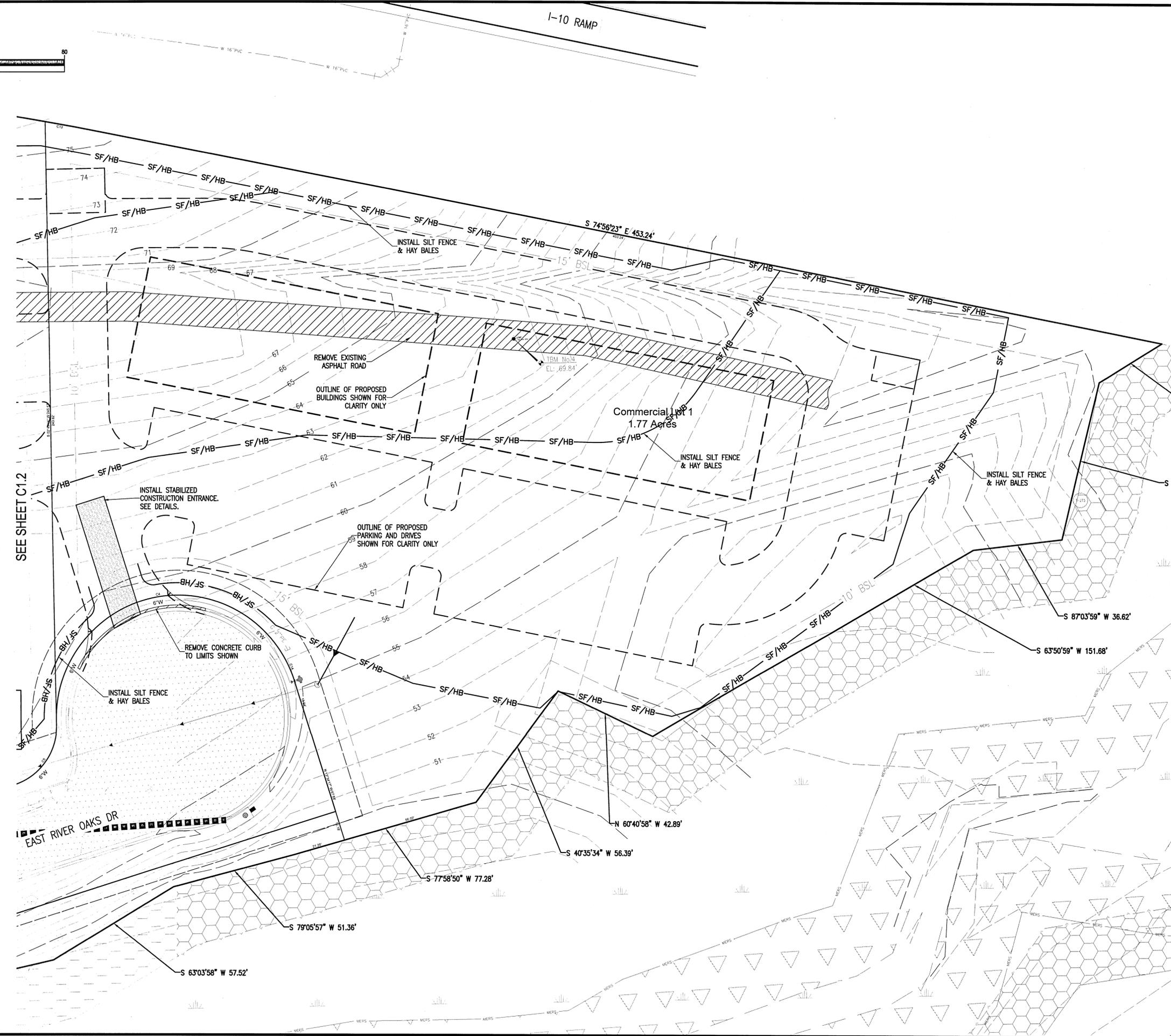
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DRAWING No.  
**C1.2**

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LEGEND	
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 EB 00009957 LB7916

**EXISTING SITE, DEMOLITION  
 & EROSION CONTROL PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

NOT FOR CONSTRUCTION  
 JEREMY R. KING, P.E.  
 No. 76144  
 No. 76144

Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
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DRAWING No.  
**C1.3**

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**GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 981, 982, 983, 985, & 987.
5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

\* WHERE APPLICABLE

**TEMPORARY SEEDING DETAILS:**

**SEED BED PREPARATION:**

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

**SEED MIXTURE**

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

**PERMANENT SEEDING DETAILS:**

**SEED BED PREPARATION:**

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

**SEED MIXTURE CONSISTING OF**

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

**SODDING:**

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

**TRAFFIC CONTROL STANDARDS:**

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

**TREE PROTECTION:**

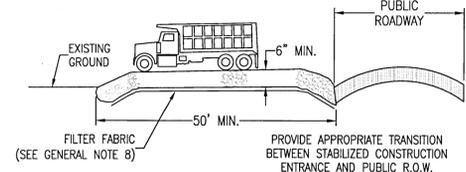
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

**DUST CONTROL:**

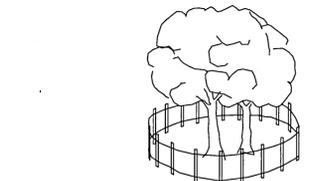
1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 104, LATEST EDITION.

**PROPOSED SEQUENCE OF CONSTRUCTION:**

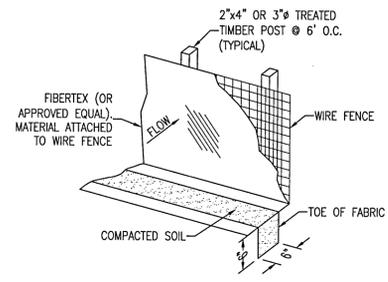
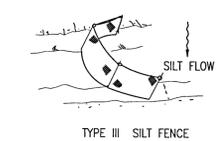
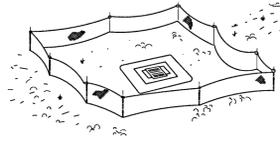
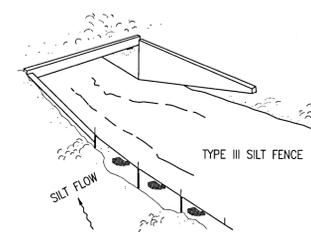
1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESURFACE STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



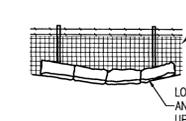
**TREE BARRICADE DETAIL**  
N.T.S.



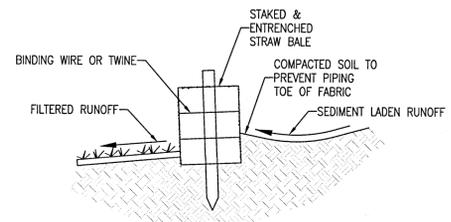
**SILT FENCE DETAIL**  
N.T.S.

**SILT FENCE APPLICATIONS**

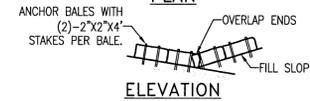
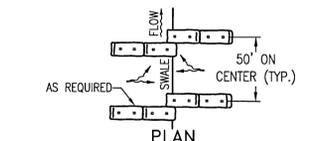
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



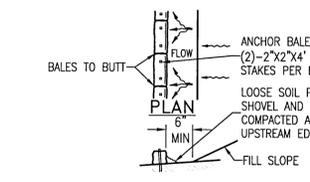
**STRAW BALES BACKED BY FENCE**  
N.T.S.



**STRAW BALE DETAIL**  
N.T.S.

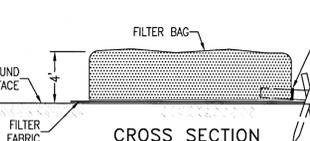
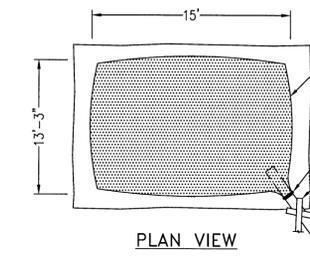


**PLAN**  
ELEVATION

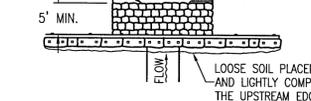
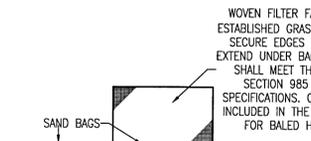


**PLAN**  
ELEVATION

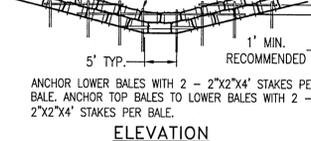
**BARRIERS FOR FILL SLOPES**  
N.T.S.



**PLAN VIEW**  
CROSS SECTION  
**FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS**  
N.T.S.

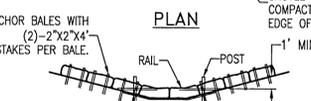
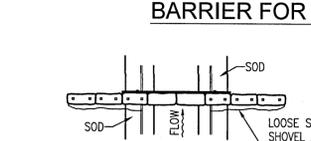


**PLAN**  
ELEVATION



**PLAN**  
ELEVATION

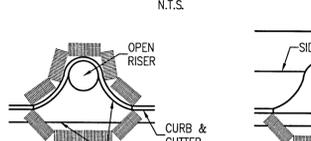
**TYPE II**  
**BARRIER FOR UNPAVED DITCH**  
N.T.S.



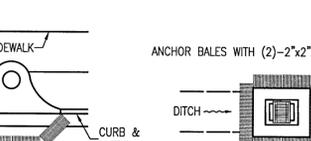
**PLAN**  
ELEVATION

**TYPE I**  
**BARRIER FOR PAVED DITCH**  
N.T.S.

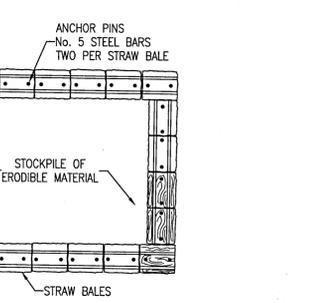
**BARRIER FOR PAVED DITCH**  
N.T.S.



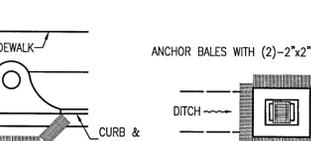
**PARTIAL INLET**



**COMPLETED INLET**



**MATERIAL STOCKPILE DETAIL**  
N.T.S.



**DITCH BOTTOM INLET**

**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
N.T.S.

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors  
2501 N. Ninth Avenue, Suite 300  
Tallahassee, Florida 32309  
Telephone 850.438.0400 Fax 850.438.0448  
EB 00009557 LB 87516

**EROSION CONTROL**  
**DETAILS**

**FALLSCHASE AT PATHSTONE**  
**COMMERCIAL SUBDIVISION**  
**ESCAMBA COUNTY, FLORIDA**

NO.	DATE	REVISION

SEAL  
NOT FOR CONSTRUCTION  
FLORIDA  
JEREMY R. KING, P.E.  
No. 76144

Dr. By: KAE  
Ck By: JRK  
Job No.: 2017.103  
Date: 10-18-2021

DRAWING No.  
**C1.4**

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**STORM WATER POLLUTION PREVENTION PLAN**

**1.0 BACKGROUND & REQUIREMENTS:**

**1.1 INTRODUCTION:**

THE REFERENCED SUPPORT DOCUMENTATION FOR THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA) STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES SUMMARY GUIDANCE (EPA 833-R-92-001) AND STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES (EPA 832-R-92-005). THIS SWPPP IS DESIGNED TO PROTECT ONSITE AND ADJACENT NATURAL RESOURCES, INCLUDING BUT NOT LIMITED TO, WETLANDS, MARSHES, BAYOUS AND BAYS, WHILE PRESERVING WILDLIFE AND ARCHEOLOGICAL RESOURCES.

AN ENVIRONMENTAL RESOURCE PERMIT APPLICATION WILL BE SUBMITTED TO THE NWFWM D APRIL 2021

**1.2 NOTICE OF INTENT (NOI):**

RULE 62-621.300(4), FAC REQUIRES THE CONSTRUCTION OPERATOR OF A SITE THAT DISTURBS ONE OR MORE ACRES TO OBTAIN COVERAGE FROM THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(B)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE FOLLOWING ADDRESS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS # 2510  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
2600 BLAIR STONE ROAD  
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.FDEP.STATE.FL.US) OR BY CONTACTING FDEP. PLEASE NOTE THAT THE CURRENT APPLICATION FEE IS \$300; HOWEVER, THIS FEE IS SUBJECT TO CHANGE WITHOUT NOTICE. ALWAYS REFER TO THE MOST CURRENT VERSION OF RULE 62-4.050(4)(D), FAC TO CONFIRM THE AMOUNT BEFORE SUBMITTING PAYMENT. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

**1.3 STORMWATER POLLUTION PREVENTION PLAN (SWPPP):**

THE CONTRACTOR IS REQUIRED TO CERTIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BELOW PRIOR TO SUBMITTING THE NOI. THIS SWPPP IS NOT REQUIRED TO BE SUBMITTED WITH THE NOI, BUT IS REQUIRED TO BE KEPT ON-SITE DURING ALL PHASES OF CONSTRUCTION. BECAUSE EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION METHODS VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR, THE CONTRACTOR CAN PROPOSE ALTERNATIVE METHODS TO THIS SWPPP THAT ARE EQUAL OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. AT A MINIMUM, THE CONTRACTOR MUST FOLLOW THE EROSION CONTROL PLAN SPECIFIED IN THE CONSTRUCTION PLANS AND DOCUMENTS. ANY MODIFICATIONS TO THIS SWPPP MUST BE DOCUMENTED AND KEPT WITH THE PLAN AS PART OF THE RECORDS KEEPING PROCESS TO BE IN FULL COMPLIANCE WITH THE CGP.

**1.4 CONTRACTOR'S /SUBCONTRACTOR CERTIFICATION:**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

PRINT & SIGN NAME COMPANY & ADDRESS

\_\_\_\_\_  
\_\_\_\_\_

NAME & TITLE (PRINT)

SIGNATURE DATE

**1.5 RESPONSIBLE AUTHORITY CERTIFICATION:**

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

PRINT & SIGN NAME COMPANY & ADDRESS

\_\_\_\_\_  
\_\_\_\_\_

NAME & TITLE (PRINT)

SIGNATURE DATE

**1.6 NOTICE OF TERMINATION (NOT):**

THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION OF GENERIC PERMIT COVERAGE (FDEP FORM 62-621.300(6)) UPON CONSTRUCTION COMPLETION TO DISCONTINUE PERMIT COVERAGE. THE NOT IS TO BE SUBMITTED TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS # 2510  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
2600 BLAIR STONE ROAD  
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.FDEP.STATE.FL.US) OR BY CONTACTING FDEP. THE NOT CAN NOT BE SUBMITTED UNTIL ALL DISTURBED SOILS AT THE CONSTRUCTION SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

**1.7 APPLICATION INFORMATION:**

PROJECT ADDRESS: NINE MILE ROAD  
PENSACOLA, FL 32526

LATITUDE: N 30.534101°  
LONGITUDE: W 87.339783°

WATER MANAGEMENT DISTRICT: NORTHWEST FLORIDA (NWFWM D)

MS4 OPERATOR NAME: ESCAMBIA COUNTY

RECEIVING WATER NAME: ELEVEN MILE CREEK

**2.0 SITE DESCRIPTION:**

**2.1 NATURE OF CONSTRUCTION ACTIVITIES:**

THIS PROJECT INVOLVES THE CONSTRUCTION OF A PHASED RESIDENTIAL AND COMMERCIAL SUBDIVISION. CONSTRUCTION INCLUDES ROADS, UTILITIES AND STORMWATER COLLECTION SYSTEMS.

**2.2 SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:**

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

- CLEAR, GRUB AND PERFORM ALL DEMOLITION WORK.
- CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEM.
- CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS, AND LANDSCAPING).
- COMPLETE STORMWATER PONDS.

**2.3 AREA ESTIMATES:**

ONSITE AREA: 7.88 ACRES  
OFFSITE AREA: 0 ACRES  
TOTAL AREA: 7.88 ACRES  
AREA TO BE DISTURBED: 7.88 ACRES

**2.4 RUNOFF DATA:**

RUNOFF COEFFICIENTS (C):  
BEFORE: TOTAL COMPOSITE C = 0.24  
DURING: VARIES BETWEEN = 0.24 AND 0.70  
AFTER: VARIES BETWEEN = 0.70

SOILS DATA:  
THE SOILS LOCATED AT THE SITE ARE PREDOMINATELY FINE GRAINED CLAYEY SANDS. GROUNDWATER WAS NOT ENCOUNTERED IN THE 5 FT TEST BORING. FOR MORE DETAILED SOILS INFORMATION, REFER TO THE GEOTECHNICAL SERVICES REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES.

**DRAINAGE AREAS FOR EACH OUTFALL:**

OUTFALL LOCATION	TOTAL AREA FLOWING TO POND(S)	'C' COEFFICIENT
EXISTING STORMWATER SYSTEM AT WEST BOUNDARY	7.88	0.70

**2.5 SITE MAP:**

THE CONSTRUCTION PLANS ARE TO BE USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE IDENTIFIED ON THE KEY SHEET OF THE CONSTRUCTION PLANS.

• **DRAINAGE PATTERNS:** ALL DRAINAGE PATTERNS ARE SHOWN ON THE GRADING & DRAINAGE PLANS.

• **APPROXIMATE SLOPES:** APPROXIMATE SLOPES ARE SHOWN ON THE GRADING & DRAINAGE POND SIDE SLOPES ARE SHOWN ON THE POND CROSS-SECTIONS.

• **AREAS OF SOIL DISTURBANCE:** ALL DEMOLITION IS SHOWN ON THE EXISTING SITE CONDITIONS AND DEMOLITION AND EROSION CONTROL PLAN SHEET. ALL PROPOSED CONSTRUCTION IS SHOWN ON THE REMAINING PLANS. ANY AREAS WHERE DEMOLITION WORK OR PERMANENT FEATURES ARE SHOWN ABOVE OR BELOW GROUND WILL BE DISTURBED.

• **AREAS NOT TO BE DISTURBED:** ANY AREAS NOT SHOWING DEMOLITION WORK OR PERMANENT FEATURES ARE ASSUMED NOT TO BE DISTURBED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS ANY OF THESE AREAS THAT DO GET DISTURBED AS WELL AS ANY AREAS USED FOR STAGING AND MATERIALS STORAGE.

• **LOCATIONS OF CONTROLS:** ALL PROPOSED TEMPORARY CONTROLS AND EXISTING PERMANENT CONTROLS ARE SHOWN ON THE EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN. ALL PROPOSED PERMANENT CONTROLS ARE SHOWN ON THE REMAINING PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION OF ANY OTHER CONTROLS ON THE PLANS THAT ARE USED DURING CONSTRUCTION.

• **PERMANENT STABILIZATION IS SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION ON THE PLANS OF ALL TEMPORARY STABILIZATION PRACTICES USED DURING CONSTRUCTION.**

• **SURFACE WATERS:** N/A

• **DISCHARGE POINTS:** EXISTING STORMWATER POND IN PHASE 1. EVENTUAL OUTFALL TO ONSITE WETLANDS WITH ULTIMATE DISCHARGE TO ELEVEN MILE CREEK

**2.6 RECEIVING WATERS:**

EVENTUAL OUTFALL TO PERDIDO BAY

**3.0 CONTROLS:**

**3.1 EROSION AND SEDIMENT CONTROLS:**

ALL EROSION AND SEDIMENT CONTROLS SPECIFIED ON THE DEMOLITION AND EROSION CONTROL PLAN SHEETS, AND THE EROSION CONTROL DETAILS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION. SILT FENCING AND STAKED HAY BALES SHALL BE INSTALLED ALONG DOWN-GRADIENT LIMITS.

TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED AFTER 14-DAY INTERVALS OF CEASED DISTURBANCE ACTIVITIES THAT WILL EXCEED 20-DAY PERIODS. GRADED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING, MULCHING, AND FERTILIZING, OR SODDING WITHIN FIVE DAYS OF FINAL GRADING. LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR. PROPOSED DISTURBED AREAS WILL NOT EXCEED 8 ACRES IN ANY DRAINAGE AREA.

**3.2 STORMWATER MANAGEMENT:**

PROPOSED STORMWATER MANAGEMENT FACILITIES FOR THIS SITE INCLUDE: A DRY RETENTION POND FOR THE ENTIRE PROPERTY.

THE PROPOSED STORMWATER MANAGEMENT FACILITIES MEET ALL STORMWATER TREATMENT REQUIREMENTS AND ALL RATE CONTROL REQUIREMENTS SET FORTH BY THE LOCAL AND STATE REGULATORY AGENCIES.

**3.3 OTHER CONTROLS:**

**WASTE DISPOSAL:** THE CONTRACTOR IS RESPONSIBLE FOR ALL WASTE DISPOSAL FROM THE SITE. THE CONTRACTOR SHALL EMPLOY WASTE DISPOSAL PRACTICES THAT MEET ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND PREVENT DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

**OFFSITE VEHICLE TRACKING:** IF OFF-SITE TRACKING OF SEDIMENTS BY CONSTRUCTION VEHICLES OCCURS, THE CONTRACTOR IS REQUIRED TO INSTALL A SOIL TRACKING PREVENTION DEVICE (STPD) AS PER FDOT STANDARD INDEX 106 AT ALL EXITS TO THE SITE WHERE SEDIMENT TRACKING IS OCCURRING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

**HAZARDOUS MATERIALS:** ALL POLLUTANTS AND HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO FERTILIZERS, HERBICIDES, PESTICIDES, SOLVENTS, OILS AND OIL FILTERS, PETROLEUM PRODUCTS, PAINT, AND EQUIPMENT MAINTENANCE FLUIDS, SHALL BE STORED INDOORS OR UNDER COVER IN AREAS WITH SECONDARY CONTAINMENT. SECONDARY CONTAINMENT PREVENTS A SPILL FROM SPREADING ACROSS THE SITE AND INCLUDES DIKES, BERMS, CURBING, OR OTHER CONTAINMENT METHODS. HAZARDOUS MATERIAL STORAGE AREAS SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. STORAGE AREAS SHALL BE KEPT CLEAN, WELL ORGANIZED, AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES/SPILL KITS AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION SHALL BE MAINTAINED ON-SITE. ALL PERSONNEL SHALL RECEIVE INSTRUCTION REGARDING PROPER PROCEDURES FOR HAZARDOUS MATERIAL HANDLING AND DISPOSAL. HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS; HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REGULATIONS. VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS SHALL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.

**APPLICATION OF FERTILIZERS, HERBICIDES, AND PESTICIDES:** FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE DELIVERED TO THE SITE IN ORIGINAL, UNOPENED CONTAINERS BEARING MANUFACTURER'S CHEMICAL ANALYSIS, NAME, TRADE NAME, TRADEMARK, AND INDICATION OF CONFORMANCE TO STATE AND FEDERAL LAWS. FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED RATE.

**5.0 INSPECTIONS:**

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS, BUT NOT LIMITED TO, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.25 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROLS.
- STORMWATER MANAGEMENT SYSTEMS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

**6.0 NON-STORMWATER DISCHARGES:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY HAZARDOUS SUBSTANCE SPILLS THAT MAY EQUAL OR EXCEED A REPORTABLE QUANTITY (RQ). REFER TO EPA'S LIST OF HAZARDOUS SUBSTANCES AND REPORTABLE QUANTITIES (EPA 40 CFR 302.4 & 117). V THIS LIST CAN BE OBTAINED FROM EPA'S WEBSITE (WWW.EPA.GOV) OR BY CONTACTING EPA. IF AN RQ RELEASE DOES OCCUR THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURES:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT 800-424-8802.
- PROVIDE WRITTEN DESCRIPTION OF THE RELEASE WITHIN 14 DAYS PROVIDING DATES, CAUSE AND PREVENTION METHODS TO THE REGIONAL EPA OFFICE.
- MODIFY THE SWPPP AS NECESSARY TO ADDRESS ADDED PREVENTION METHODS.

**7.0 IMPLEMENTATION CHECKLIST:**

**7.1 RECORDS:**

THE CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
- DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY CEASE ON A PORTION OF THE SITE.
- DATES WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE ON A PORTION OF THE SITE.
- DATES WHEN STABILIZATION MEASURES ARE INITIATED ON THE SITE.

**7.2 INSPECTION REPORTS:**

THE CONTRACTOR SHALL PREPARE INSPECTION REPORTS SUMMARIZING THE FOLLOWING, BUT NOT LIMITED TO:

- NAME OF INSPECTOR.
- QUALIFICATIONS OF INSPECTOR.
- MEASURES/AREAS INSPECTED.
- OBSERVED CONDITIONS.
- CHANGES NECESSARY TO THE SWPPP.

**7.3 RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS:**

THE CONTRACTOR SHALL REPORT ANY RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS IF THEY OCCUR AS PER THE MEASURES OUTLINED IN SECTION 6.0 OF THE SWPPP.

**7.4 SWPPP MODIFICATION:**

THE CONTRACTOR SHALL MODIFY THE SWPPP AS NECESSARY TO:

- COMPLY WITH MINIMUM PERMIT REQUIREMENTS WHEN NOTIFIED BY FDEP THAT THE PLAN DOES NOT COMPLY.
- ADDRESS ANY CHANGES IN DESIGN, CONSTRUCTION OPERATIONS OR MAINTENANCE, WHICH HAS AN EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PREVENT REOCCURRENCE OF REPORTABLE QUANTITY RELEASES OF HAZARDOUS MATERIAL OR OIL.

**8.0 TERMINATION CHECKLIST:**

THE FOLLOWING ITEMS SHALL BE COMPLETE BEFORE SUBMITTING THE NOT:

- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME.
- ALL AREAS OF THE CONSTRUCTION SITE NOT OTHERWISE COVERED BY PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR EQUIVALENT MEASURES HAVE BEEN EMPLOYED.

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**NPDES - STORMWATER  
POLLUTION PREVENTION  
PLAN**

**FALLCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBIA COUNTY, FLORIDA**

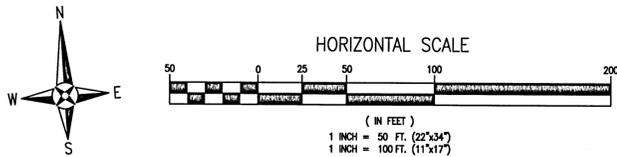
No.	DATE	REVISION

NOT FOR CONSTRUCTION  
SEAL  
JEREMY R. KING, P.E.  
No. 78144

Dr. By: KAE  
Ck By: JRK  
Job No.: 2017.103  
Date: 10-18-2021

DRAWING No.  
**C1.5**

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LEGEND	
[Pattern: Dotted]	EXISTING ASPHALT
[Pattern: Horizontal Lines]	EXISTING CONCRETE
[Pattern: Vertical Lines]	PROPOSED ASPHALT
[Pattern: Diagonal Lines]	PROPOSED CONCRETE

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
  - ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST FDOT STANDARD PLANS FOR ROAD CONSTRUCTION.
  - ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODED AND/OR SEED AND MULCHED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
  - ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
  - ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
  - ALL SIGNS SHALL BE INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION, WIND ZONE No.:1.
  - THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIMES/MOT PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
  - THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
  - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
  - THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

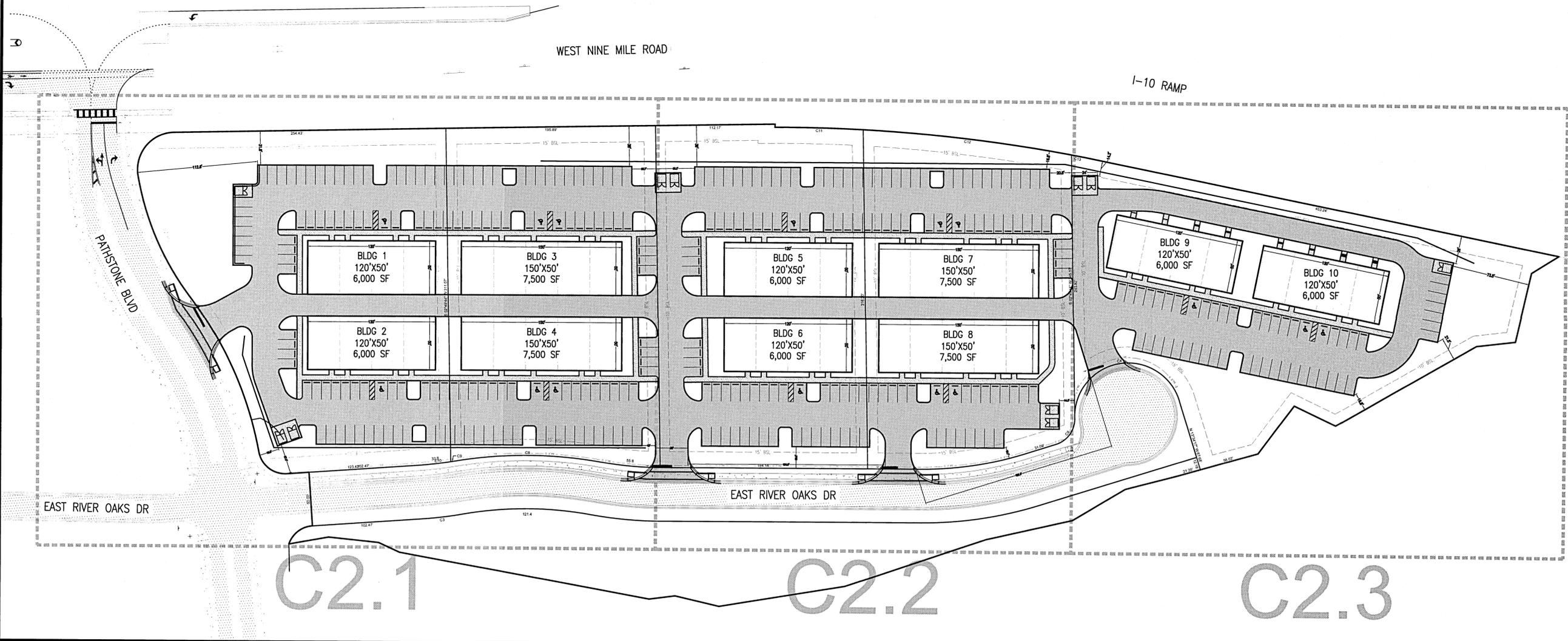
**PROJECT NOTE:**  
TRASH PICK-UP WILL BE PROVIDED BY SCREENED ON-SITE DUMPSTERS

**PARKING CALCULATIONS:**  
TOTAL REQUIRED PARKING SPACES  
RESTAURANT (15 SPACES / 1,000 SF)  
9,000 SF \*15/1000 = 135 SPACES  
PROFESSIONAL SERVICE OFFICE (3.5 SPACES / 1,000 SF)  
24,000 SF \*3.5/1000 = 84 SPACES  
RETAIL SALES (3 SPACES / 1,000 SF)  
33,000 SF \*3/1000 = 99 SPACES  
TOTAL PARKING SPACES REQUIRED = 318

STANDARD PARKING SPACES = 330  
H.C. PARKING SPACES = 14 H.C.

**AREA CALCULATIONS:**  
EXISTING CONDITIONS:  
TOTAL EXISTING IMPERVIOUS AREA = 12,244 SF (4%)  
TOTAL EXISTING PERVIOUS AREA = 331,115 SF (96%)  
TOTAL SITE AREA = 343,359 SF

PROPOSED CONDITIONS:  
TOTAL PROPOSED BUILDING AREAS (FOOT PRINTS)= 66,000 SF  
TOTAL PROPOSED IMPERVIOUS AREA = 225,864 SF (66%)  
TOTAL PROPOSED PERVIOUS AREA = 117,495 SF (34%)  
TOTAL SITE AREA = 343,359 SF



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EE 00009657, LB 919

**OVERALL SITE LAYOUT**

**FALLSCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBIA COUNTY, FLORIDA**

No.	DATE	REVISION

SEAL  
NOT FOR CONSTRUCTION  
JEREMY R. KING, P.E.  
No. 78144

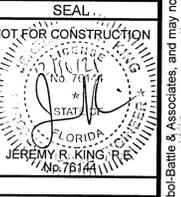
Dr. By: KAE  
Ck By: JRK  
Job No.: 2017.103  
Date: 10-18-2021  
DRAWING No.  
**C2.0**

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**SITE LAYOUT & DIMENSION PLAN**

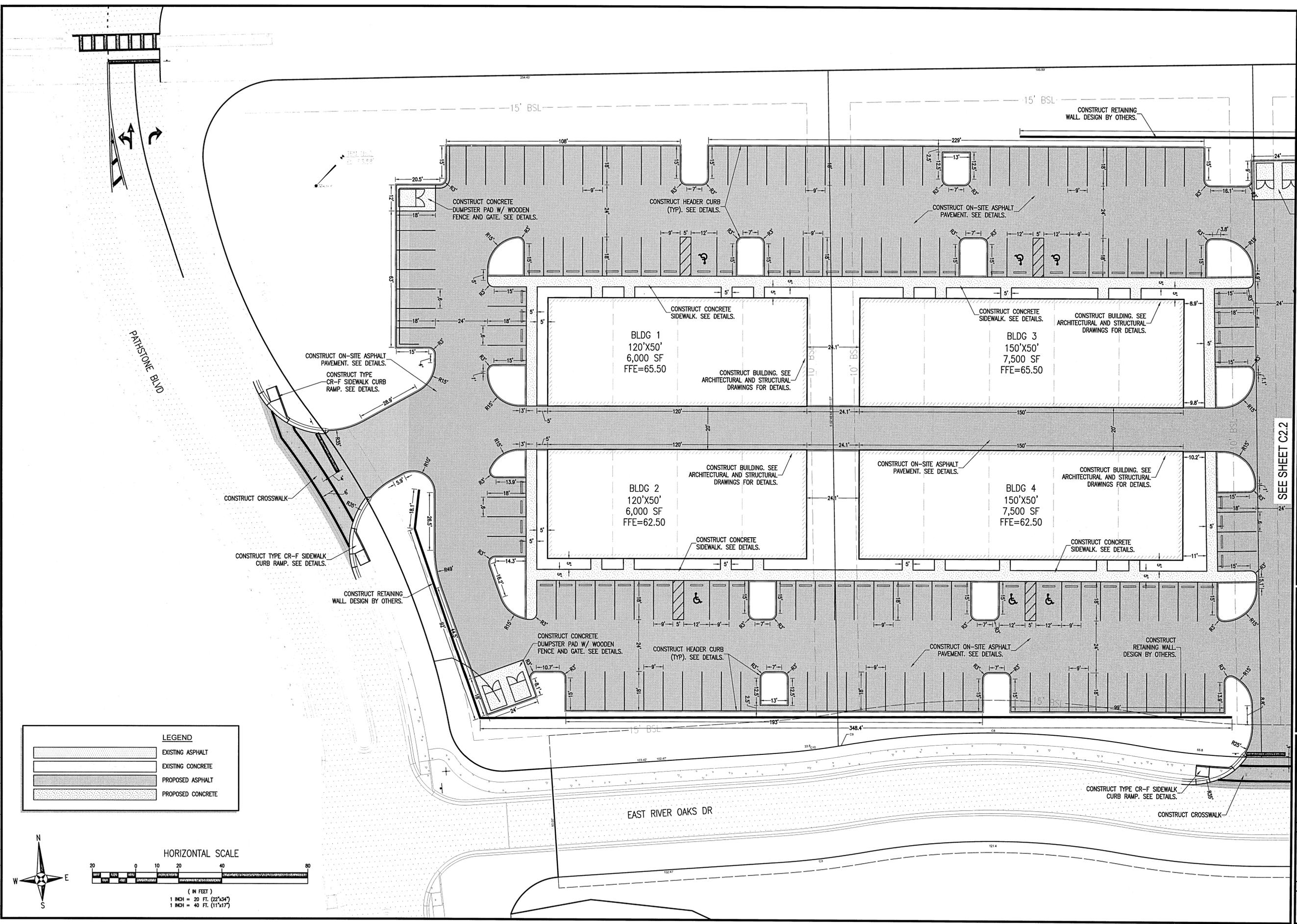
**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

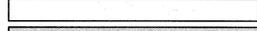
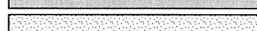
SEAL  
 NOT FOR CONSTRUCTION  
  
 JEREMY R. KING, P.E.  
 No. 78144

Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021  
 DRAWING No.  
**C2.1**

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**LEGEND**

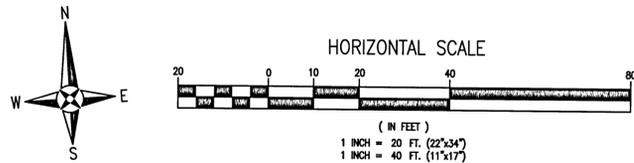
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	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

**HORIZONTAL SCALE**

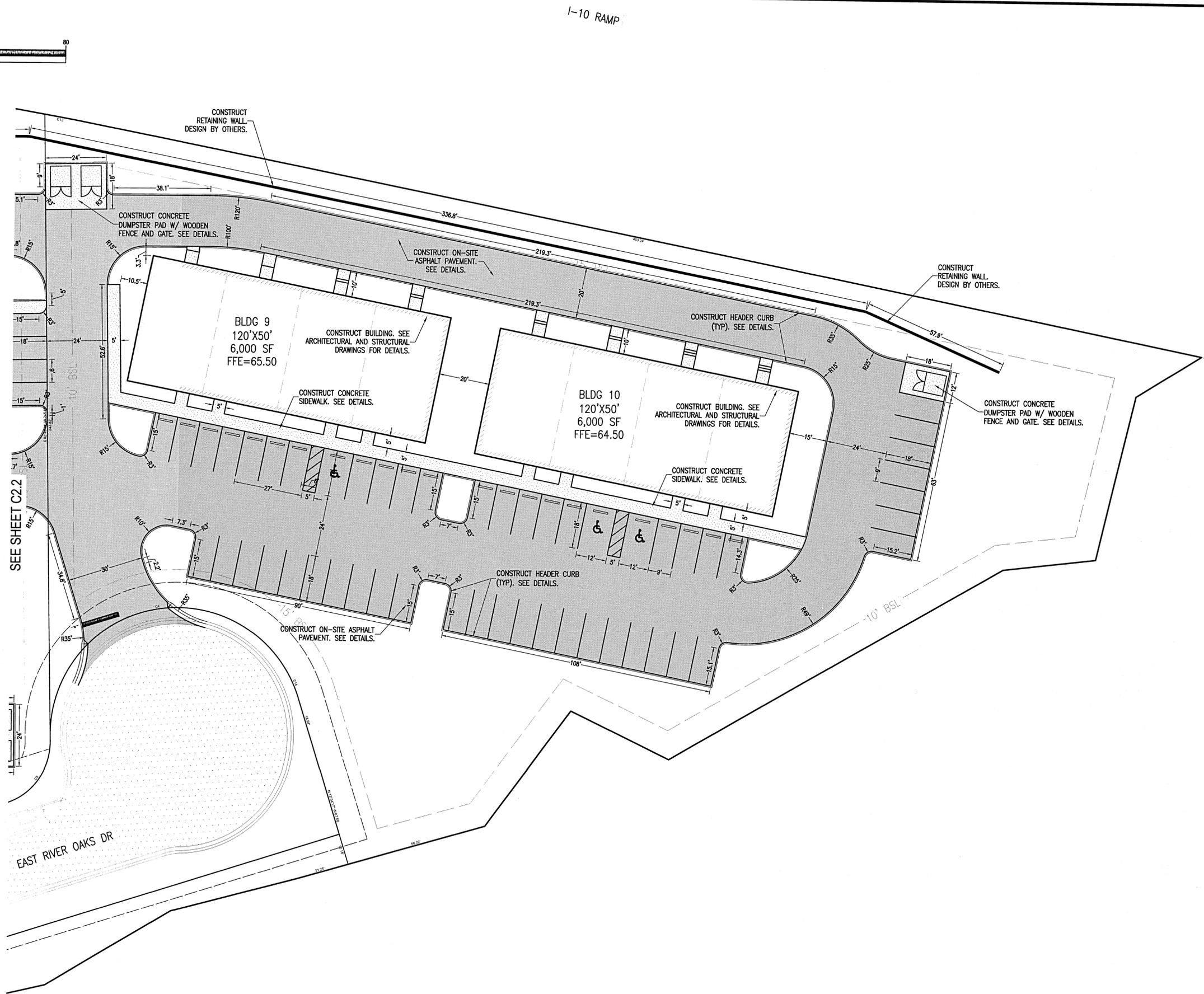


( IN FEET )  
 1 INCH = 20 FT. (22'x34")  
 1 INCH = 40 FT. (11'x17")





LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

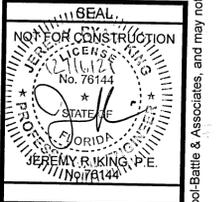


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**SITE LAYOUT & DIMENSION PLAN**

**FALLCHASE AT PATHSTONE COMMERCIAL SUBDIVISION**  
 ESCAMBA COUNTY, FLORIDA

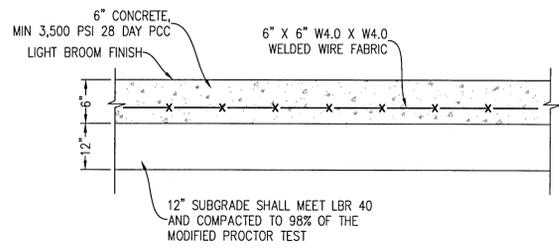
NO.	DATE	REVISION



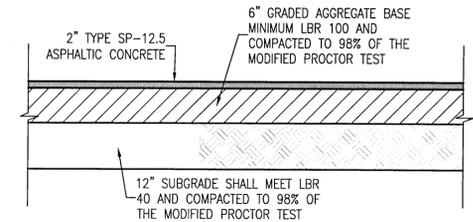
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 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

DRAWING No.  
**C2.3**

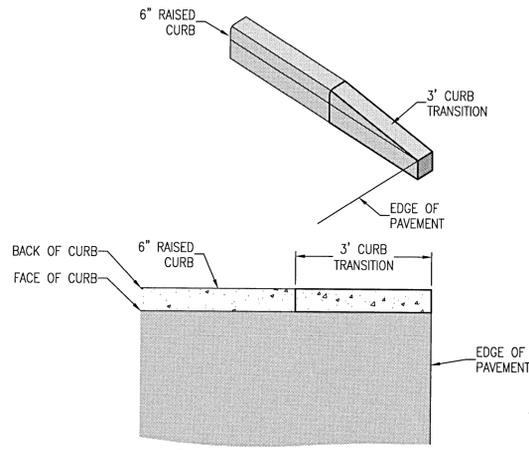
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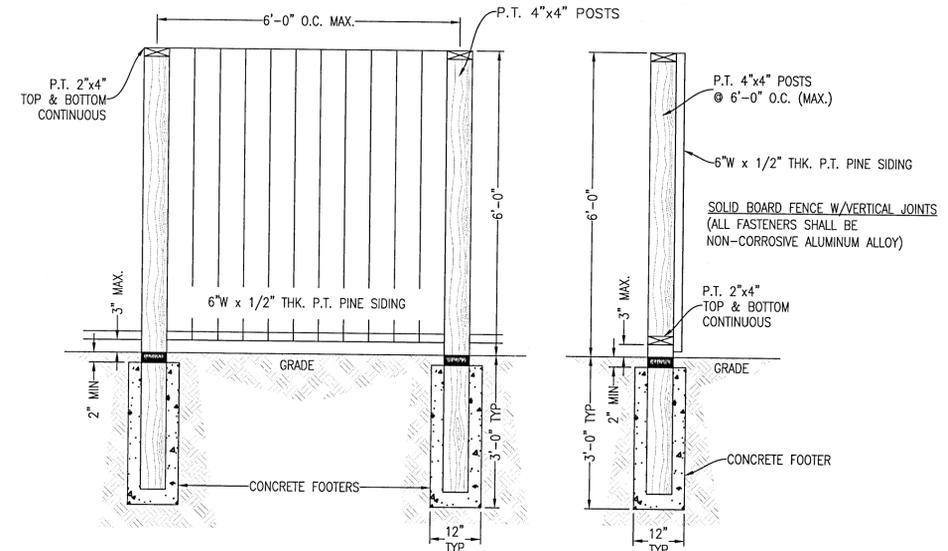
**CONCRETE PAVING DETAIL**  
N.T.S.



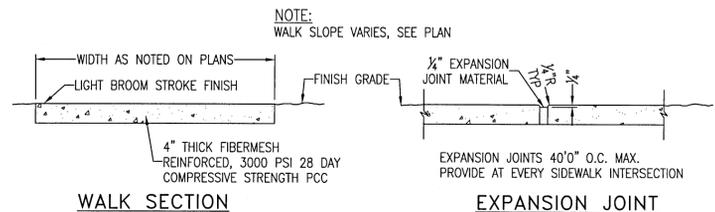
**ON-SITE ASPHALT PAVEMENT DETAIL**  
N.T.S.



**CURB TRANSITION  
6" RAISED TO ASPHALT**  
N.T.S.



**WOOD FENCE DUMPSTER ENCLOSURE DETAIL**  
N.T.S.

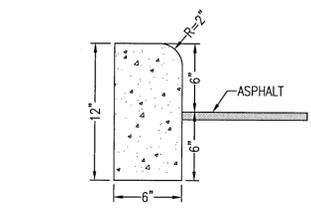


**WALK SECTION**  
4" THICK FIBERMESH REINFORCED, 3000 PSI 28 DAY COMPRESSIVE STRENGTH PCC

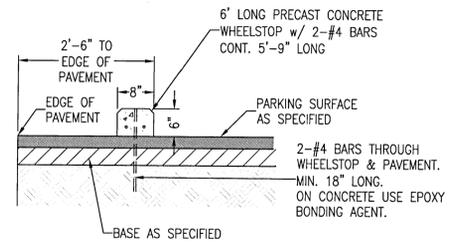
**EXPANSION JOINT**  
EXPANSION JOINTS 40'0" O.C. MAX. PROVIDE AT EVERY SIDEWALK INTERSECTION

**CONSTRUCTION JOINT**  
20'-0" O.C. MAX OR 1/2 LENGTH OF WALK

**DUMMY GROVE**  
5'-0" APART MAX.

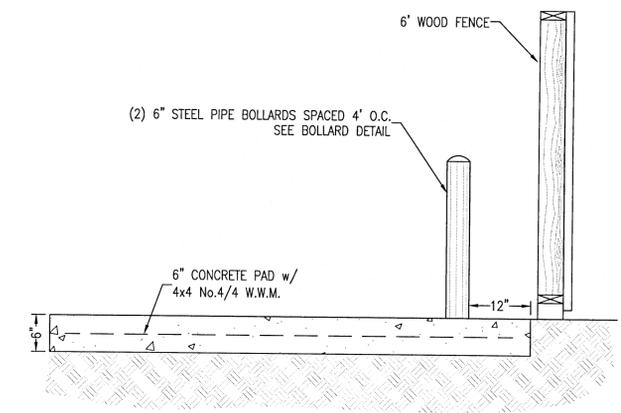


**6" RAISED CURB**  
N.T.S.

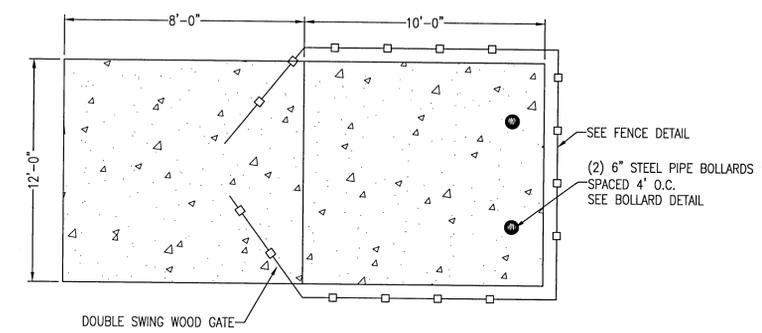


**WHEEL STOP DETAIL**  
N.T.S.

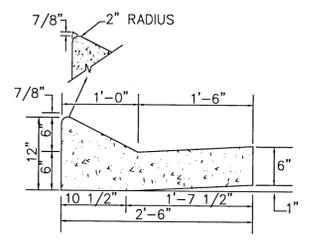
NOTE: DUMPSTER ENCLOSURE GATES AND WALLS WILL BE FUNCTIONALLY OPAQUE



**DUMPSTER PAD SECTION**

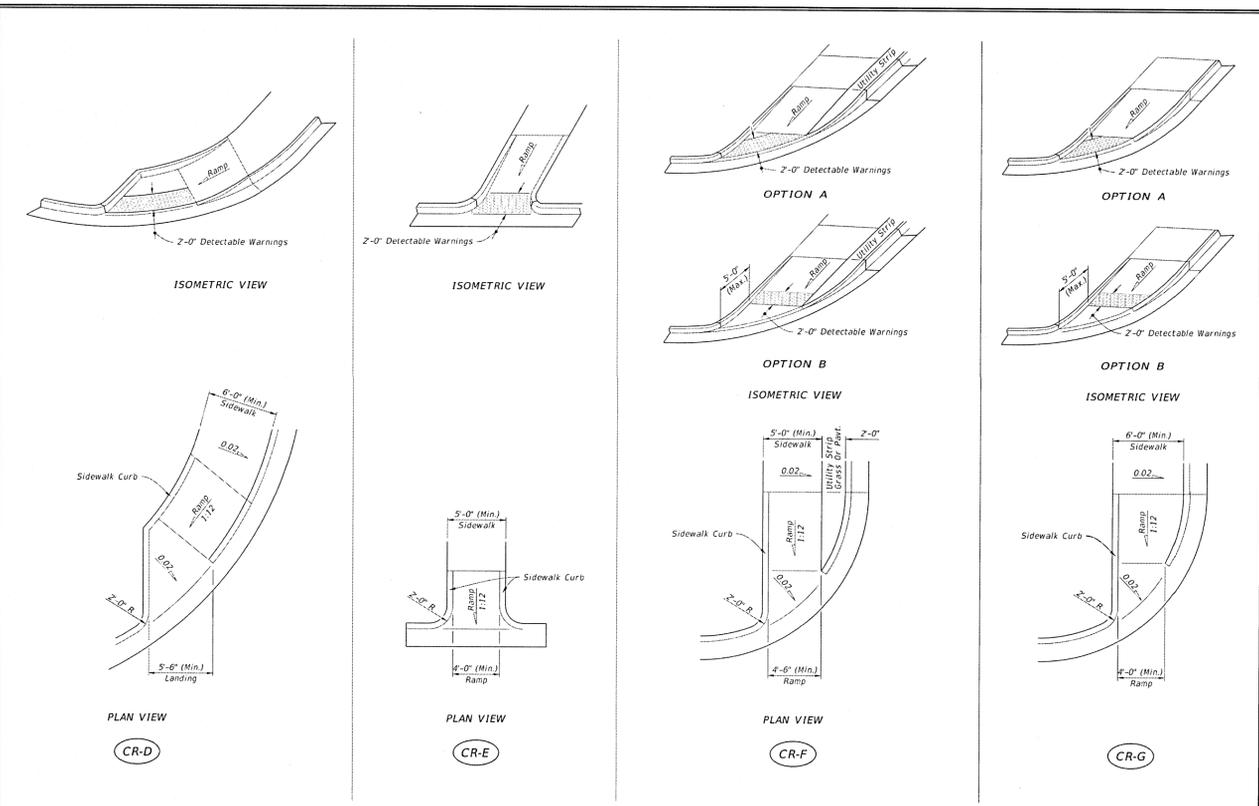


**DUMPSTER PAD PLAN VIEW**  
N.T.S.



**LAYBACK CURB & GUTTER**  
N.T.S.

NOTES:  
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".  
2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.



**SIDEWALK CURB RAMPS CR-D, CR-E, CR-F & CR-G**

LAST REVISION	DESCRIPTION	FDOT	FY 2018-19	INDEX	SHEET
11/01/17	STANDARD PLANS		2018-19	522-002	4 of 8

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**SITE DETAILS**

**FALLCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBA COUNTY, FLORIDA**

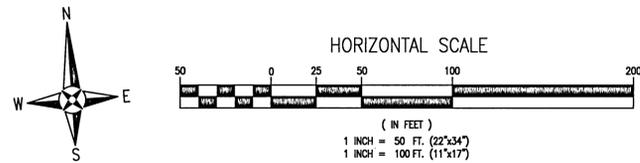
NO.	DATE	REVISION

**SEAL**  
NOT FOR CONSTRUCTION  
JEREMY R. KING  
No. 75144  
FLORIDA  
JEREMY R. KING P.E.  
No. 75144

Dr. By: KAE  
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Job No.: 2017.103  
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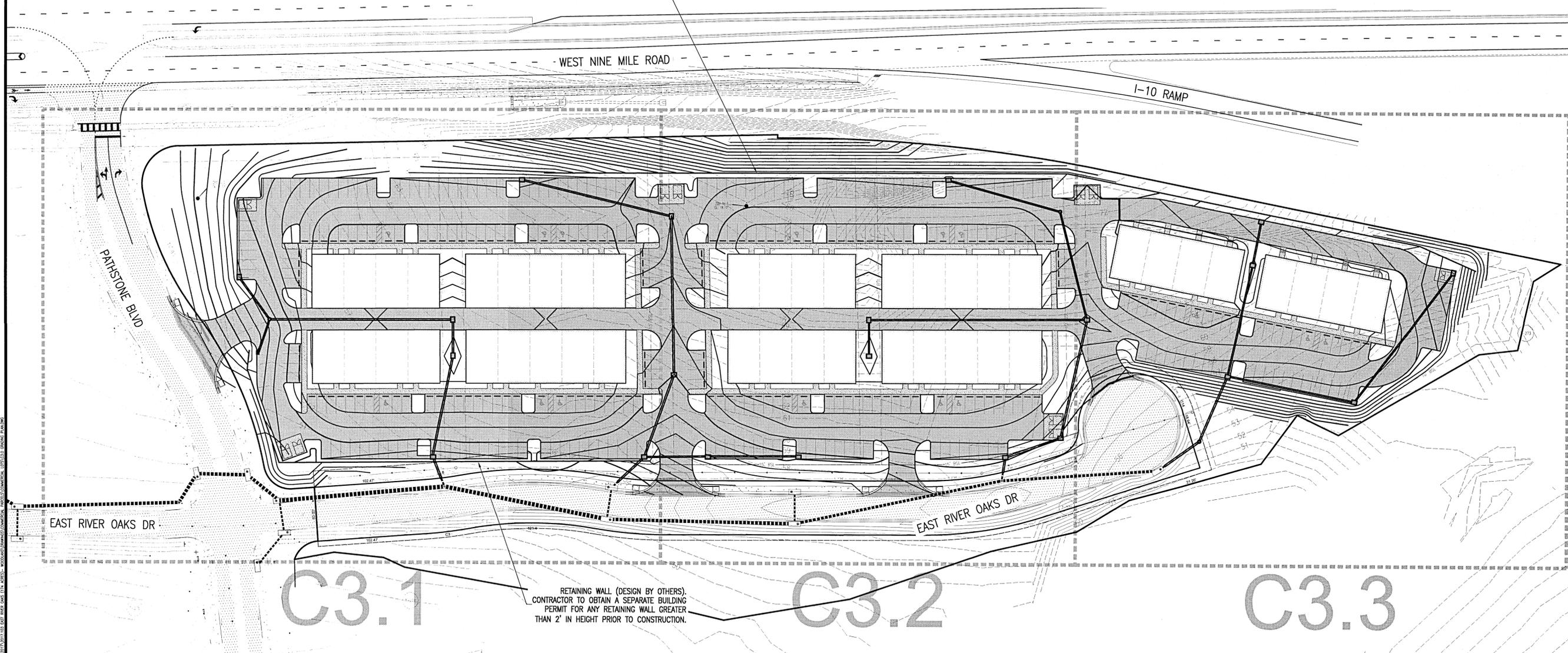


LEGEND	
[Pattern: Dotted]	EXISTING ASPHALT
[Pattern: Horizontal Lines]	EXISTING CONCRETE
[Pattern: Dotted]	PROPOSED ASPHALT
[Pattern: Horizontal Lines]	PROPOSED CONCRETE
[Line: Dashed]	EXISTING CONTOUR
[Line: Solid]	PROPOSED CONTOUR
[Symbol: Diamond]	BENCHMARK
[Symbol: Arrow]	FLOW ARROW
[Symbol: Circle]	100.00 (BACK OF CURB)
[Symbol: Circle]	99.50 (EDGE OF PAVEMENT)
[Symbol: Circle]	100.00 PROPOSED SPOT ELEVATION

**GRADING & DRAINAGE NOTES:**

1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
2. NOTIFY SUNSHINE 811 A MINIMUM OF 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (CALL - 811)
3. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
4. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH AND/OR HYDROSEED. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105
5. DEVELOPER/CONTRACTOR/HOME OWNER'S ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
6. ON SITES > 1 ACRE, IF > CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
7. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWD.
8. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE ( RIGHT-OF-WAY TO REMAIN PRIVATE). IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
9. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
10. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
11. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH
12. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER
15. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
16. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
17. MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
18. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
19. CONTRACTOR SHALL NOTIFY EOR OF ANY PERCHED GROUNDWATER ENCOUNTERED ON SITE. THE PRESENCE OF PERCHED GROUNDWATER MAY NECESSITATE THE INSTALLATION OF ROADSIDE UNDERDRAINS.
20. RETAINING WALL S SHOWN ARE TO BE DESIGNED BY A STRUCTURAL ENGINEER. THE CONTRACTOR SHALL OBTAIN BUILDING INSPECTIONS DEPARTMENT'S PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.

RETAINING WALL (DESIGN BY OTHERS). CONTRACTOR TO OBTAIN A SEPARATE BUILDING PERMIT FOR ANY RETAINING WALL GREATER THAN 2' IN HEIGHT PRIOR TO CONSTRUCTION.

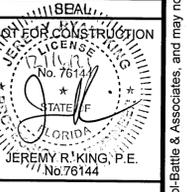


**RBA**  
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 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Tallahassee, Florida 32309  
 Telephone 850.438.0400 Fax 850.438.0448  
 EB 00009657 LB7916

**OVERALL  
 GRADING & DRAINAGE PLAN**

**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBIA COUNTY, FLORIDA**

No.	REVISION	DATE

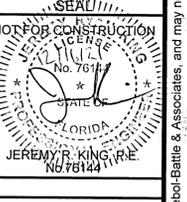


Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

DRAWING No.  
**C3.0**

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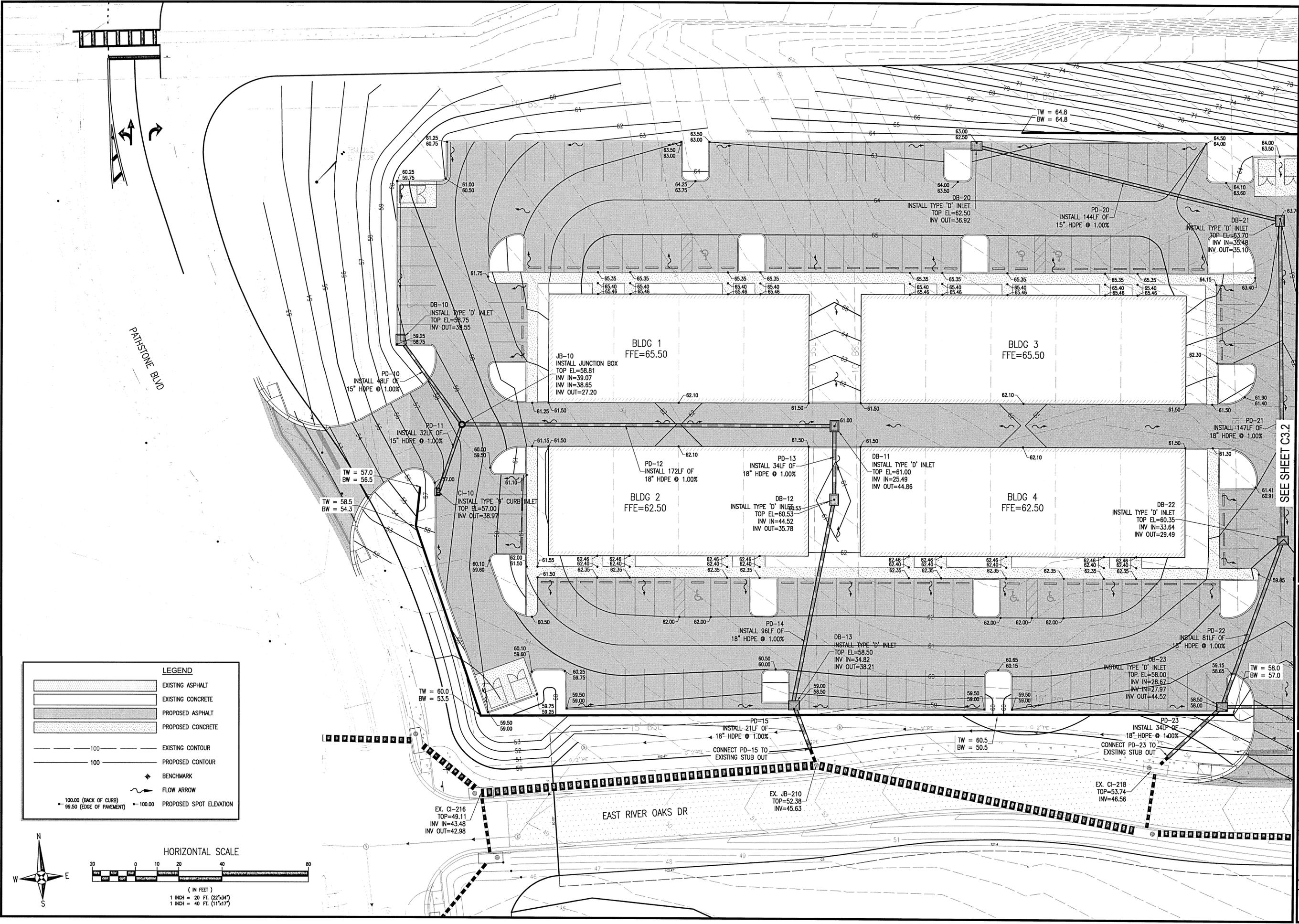
NO.	DATE	REVISION



Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

DRAWING No.  
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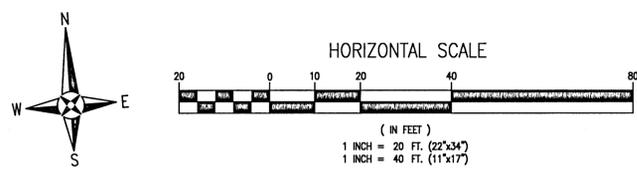
**LEGEND**

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- BENCHMARK
- FLOW ARROW
- 100.00 (BACK OF CURB)  
99.50 (EDGE OF PAVEMENT) PROPOSED SPOT ELEVATION

**HORIZONTAL SCALE**

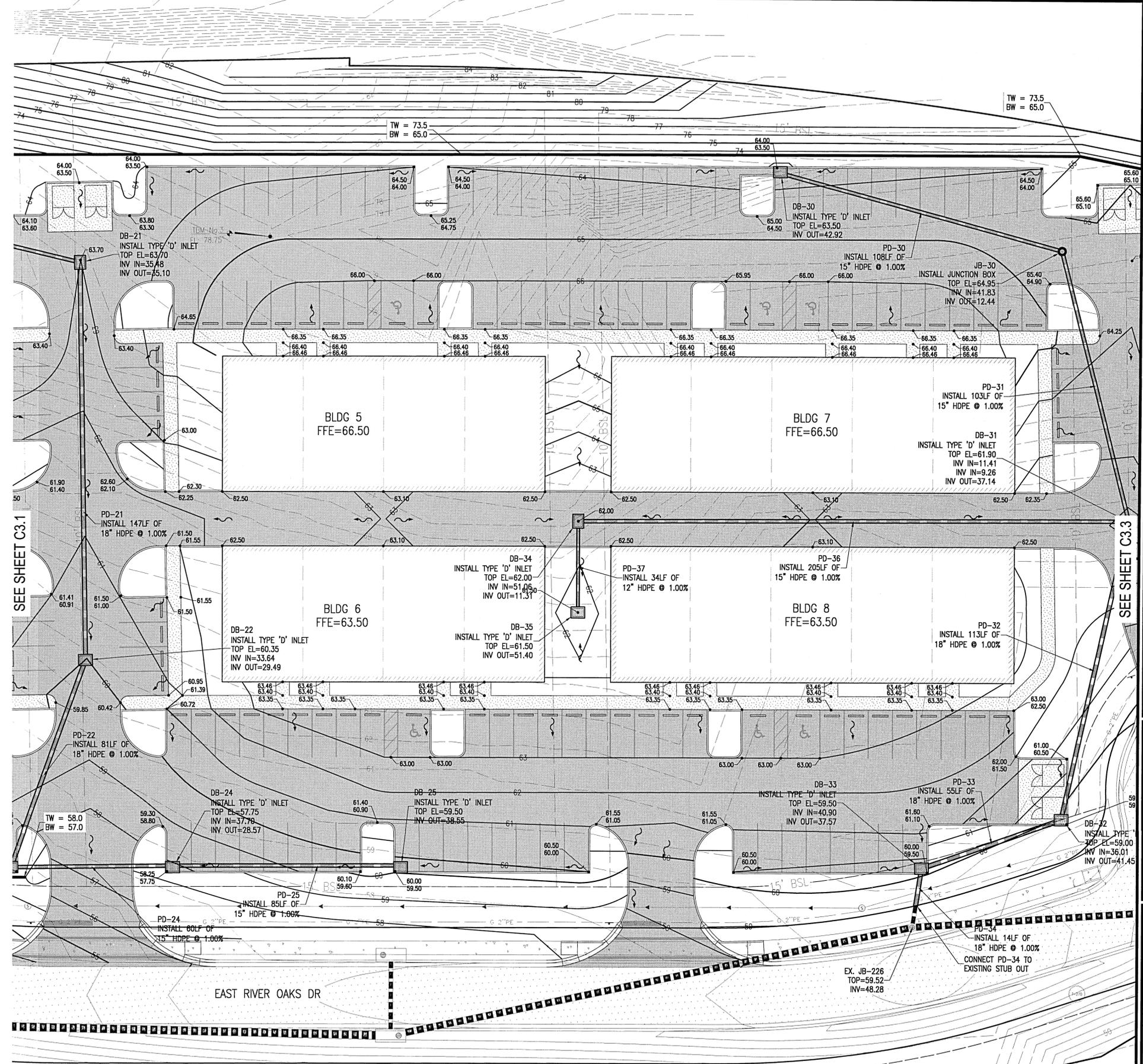
( IN FEET )  
 1 INCH = 20 FT. (22"x34")  
 1 INCH = 40 FT. (11"x17")

DATE PLOTTED: 10/18/2021 10:45:00 AM USER: JRM PROJECT: FALLSCHASE AT PATHSTONE COMMERCIAL SUBDIVISION LOTS 1-100 GRADING PLAN



**LEGEND**

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)
	PROPOSED SPOT ELEVATION



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 EB: 00009557 LB: 7516

**GRADING & DRAINAGE PLAN**

**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

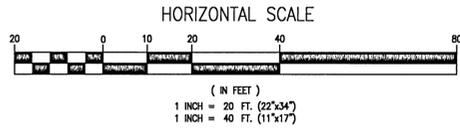
No.	DATE	REVISION

SEAL  
 NOT FOR CONSTRUCTION  
 LICENSE NO. 78144  
 STATE OF FLORIDA  
 JEREMY R. KING, P.E.  
 No. 78144

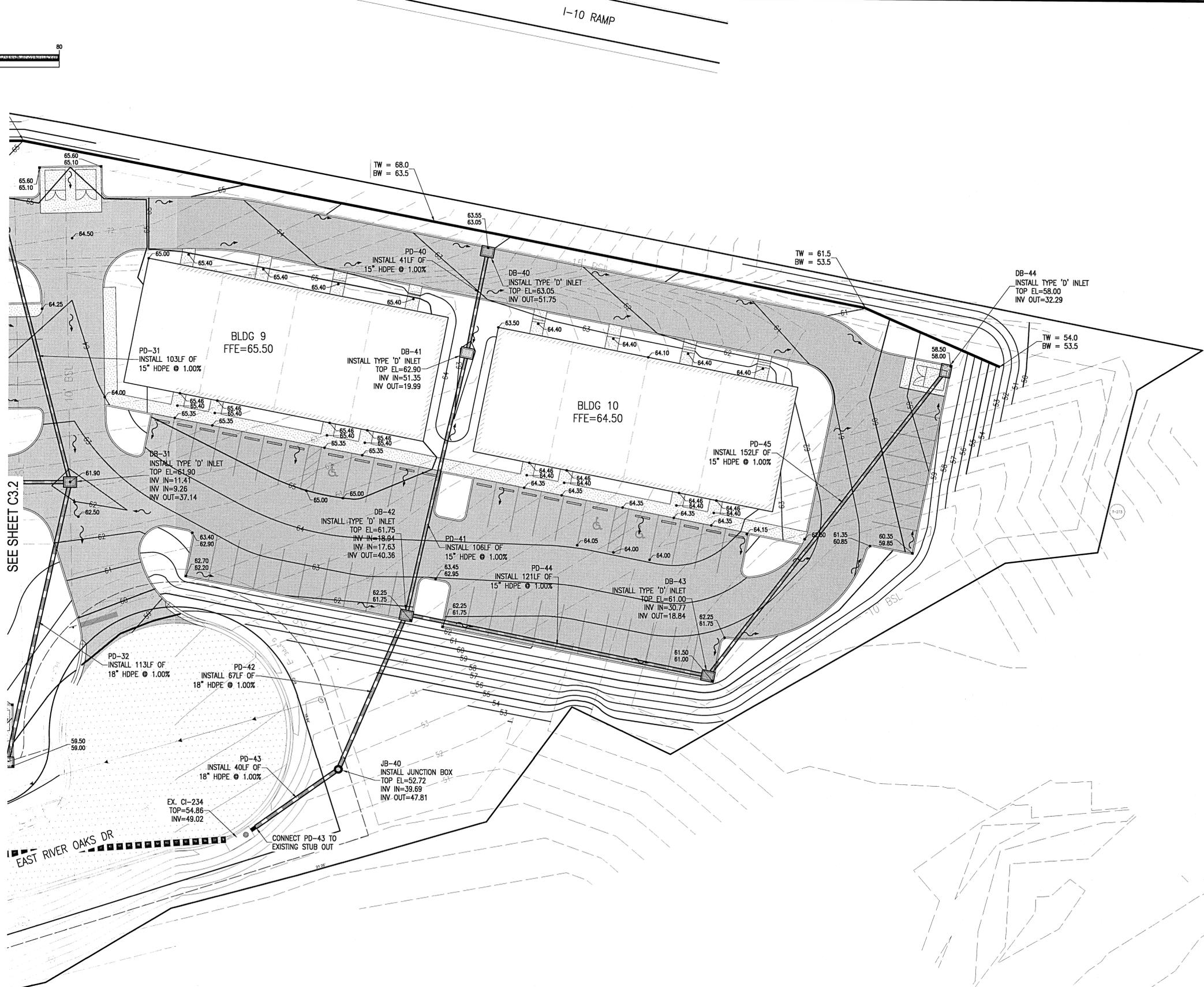
Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

DRAWING No.  
**C3.2**

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	PROPOSED SPOT ELEVATION
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)



SEE SHEET C3.2

EAST RIVER OAKS DR

I-10 RAMP

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**GRADING & DRAINAGE PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

SEAL  
 NOT FOR CONSTRUCTION  
 JEREMY R. KING, P.E.  
 No. 76144

Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

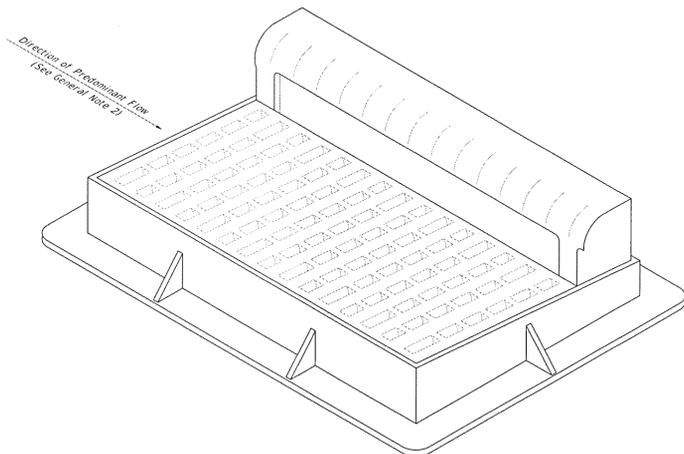
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**GENERAL NOTES:**

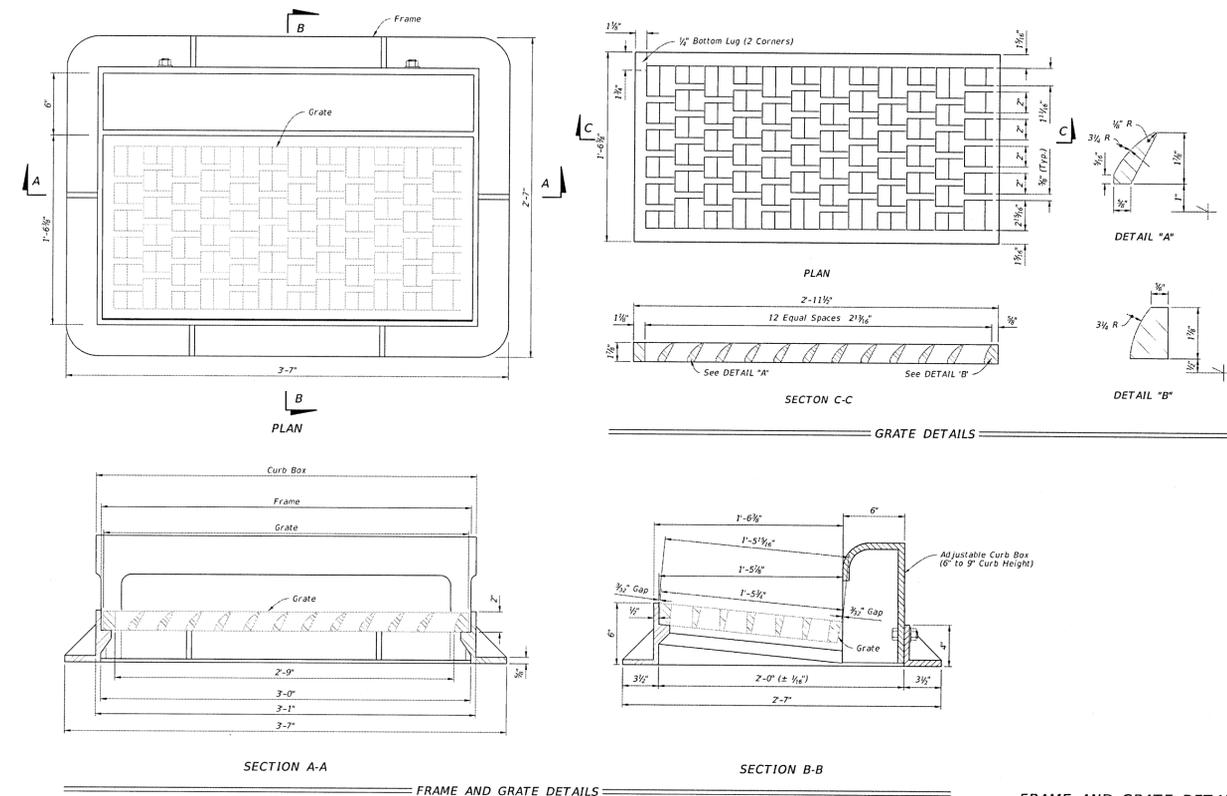
1. Work this Index with Index 425-001 and Index 425-010.
2. Orient grate with vanes directed toward predominant flow.
3. Provide 1 1/2" minimum cover for steel in slab tops unless otherwise shown. Tops may be either cast-in-place or precast concrete.
4. Place top slab openings such that 2 edges of inlet frame will be located directly above bottom wall or riser wall for Alternate B applications.
5. When used on a structure with dimensions larger than those detailed on Sheet 3 and risers are not applied, construct the top slab using Index 425-010 with the slab opening adjusted to 24"x36". The "Special Top Slab" on Index 425-010 is not permitted.
6. Frame may be adjusted with one to six courses of brick.
7. Vaned grates with approximately equal openings that satisfy AASHTO HL-93 loading are permitted. Provide reversible (right or left) grates.



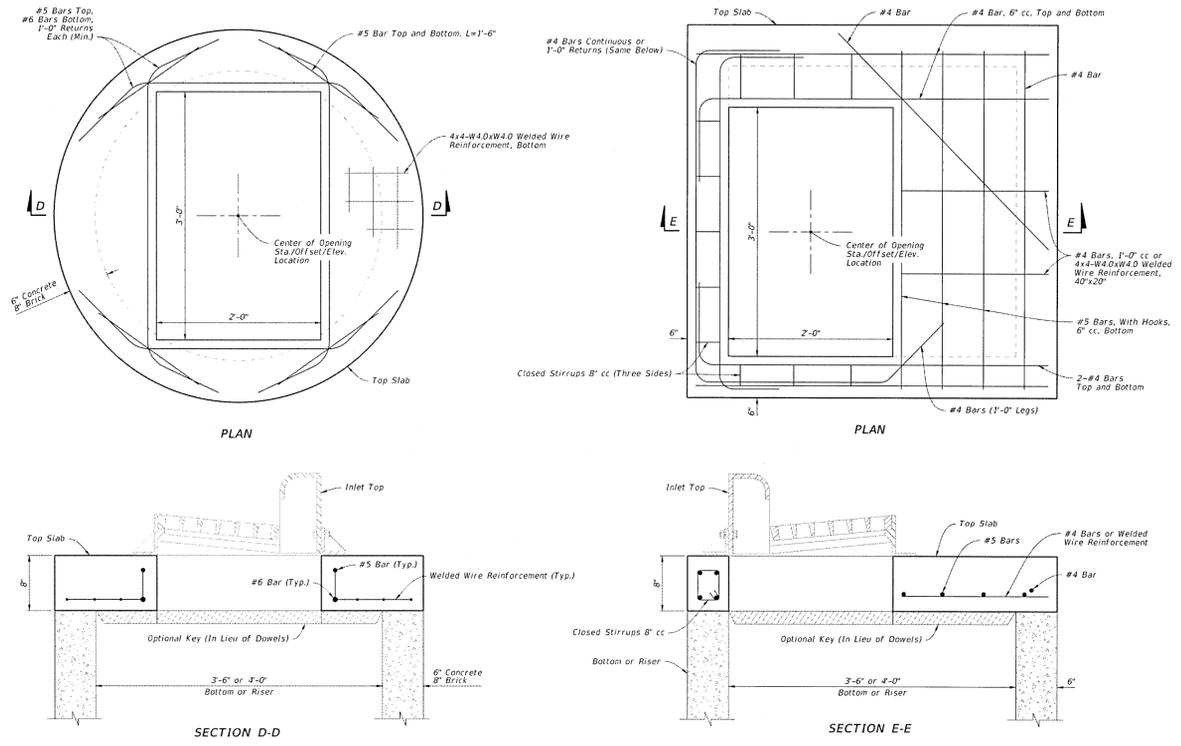
CURB INLET TOP TYPE 9

TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Frame and Grate Details
3	Top Slab Details

LAST REVISION: 11/01/20	DESCRIPTION:	FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPE 9	INDEX: 425-024	SHEET: 1 of 3
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LAST REVISION: 11/01/20	DESCRIPTION:	FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPE 9	INDEX: 425-024	SHEET: 2 of 3
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TOP SLAB DETAILS

LAST REVISION: 11/01/20	DESCRIPTION:	FY 2021-22 STANDARD PLANS	CURB INLET TOP TYPE 9	INDEX: 425-024	SHEET: 3 of 3
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 Telephone 850.438.0400 Fax 850.438.0448  
 E-mail rebol@rba.com Website www.rba.com

**GRADING & DRAINAGE PLAN  
 DETAILS**

**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

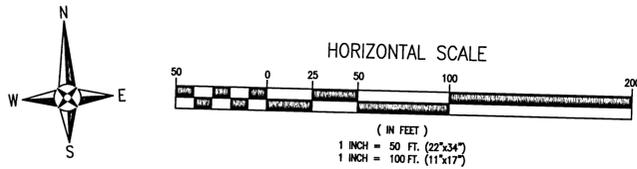
No.	DATE	REVISION

SEAL  
 NOT FOR CONSTRUCTION  
 JEREMY R. KING, P.E.  
 No. 78144

Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

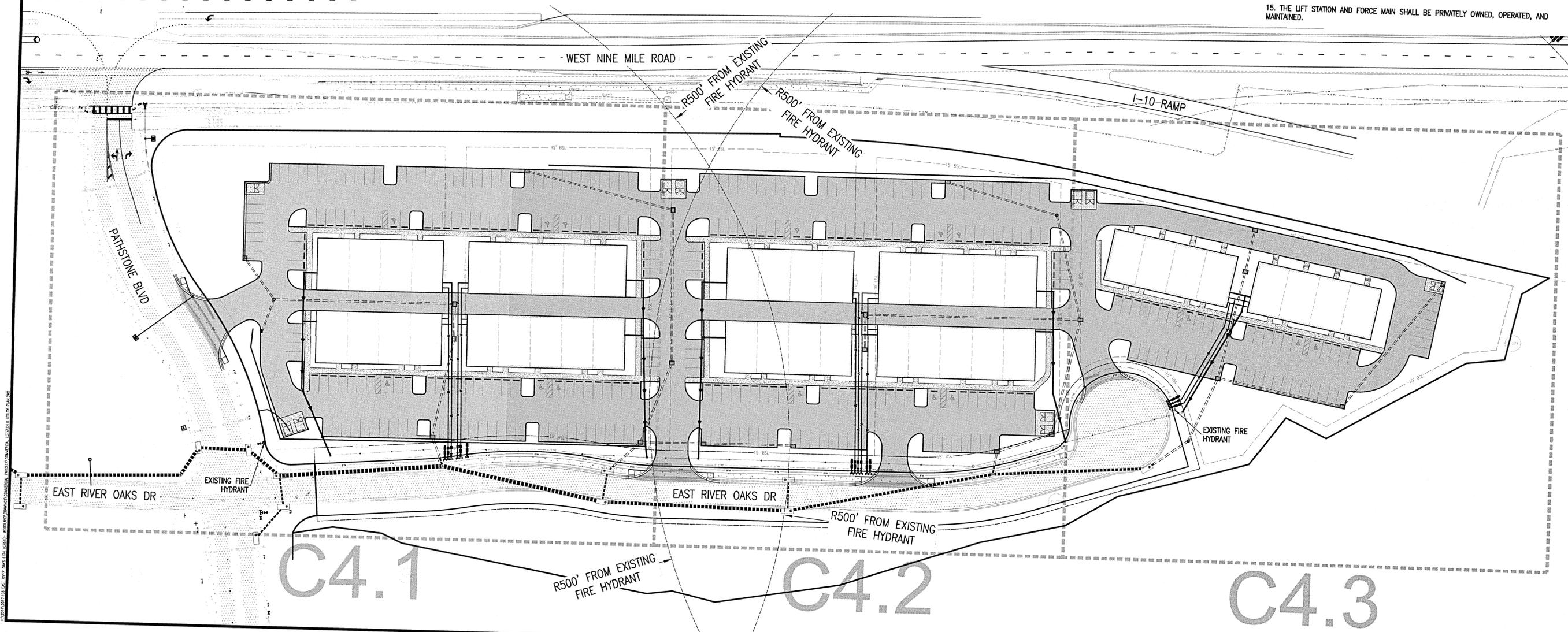
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**C3.5**

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

- UTILITY NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
  - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
  - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
  - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
  - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
  - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
  - ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
  - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
  - ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBA COUNTY AND THE ECUA GUIDELINES.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
  - ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
  - ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
  - THE LIFT STATION AND FORCE MAIN SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.



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 Fax: 904.689.4388  
 E-mail: RBA@RBA-FL.COM

**OVERALL  
 UTILITY PLAN**

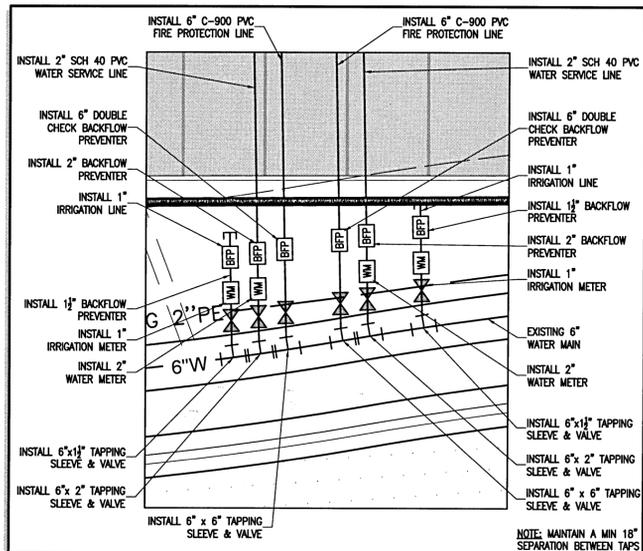
**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

NOT FOR CONSTRUCTION  
 LICENSE NO. 71714  
 JEREMY R. KING, R.E.  
 No. 78144

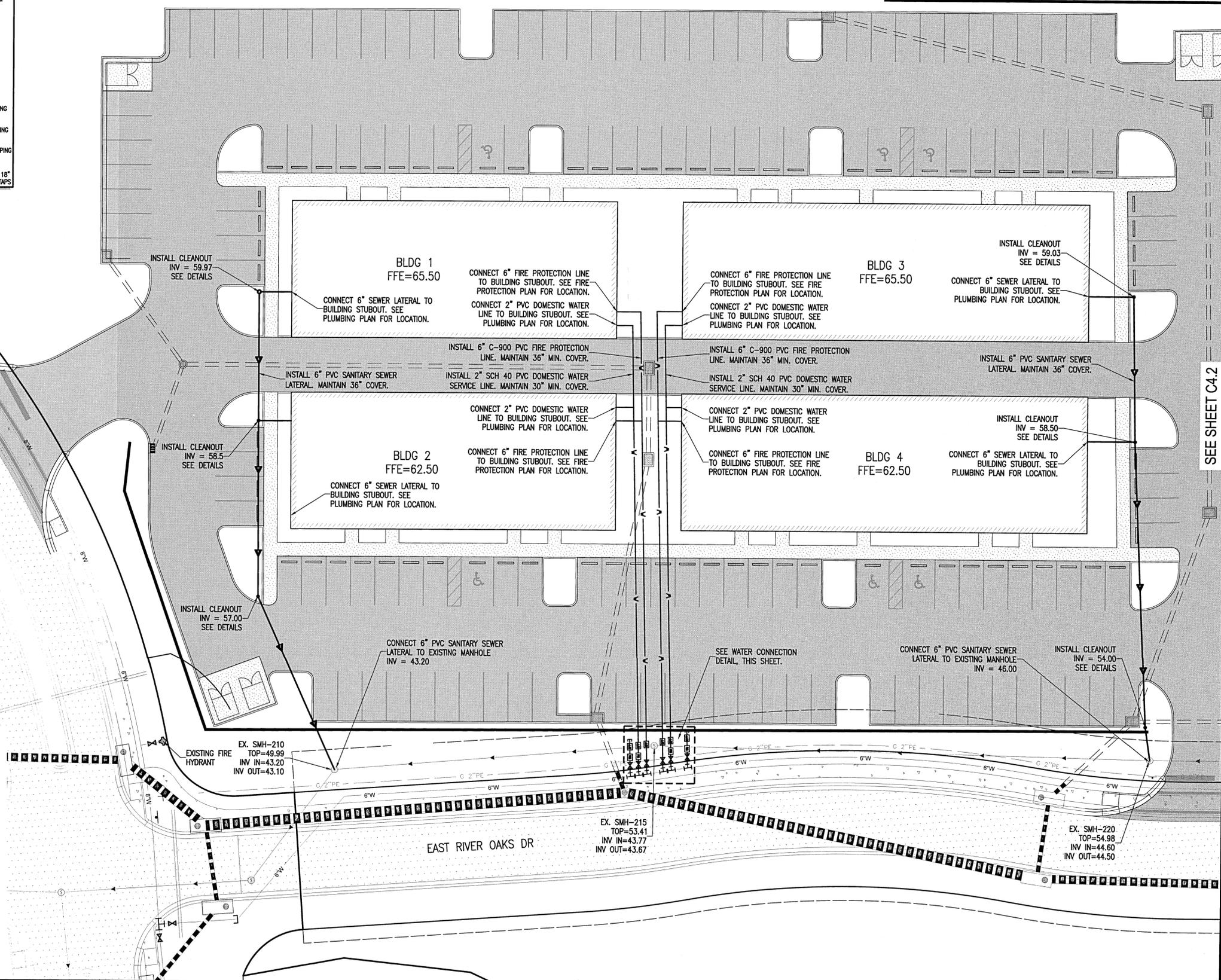
Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021  
 DRAWING No.  
**C4.0**

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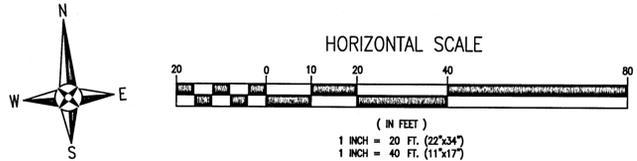
**UTILITY DETAIL REFERENCE NOTE**  
REFER TO ECUA ENGINEERING MANUAL (09-01-16) DIVISION 4 FOR ALL ECUA STANDARD DETAILS

**WATER CONNECTION DETAIL**  
N.T.S.



**LEGEND**

[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE



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**UTILITY PLAN**

**FALLSCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBA COUNTY, FLORIDA**

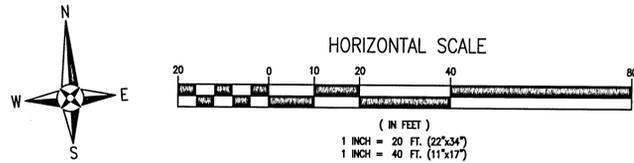
No.	REVISION	DATE

SEAL  
NOT FOR CONSTRUCTION  
FLORIDA  
JEREMY B. KING, P.E.  
No. 76144

Dr. By: KAE  
Ck By: JRK  
Job No.: 2017.103  
Date: 10-18-2021

DRAWING No.  
**C4.1**

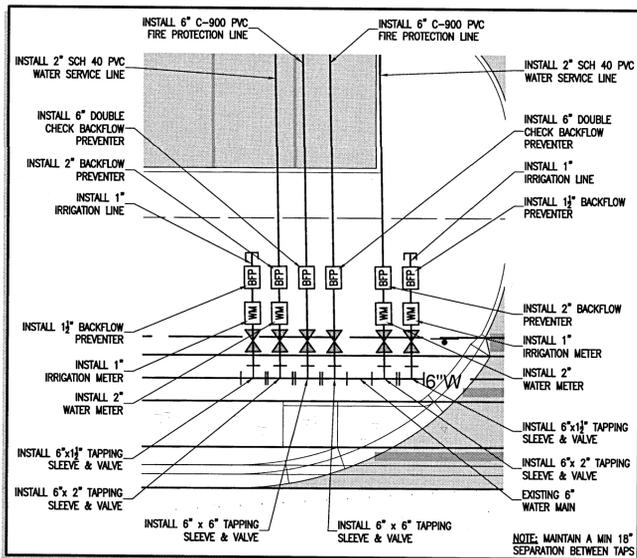
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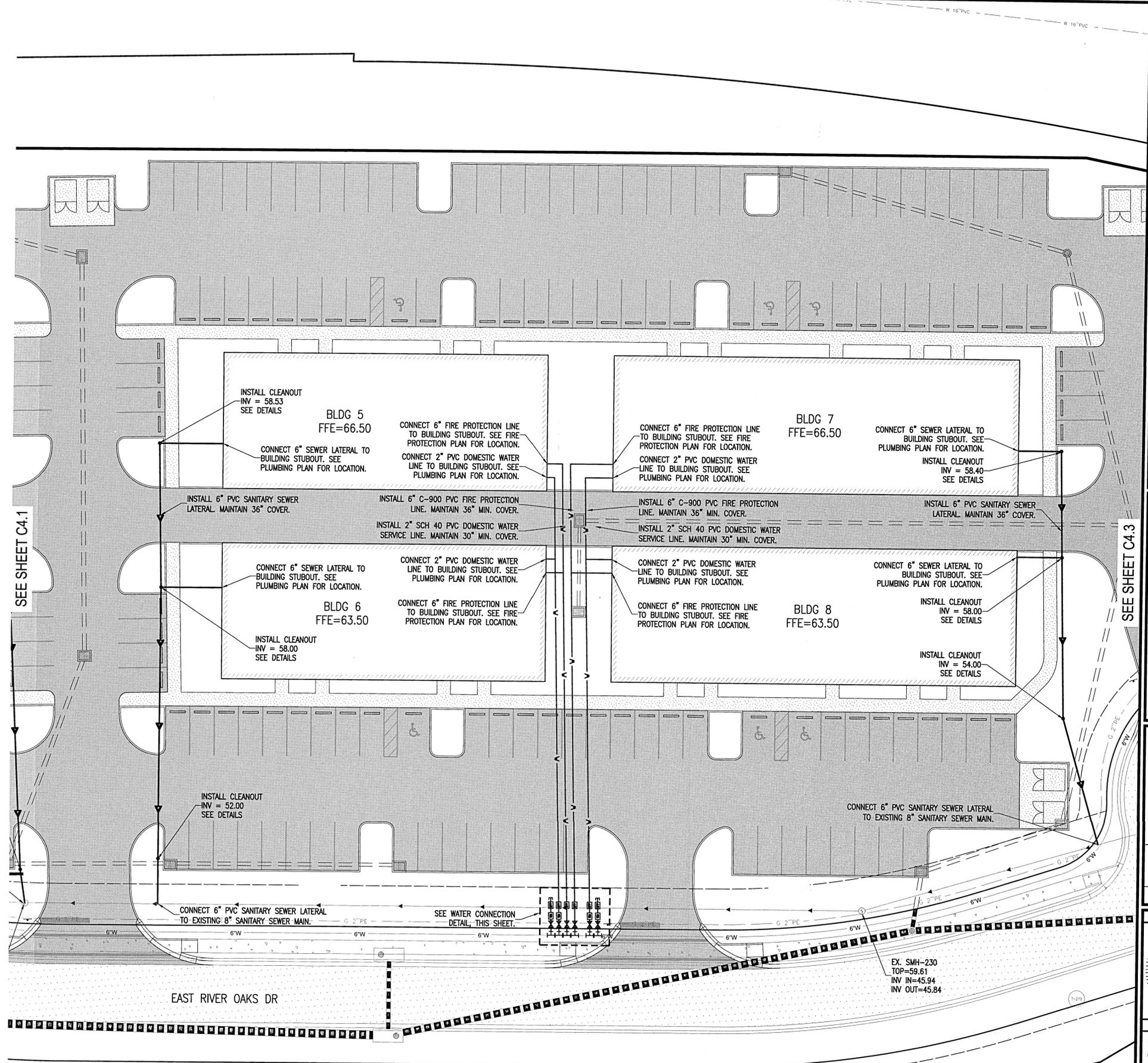
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	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

**UTILITY DETAIL REFERENCE NOTE**  
REFER TO ECUA ENGINEERING MANUAL (09-01-16)  
DIVISION 4 FOR ALL ECUA STANDARD DETAILS



**WATER CONNECTION DETAIL**  
N.T.S.



**RBA**  
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LEP 2116 EE 00005857

**UTILITY PLAN**

**FALLCHASE AT PATHSTONE  
COMMERCIAL SUBDIVISION  
ESCAMBA COUNTY, FLORIDA**

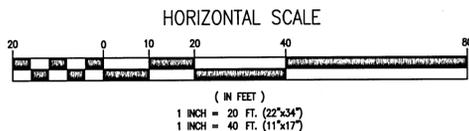
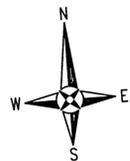
No.	DATE	REVISION

**SEAL**  
NOT FOR CONSTRUCTION  
No. 79144  
STATE OF  
FLORIDA  
JEREMY R. KING, P.E.  
No. 76144

Dr. By: KAE  
Ck By: JRK  
Job No.: 2017.103  
Date: 10-18-2021  
DRAWING No.

**C4.2**

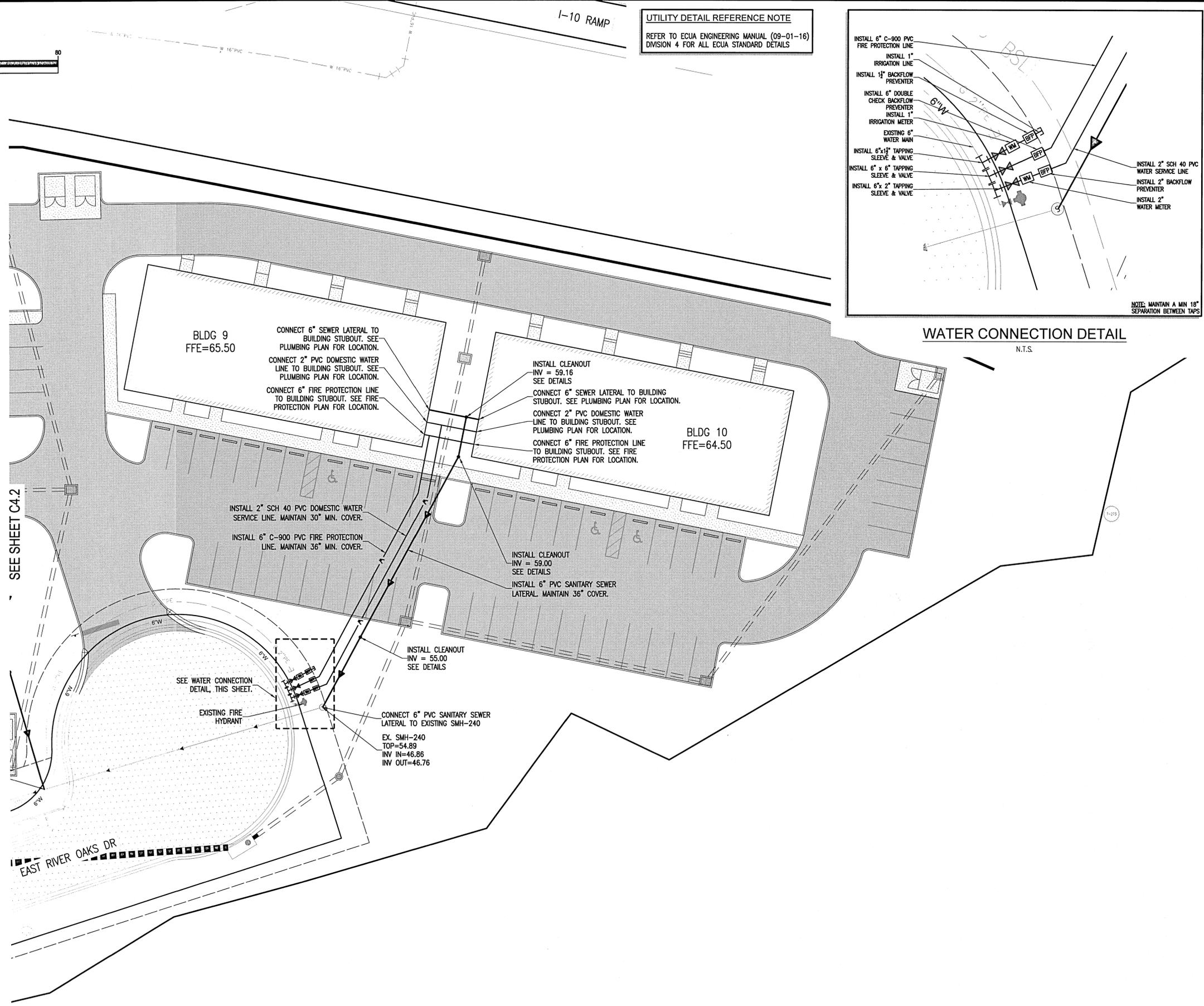
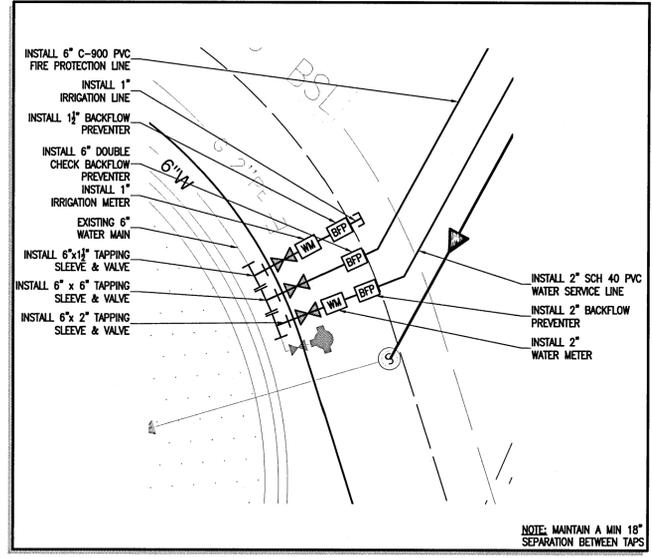
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**LEGEND**

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE

**UTILITY DETAIL REFERENCE NOTE**  
 REFER TO ECUA ENGINEERING MANUAL (09-01-16)  
 DIVISION 4 FOR ALL ECUA STANDARD DETAILS



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 Telephone 954.438.0400 Fax 954.438.0448  
 E-mail 954.438.0448 LBT7916

**UTILITY PLAN**

**FALLSCHASE AT PATHSTONE**  
**COMMERCIAL SUBDIVISION**  
 ESCAMBA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL  
 NOT FOR CONSTRUCTION  
  
 JEREMY R. KING, P.E.  
 No. 76144

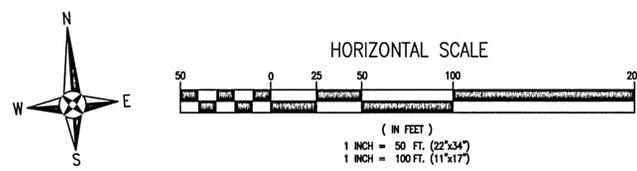
Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

DRAWING No.  
**C4.3**

PROJECT: 2017.103, EAST RIVER OAKS (17A, 17B) - ESCAMBA COUNTY COMMERCIAL SUBDIVISION, ESCAMBA COUNTY, FLORIDA, UTILITY PLAN, C4.3

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	SOD OR SEED AND MULCH
	'P' DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.
	'M' DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.

- LANDSCAPE NOTES:**
1. INSTALL TREE BARRICADES PRIOR TO BEGINNING SITE DISTURBANCE.
  2. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  3. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  4. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
  5. ALL TREES SHALL BE A MINIMUM HEIGHT OF 9' FROM FINISHED GRADE AT TIME OF PLANTING. A LIST OF RECOMMENDED TREES IS AVAILABLE AT NEDS.
  6. MITIGATION TREES SHALL BE A MINIMUM HEIGHT OF 9' AT TIME OF PLANTING, OF GRADE 'A' USDA PLANT MATERIAL, NATIVE IN SPECIES, AND A CANOPY TREE >30' AT MATURE HEIGHT.
  7. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
  8. ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
  9. REFER TO SHEET C1.1 FOR TREE REMOVAL CHART.

- TREE REPLACEMENT REQUIREMENTS:**
1. NO LESS THAN 50% OF THE PROTECTED TRUNK DIAMETER REMOVED SHALL BE REPLACED IN TOTAL CALIPER INCHES. MAX REPLACEMENT FOR NON HERITAGE TREES SHALL BE 25"/ACRE. AREA IS BASED UPON THE PROJECT AREA, NOT NECESSARILY THE ENTIRE SITE AREA.
  2. THE DIVERSITY OF THE NEW TREES PLANTED SHALL BE BASED UPON THE NUMBER OF NEW TREES REQUIRED.
 

5-19 TREES	67% MAXIMUM ONE SPECIES
20-49 TREES	40% MAXIMUM ONE SPECIES
50 OR > TREES	30% MAXIMUM ONE SPECIES
  3. THE MINIMUM SIZE FOR A MITIGATION TREE SHALL BE 2.5" CALIPER INCHES AT TIME OF PLANTING (MEASURED 6" ABOVE THE GROUND ON TREES 4" IN DIAMETER AND SMALLER, AND 12" FROM THE GROUND FOR LARGER TREES).

**REPLACEMENT TREE CALCULATIONS:**

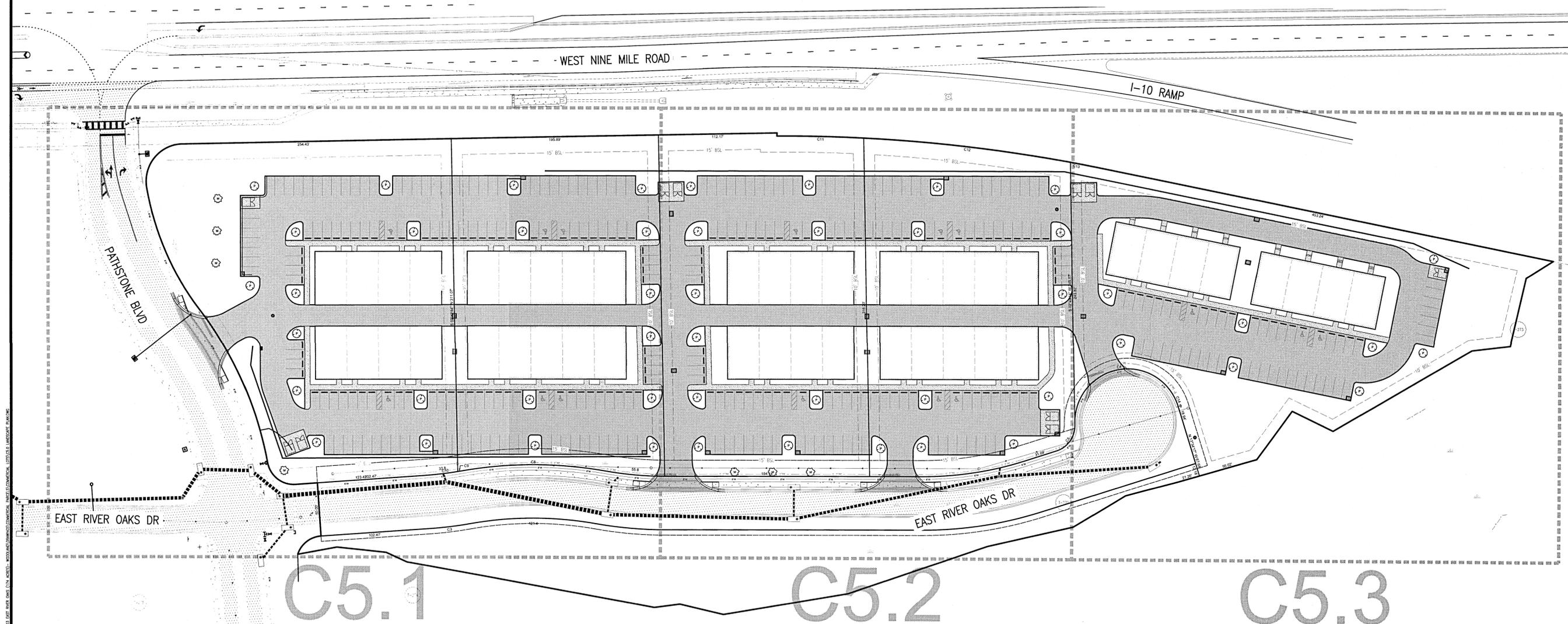
FROM #1 ABOVE - TOTAL INCHES REMOVED = 34"  
 MINIMUM REPLACEMENT 34" x 50% = 17" REQUIRED

FROM #1 ABOVE - PROJECT ACREAGE = 7.88 ACRES  
 MAXIMUM INCHES REQUIRED 7.88 ac x 25" = 197"

THEREFORE 197" REQUIRED. 17"/2.5" = 6.8 TREES. PROVIDE 7 TREES

FROM #2 ABOVE - 67% MAXIMUM MAY BE ONE SPECIES

- STRIPPING & SIGN NOTES:**
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX 17346.
  2. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD INDEX 17346.
  3. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
  4. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865, WIND ZONE No.1.



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**OVERALL  
 LANDSCAPE, STRIPING,  
 AND SIGNAGE PLAN**

**FALLSCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

SEAL  
 NOT FOR CONSTRUCTION  
 FLORIDA  
 JEREMY R. KING, P.E.  
 No. 76144

Dr. By: KAE  
 Ck By: JRK  
 Job No.: 2017.103  
 Date: 10-18-2021

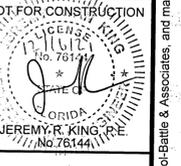
DRAWING No.  
**C5.0**

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**LANDSCAPE, STRIPING,  
 AND SIGNAGE PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

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SEAL  
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DRAWING No.  
**C5.1**

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**LEGEND**

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	SOD OR SEED AND MULCH

**P** DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.

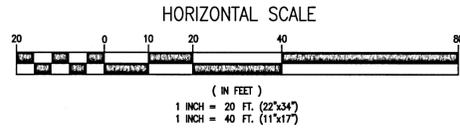
**M** DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.

**HORIZONTAL SCALE**

( IN FEET )  
 1 INCH = 20 FT. (20'x34")  
 1 INCH = 40 FT. (11"x17")



SEE SHEET C5.2

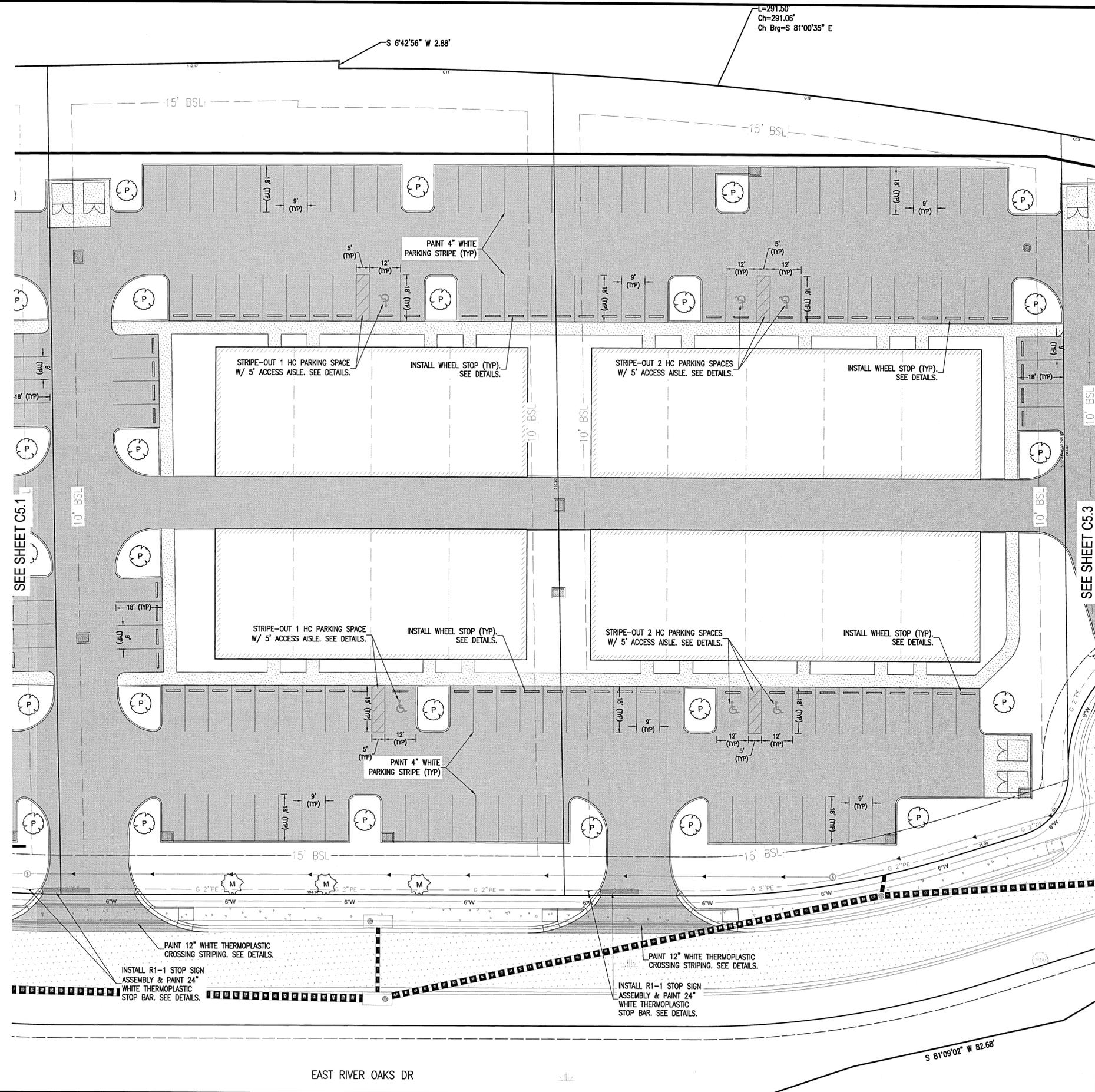


**LEGEND**

EXISTING ASPHALT  
 EXISTING CONCRETE  
 PROPOSED ASPHALT  
 PROPOSED CONCRETE  
 SOD OR SEED AND MULCH

**P** DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.

**M** DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.



EAST RIVER OAKS DR

**RBA**  
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**LANDSCAPE, STRIPING,  
 AND SIGNAGE PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

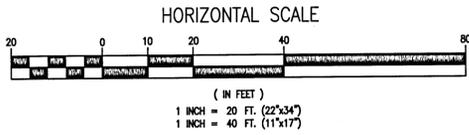
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DRAWING No.  
**C5.2**

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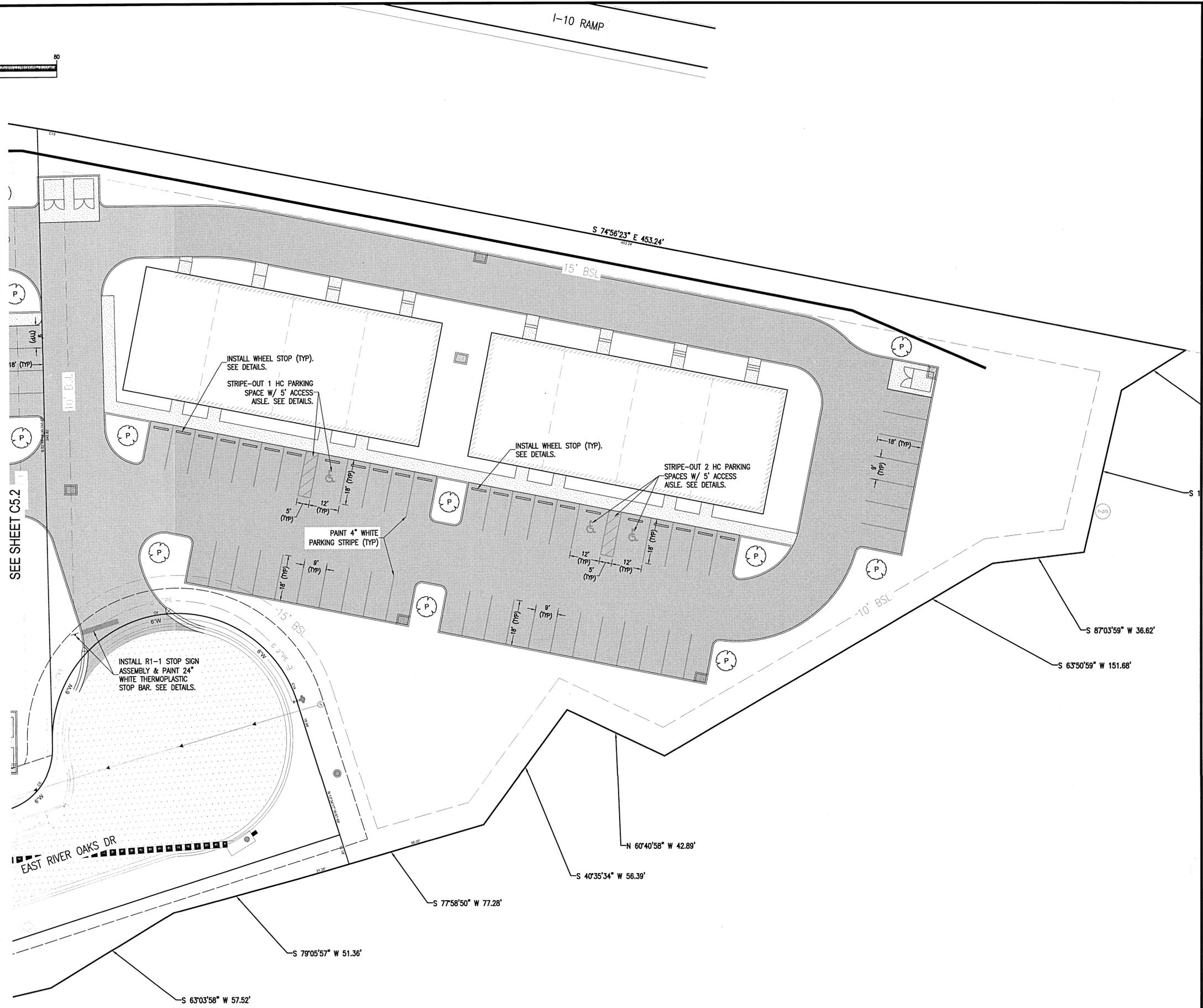


**LEGEND**

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- SOD OR SEED AND MULCH

"P" DENOTES PROPOSED PARKING ROW TERMINUS TREE. SOUTHERN MAGNOLIA OR APPROVED EQUAL.

"M" DENOTES PROPOSED MITIGATION TREE. LIVE OAK OR APPROVED EQUAL.



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**LANDSCAPE, STRIPING,  
 AND SIGNAGE PLAN**

**FALLCHASE AT PATHSTONE  
 COMMERCIAL SUBDIVISION  
 ESCAMBA COUNTY, FLORIDA**

No.	DATE	REVISION

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JEREMY R. KING, P.E.  
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 Date: 10-18-2021

DRAWING No.  
**C5.3**

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