

**GENERAL NOTES:**

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 55 DEGREES 00 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF THE PROPERTY AS PER THE RECORD PLAT OF PALAO PLACE AS RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF ESCAMBA COUNTY, FLORIDA.
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE RECORD PLAT OF PALAO PLACE AND TO EXISTING FIELD MONUMENTATION.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0369 G, REVISED SEPTEMBER 29, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCROACHMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
15. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4073" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
16. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

- SPECIAL LINES:**
- SS—SS— SANITARY SEWER LINE
  - V—V— WATER SERVICE LINE
  - BT—BT— BURIED TELEPHONE LINE
  - GG—GG— NATURAL GAS LINE

**BENCHMARK DATA:**

BM~1 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 21.66' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 21.51' (NAVD88)

**ADJACENT EAST PROPERTY OWNER INFO**

OWNER: SUNRAY ENTERPRISES INC  
 ADDRESS: 2710 ASBURY LN  
 CANTONMENT, FLORIDA 32533  
 PROP REF #: 59-2S-30-2300-020-001  
 ZONING DISTRICT: COM  
 FLU: MU-U  
 CURRENT USE: AUTO REPAIR SHOP  
 PROPERTY ADDRESS: 3415 BARRANCAS AVE  
 PENSACOLA, FLORIDA 32507

**ADJACENT SOUTH PROPERTY OWNER INFO**

OWNER: BAYSHORE STORAGE LLC  
 ADDRESS: 10104 BITTERN DRIVE  
 PENSACOLA, FL 32507  
 PROP REF #: 59-2S-30-2350-000-001  
 ZONING DISTRICT: COM  
 FLU: MU-U  
 CURRENT USE: VACANT LOT  
 PROPERTY ADDRESS: NOT ASSIGNED TO DATE  
 PENSACOLA, FLORIDA 32507

- DENOTES:**
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
  - ⊙ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
  - ⊙ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
  - (P) ~ PLATTED INFORMATION
  - (F) ~ FIELD INFORMATION
  - R/W ~ RIGHT OF WAY
  - SEC. ~ SECTION
  - TWP. ~ TOWNSHIP
  - RGE. ~ RANGE
  - PG. ~ PAGE
  - ⊙ ~ FIRE HYDRANT
  - ⊙ ~ BENCHMARK
  - ⊙ ~ SANITARY SEWER MANHOLE
  - ⊙ ~ STORM DRAIN MANHOLE
  - 123 ~ MAIL BOX
  - ⊙ ~ WATER METER
  - ⊙ ~ GULF POWER BOX
  - ⊙ ~ UTILITY POLE
  - ⊙ ~ GUY ANCHOR
  - ⊙ ~ SIGN
  - ×33.35 EXISTING SPOT ELEV.
  - 31— EXISTING ELEV. CONTOUR
  - ▭ CONCRETE PARKING/DRIVEWAY
  - ▭ CONCRETE
  - — — — — PROPERTY BOUNDARY

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 8306, PAGE: 1552)

LOTS 1, 2 AND 3 OF THE PALAO PLACE, A SUBDIVISION OF A PORTION OF LOTS 2 AND 3, A SUBDIVISION OF WILLIAM FISHER'S 96 ACRES, IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBA COUNTY, FLORIDA, ACCORDING TO PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF SAID COUNTY.

LESS AND EXCEPT:

THE SOUTHEASTERLY 50.00 FEET OF LOTS 1, 2 AND 3 OF THE PALAO PLACE, A SUBDIVISION OF A PORTION OF LOTS 2 AND 3, A SUBDIVISION OF WILLIAM FISHER'S 96 ACRES, IN SECTION 59, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBA COUNTY, FLORIDA, ACCORDING TO PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 3 AT PAGE 4 OF THE PUBLIC RECORDS OF SAID COUNTY.

**SANITARY SEWER DATA**

MANHOLE NO.	NORTHING	EASTING	TOP ELEV.	INVERT
MH1	517505.05	1100423.17	21.82	16.48
MH2	517396.33	1100555.75	22.23	15.63
MH3	517341.87	1100565.99	21.43	13.47
MH4	517156.43	1100790.60	18.10	10.86

STATE PLANE COORDINATES DATUM: NAD83; MAPPING PLANE ZONE:  
 FLORIDA NORTH 0903; LAMBERT PROJECTION

NO.	REVISIONS	BY	DATE

**ENVIRONMENTAL ENGINEERING SERVICES**  
 FIRM REGISTRATION #: RY6515  
 2120 MARIA CIRCLE  
 PENSACOLA, FLORIDA 32514  
 850-982-8606 (OFC)  
 850-477-1176 (FAX)  
 GREGORY ALLEN CAMPBELL, P.E.  
 FL PE LICENSE #: 38572

**PROJECT TITLE:**  
 SUPER FOODS OFFICE AND EQUIPMENT  
 REPAIR WORKSHOP

**3405 BARRANCAS AVENUE**  
 PENSACOLA, FLORIDA  
 ESCAMBA COUNTY

**SHEET TITLE:**  
 EXISTING SITE PLAN

DATE: 04-02-21  
 SCALE: 1"=20'  
 SHEET NUMBER:  
**C1**  
 SHEET 2 OF 8

- DENOTES:
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
  - ⊙ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
  - ⊙ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
  - (P) ~ PLATTED INFORMATION
  - (F) ~ FIELD INFORMATION
  - R/W ~ RIGHT OF WAY
  - SEC. ~ SECTION
  - TWP. ~ TOWNSHIP
  - RGE. ~ RANGE
  - PG. ~ PAGE
  - ⊕ ~ FIRE HYDRANT
  - ⊕ ~ BENCHMARK
  - ⊕ ~ SANITARY SEWER MANHOLE
  - ⊕ ~ STORM DRAIN MANHOLE

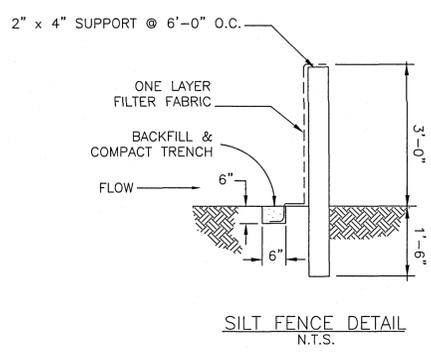
- SPECIAL LINES:
- S—S—S— ~ SANITARY SEWER LINE
  - W—W—W— ~ WATER SERVICE LINE
  - T—T—T— ~ BURIED TELEPHONE LINE

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 21.66' (NAVD88)

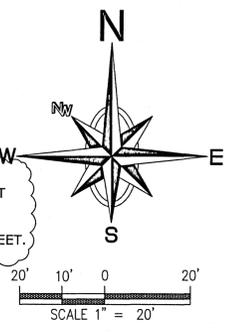
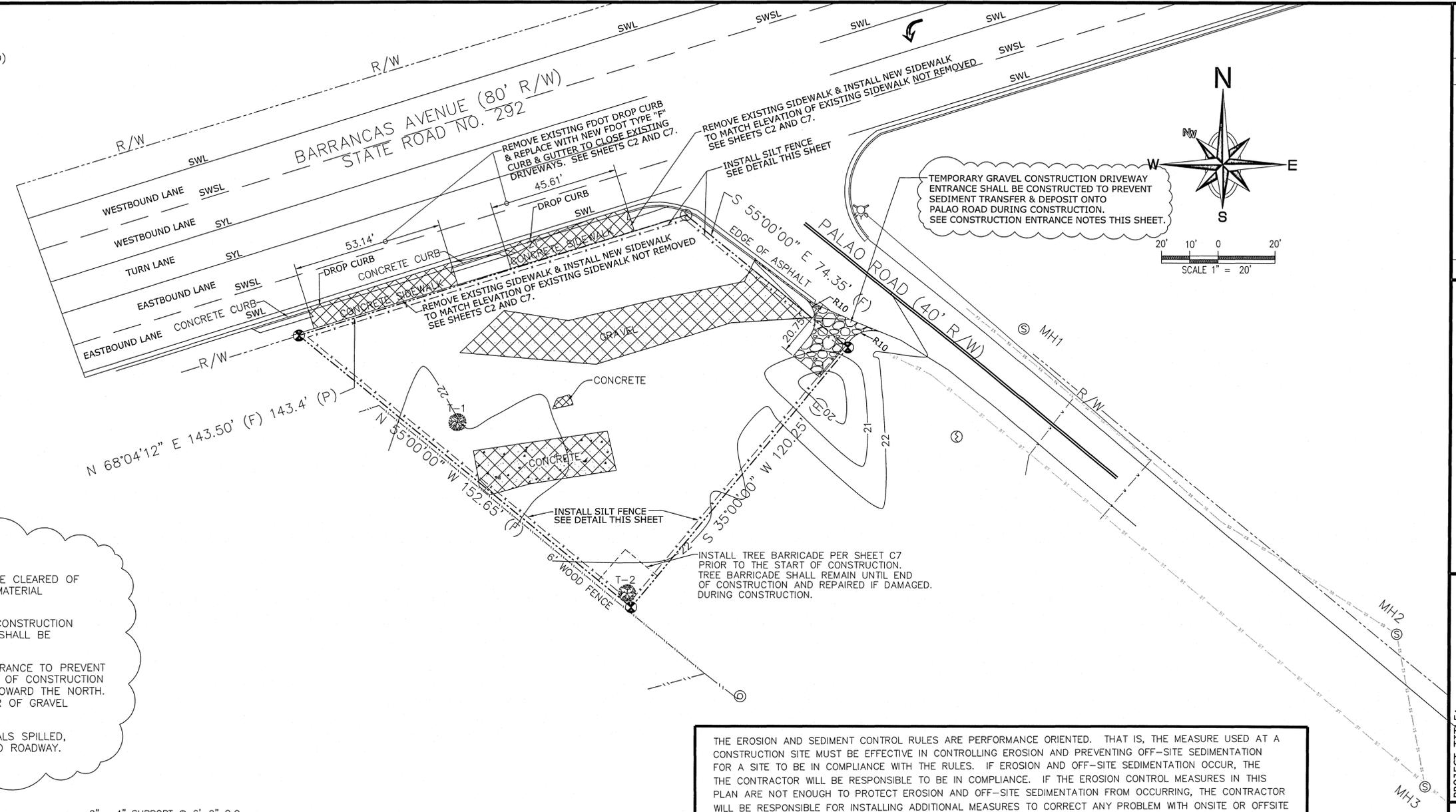
BM~2 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 21.51' (NAVD88)

- CONSTRUCTION ENTRANCE NOTES:**
1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL PRIOR TO PLACEMENT OF GRAVEL.
  2. THE AGGREGATE SIZE OF THE GRAVEL UTILIZED FOR CONSTRUCTION ENTRANCE SHALL BE 2" TO 3" COARSE GRAVEL AND SHALL BE 6-INCHES THICK.
  3. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING ONTO RIGHT-OF-WAY. SLOPE OF CONSTRUCTION ENTRANCE SHALL BE AWAY FROM THE ROADWAY OR TOWARD THE NORTH. CONTRACTOR SHALL DRESS WITH 2-INCH THICK LAYER OF GRAVEL AS CONDITIONS DEMAND.
  4. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, TRACKED OR WASHED FROM VEHICLES ONTO ROADWAY.



- SILT FENCE NOTES**
1. SILT FENCE SHALL BE ERECTED AND MAINTAINED AROUND ALL DRAINAGE STRUCTURES UNTIL DRAINAGE AREAS ARE PAVED OR STABILIZED TO PREVENT EROSION. SILT FENCE SHALL BE IN ACCORDANCE WITH DETAILS, AS SHOWN ON THIS SHEET.
  2. FABRIC MAY BE ATTACHED TO POSTS BY STAPLES, NAILS, WIRE, CORD OR POCKETS. MINIMUM NUMBER OF FASTENERS SHALL BE 5, EQUALLY SPACED. NAILS SHALL BE 14 GAUGE, 1" LONG, 3/4" BUTTON HEADS. STAPLES SHALL BE 17 GAUGE, 3/4" WIDE, 1/2" LONG LEGS.
  3. EROSION CONTROL IS TO BE CONSTRUCTED FIRST, STORMWATER POND IS SECOND, AND BOTH ARE TO BE IN-PLACE BEFORE ANY OTHER CONSTRUCTION IS BEGUN.

- LEGEND (CON'T)**
- 32— EXISTING CONTOUR ELEVATION
  - - - - - PROPOSED SILT FENCE
  - - - - - EXISTING WOOD FENCE
  - ▨ PROPOSED DEMOLITION
  - ▨ EXISTING GRAVEL
  - ▨ EXISTING CONCRETE
  - SWL SOLID WHITE LINE
  - SYL SOLID YELLOW LINE
  - SWSL SOLID WHITE SKIP LINE
  - ⊕ EXISTING TREE
  - - - - - PROPERTY BOUNDARY



THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURE USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE TO BE IN COMPLIANCE. IF THE EROSION CONTROL MEASURES IN THIS PLAN ARE NOT ENOUGH TO PROTECT EROSION AND OFF-SITE SEDIMENTATION FROM OCCURRING, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM WITH ONSITE OR OFFSITE EROSION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.

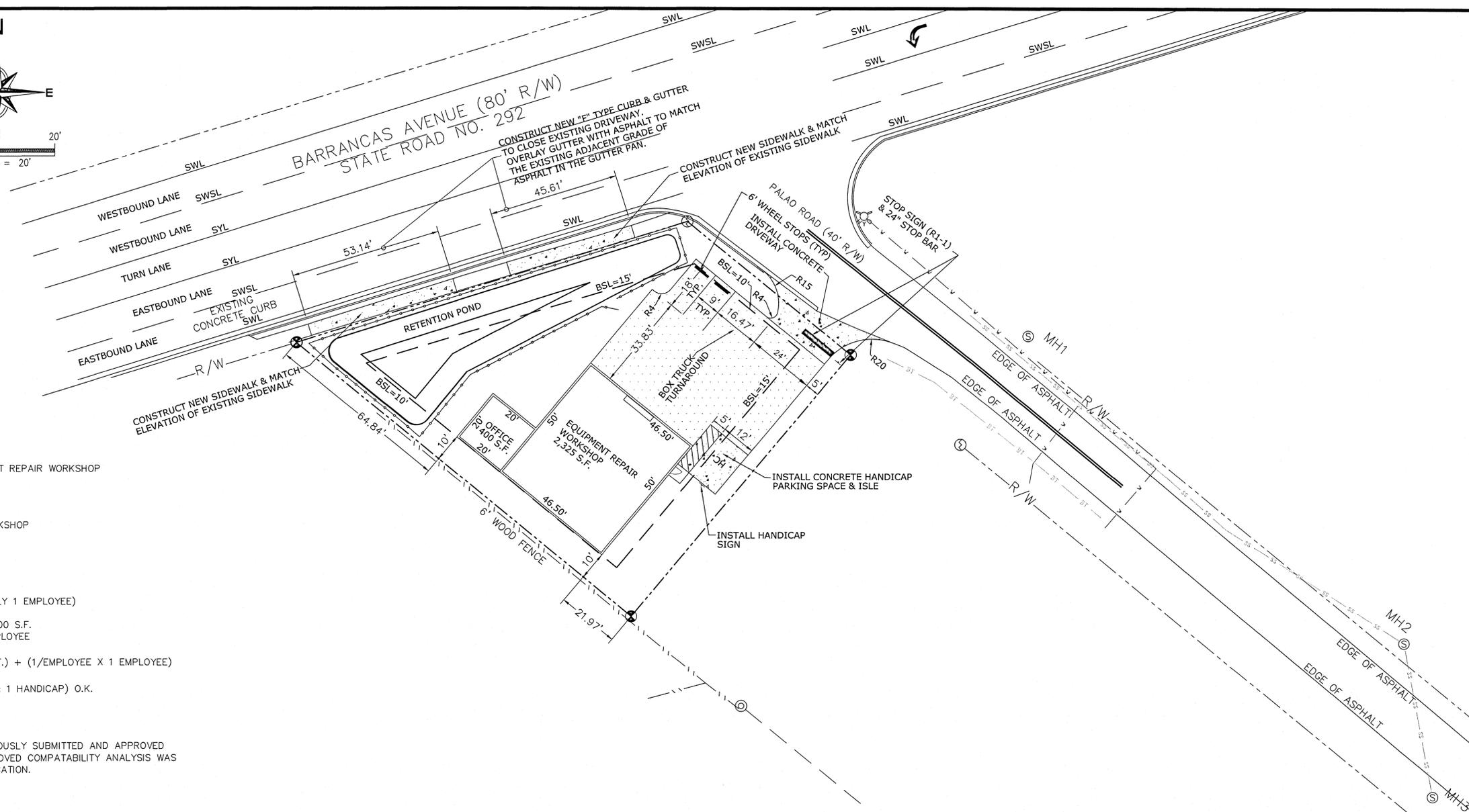
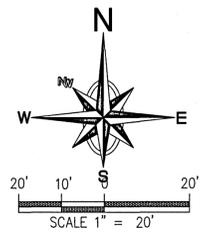
NOTE: EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.

NOTE: A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FUTURE ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

**EXISTING TREE SCHEDULE & MITIGATION CHART**

PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL
T1	LIVE OAK	36"	REMOVE	BUILDING/POND
T2	LIVE OAK	16"	REMAIN	
TOTAL TREE DIAMETER IN INCHES TO BE REMOVED				36"
TOTAL INCHES IN CREDIT RECEIVED				0"
TOTAL CALIPER INCHES OF MITIGATION/REPLACEMENT TREE REQUIRED IS 50% X TOTAL INCHES REMOVED OR 36" X 0.50 = 18 INCHES OR 18/2.5=7.2 OR 7 NATIVE CANOPY TREES OR 7 NATIVE CANOPY TREES.				
THERE IS NOT ADEQUATE ONSITE SPACE TO PLANT ADDITIONAL TREES AND THEREFORE THE DEVELOPER WILL BE PAYING INTO THE ESCAMBIA COUNTY TREE FUND.				
TREE FUND PAYMENT REQUIRED=7 TREES X \$350/TREE = \$2,450.				

05-06-21									
GAC									
1 ESCAMBIA CO COMMENTS									
ENVIRONMENTAL ENGINEERING SERVICES									
FIRM REGISTRATION #: RY6515									
2120 MARIA CIRCLE									
PENSACOLA, FLORIDA 32514									
850-982-8606 (OFC)									
850-477-1176 (FAX)									
GREGORY ALLEN CAMPBELL, P.E.									
FL PE LICENSE #: 38572									
PROJECT TITLE:									
SUPER FOODS OFFICE AND EQUIPMENT									
REPAIR WORKSHOP									
3405 BARRANCAS AVENUE									
PENSACOLA, FLORIDA									
ESCAMBIA COUNTY									
SHEET TITLE:									
<b>DEMOLITION &amp; EROSION CONTROL PLAN</b>									
DATE: 04-02-21									
SCALE: 1"=20'									
SHEET NUMBER:									
<b>C2</b>									
SHEET 3 OF 8									



**OWNER/PROJECT INFORMATION**

OWNER: HANK CARLSTROM  
 10104 BITTERN DRIVE  
 PENSACOLA, FLORIDA 32507

PROJECT NAME: SUPER FOODS OFFICE & EQUIPMENT REPAIR WORKSHOP  
 PROJECT ADDRESS: 3405 BARRANCAS AVENUE  
 PENSACOLA, FLORIDA 32507

ZONING DISTRICT: COM  
 FLU: MU-U  
 TYPE OF BUSINESS: OFFICE & EQUIPMENT REPAIR WORKSHOP  
 PARCEL #: 59-2S-30-2350-000-001

**PARKING REQUIREMENTS**

(A) OFFICE AND EQUIPMENT REPAIR WORKSHOP

OFFICE=400 S.F.  
 EQUIPMENT REPAIR WORKSHOP=2,325 S.F. (NOTE: ONLY 1 EMPLOYEE)

OFFICE PARKING SPACES PER LDC = 3.5 SPACES/1,000 S.F.  
 EQUIPMENT REPAIR WORKSHOP PER LDC = 1 PER EMPLOYEE

REQUIRED PARKING SPACES=(3.5/1000 S.F. X 400 S.F.) + (1/EMPLOYEE X 1 EMPLOYEE)  
 REQUIRED PARKING SPACES=2.4 OR 3 SPACES  
 PARKING SPACES PROVIDED=3 SPACES (2 REGULAR & 1 HANDICAP) O.K.

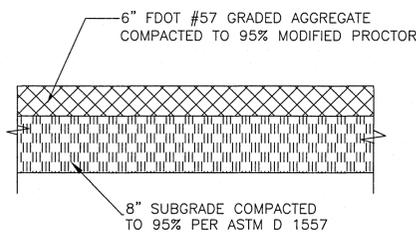
**LOCATION CRITERIA**

A COMPATABILITY ANALYSIS FOR PROJECT WAS PREVIOUSLY SUBMITTED AND APPROVED BY THE COUNTY. A COPY OF THE PREVIOUSLY APPROVED COMPATABILITY ANALYSIS WAS SUBMITTED WITH THE PROJECT DRC SUBMITTAL APPLICATION.

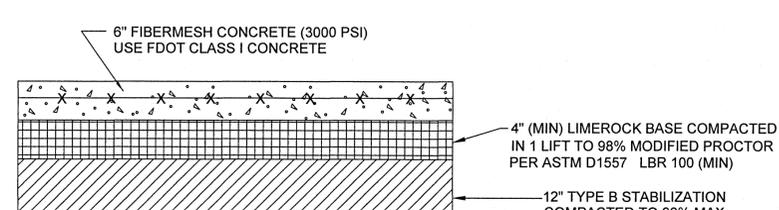
**SITE PLAN NOTES:**

1. NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550.
2. FRONT & REAR BUILDING SETBACK LINE=15'  
SIDE BUILDING SETBACK LINE=10'  
SETBACK LINES ARE SHOWN ON PLAN.
3. ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC. NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.
4. DEVELOPER/CONTRACTOR SHALL OBTAIN A SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS. NO SIGNS ARE PROPOSED FOR THIS PROJECT AT THIS TIME.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY.
7. NO EXTERIOR LIGHTING IS PROPOSED FOR THIS PROJECT.
8. NO DUMPSTER IS PROPOSED FOR THIS PROJECT. SOLID WASTE SHALL BE COLLECTED IN RESIDENTIAL CONTAINERS ISSUED BY SOLID WASTE COLLECTION AND DISPOSAL COMPANY.

SITE PLAN DATA	EXISTING	PROPOSED
BUILDING AREA (S.F.)	0	2,725
IMPERVIOUS PAVED AREA (S.F.)	737	517
GRAVEL AREA (S.F.)	1,723	3,042
POND AREA (S.F.)	0	2,693.7
PERVIOUS AREA (S.F.)	11,189	4,671.3
TOTAL LOT AREA (S.F.)	13,649	13,649



TYPICAL GRAVEL DETAIL  
N.T.S.



TYPICAL DRIVEWAY PAVEMENT SECTION  
N.T.S.

**LEGEND:**

- PROPOSED GRAVEL
- PROPOSED CONCRETE
- BSL BUILDING SETBACK LINE
- SWL SOLID WHITE LINE
- SYL SOLID YELLOW LINE
- DYL DOUBLE YELLOW LINE
- SWSL SOLID WHITE SKIP LINE
- R35 RADIUS IN FEET
- EXISTING FENCE
- PROPOSED 6' WOOD OR CHANN LINK FENCE
- PROPERTY BOUNDARY

NO.	REVISIONS	BY	DATE

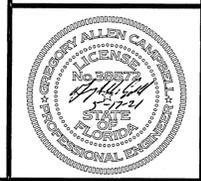
ENVIRONMENTAL ENGINEERING SERVICES  
 FIRM REGISTRATION #: RY6515  
 2120 MARIA CIRCLE  
 PENSACOLA, FLORIDA 32514  
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 GREGORY ALLEN CAMPBELL, P.E.  
 FL PE LICENSE #: 38572

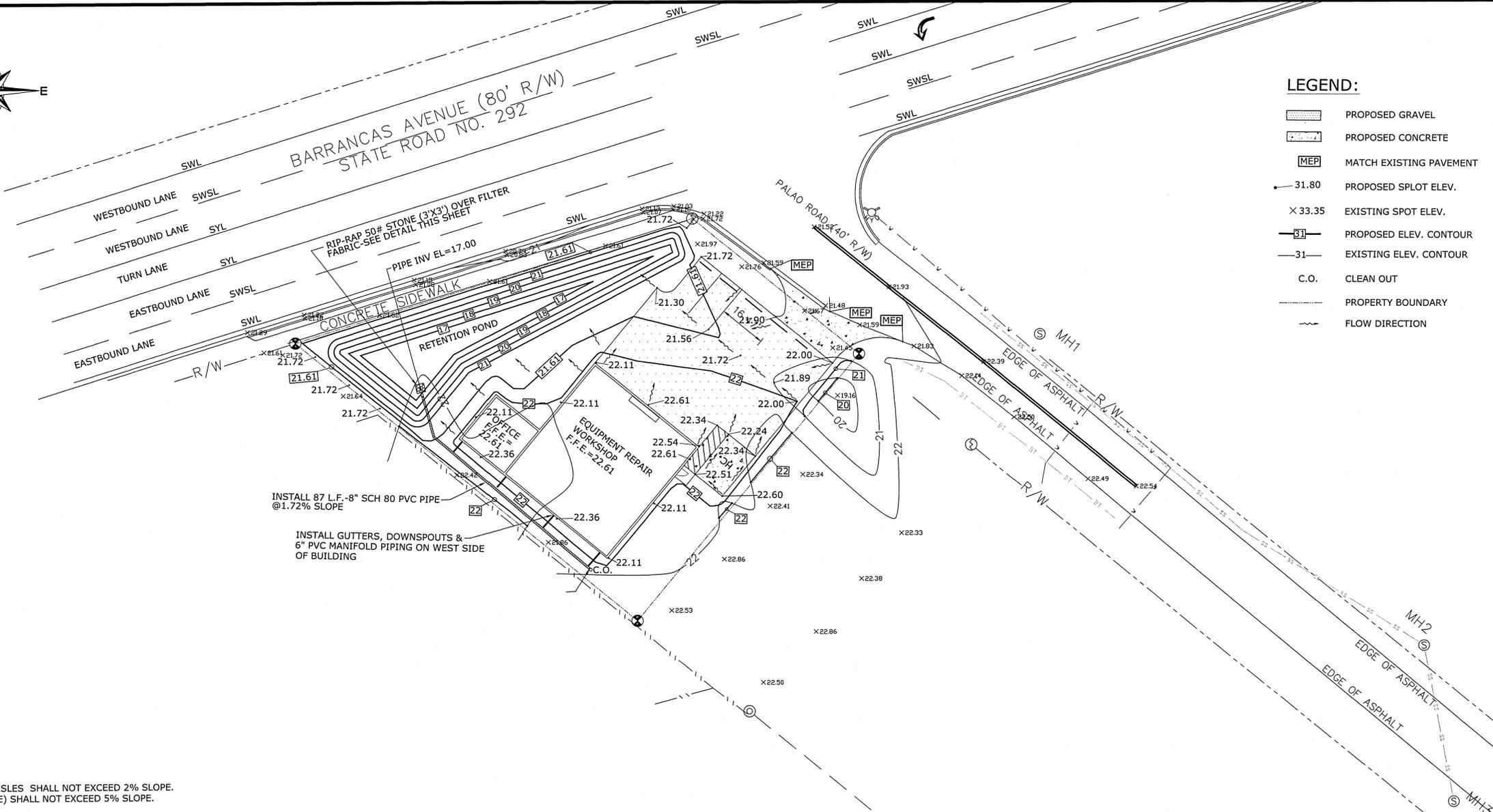
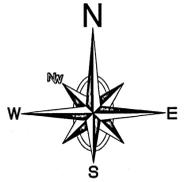
PROJECT TITLE:  
 SUPER FOODS OFFICE AND EQUIPMENT REPAIR WORKSHOP

3405 BARRANCAS AVENUE  
 PENSACOLA, FLORIDA  
 ESCAMBIA COUNTY

SHEET TITLE:  
**SITE PLAN**

DATE: 04-02-21  
 SCALE: 1"=20'  
 SHEET NUMBER:  
**C3**  
 SHEET 4 OF 8





- LEGEND:**
- PROPOSED GRAVEL
  - PROPOSED CONCRETE
  - MATCH EXISTING PAVEMENT
  - 31.80 PROPOSED SPLOT ELEV.
  - X 33.35 EXISTING SPOT ELEV.
  - 31 PROPOSED ELEV. CONTOUR
  - 31 EXISTING ELEV. CONTOUR
  - C.O. CLEAN OUT
  - PROPERTY BOUNDARY
  - FLOW DIRECTION

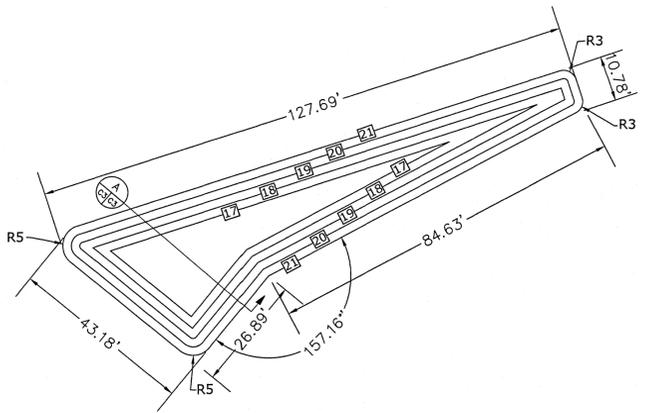
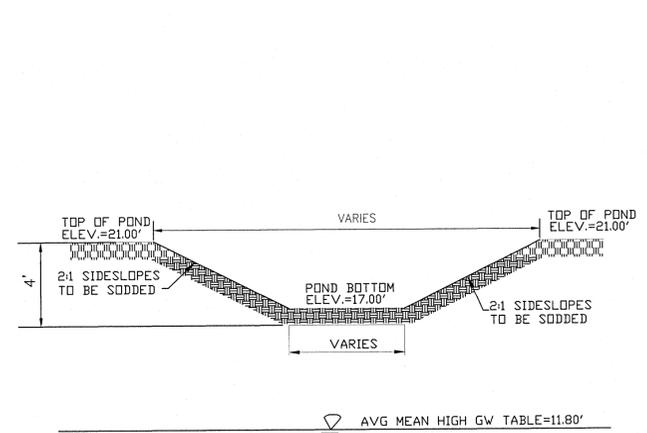
INSTALL 87 L.F.-8" SCH 80 PVC PIPE @1.72% SLOPE

INSTALL GUTTERS, DOWNSPOUTS & 6" PVC MANIFOLD PIPING ON WEST SIDE OF BUILDING

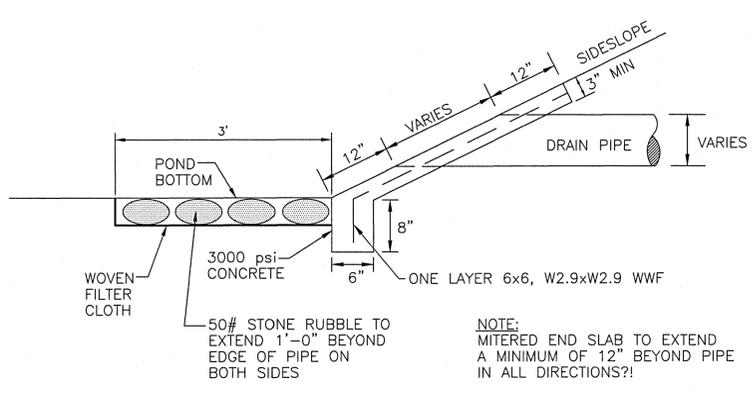
**HANDICAP (HC) SIDEWALK, PARKING AND RAMP NOTES**

1. HC RAMPS SHALL NOT EXCEED 1:12 (0.083%) SLOPE.
2. SIDEWALK CROSS SLOPE, HC LANDINGS, PARKING SPACES/AISLES SHALL NOT EXCEED 2% SLOPE.
3. LONGTUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 5% SLOPE.

SITE PLAN DATA	EXISTING	PROPOSED
BUILDING AREA (S.F.)	0	2,725
IMPERVIOUS PAVED AREA (S.F.)	737	517
GRAVEL AREA (S.F.)	1,723	3,042
PERVIOUS AREA (S.F.)	11,189	7,365
TOTAL LOT AREA (S.F.)	13,649	13,649



**PLAN VIEW-RETENTION POND**  
SCALE: 1"=20'



**MITERED END SECTION**  
N.T.S.

NOTE:  
MITERED END SLAB TO EXTEND 1'-0" BEYOND EDGE OF PIPE ON BOTH SIDES

NO.	REVISIONS	BY	DATE

**ENVIRONMENTAL ENGINEERING SERVICES**  
FIRM REGISTRATION #: RY6515  
2120 MARIA CIRCLE  
PENSACOLA, FLORIDA 32514  
850-982-8606 (OFC)  
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GREGORY ALLEN CAMPBELL, P.E.  
FL PE LICENSE #: 38572

**PROJECT TITLE:**  
SUPER FOODS OFFICE AND EQUIPMENT REPAIR WORKSHOP  
  
3405 BARRANCAS AVENUE  
PENSACOLA, FLORIDA  
ESCAMBIA COUNTY

**SHEET TITLE:**  
**GRADING PLAN**

DATE: 04-02-21  
SCALE: 1"=20'  
SHEET NUMBER:  
**C4**  
SHEET 5 OF 8



**RETENTION POND-CROSS SECTION**  
N.T.S.



SANITARY SEWER DATA				
MANHOLE NO.	NORTHING	EASTING	TOP ELEV.	INVERT
MH1	517505.05	1100423.17	21.82	16.48
MH2	517396.33	1100555.75	22.23	15.63
MH3	517341.87	1100565.99	21.43	13.47
MH4	517156.43	1100790.60	18.10	10.86

STATE PLANE COORDINATES DATUM: NAD83; MAPPING PLANE ZONE: FLORIDA NORTH 0903; LAMBERT PROJECTION

**UTILITY NOTES:**

- The contractor shall obtain a permit from the Road & Bridge Department prior to commencing any work in the County R/W and obtain a FDDT Utility permit prior to commencing any work in FDDT STATE ROAD 95 R/W.
- Contractor is responsible and liable for locating all utilities in right-of-way and shall contact Sunshine utilities within 96 hours in advance prior to digging within right-of-way at 1-800-432-4770. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- All onsite water and sewer facilities shall be privately owned, operated and maintained by developer/owner.
- The contractor shall notify the superintendents of the water, gas, sewer, cable, fiber optics, telephone and power companies 2 days in advance, that he intends to start work in a specific area.
- Contractor shall follow ECUA permitted drawings for installation of gravity sewer laterals.
- Contractor shall cut and patch asphalt per detail this sheet when installing sewer lines across Palao Road. Contractor shall either use jack and bore or directional bore when installing water service lines across Palao Road per Escambia County Construction Management Department. Contractor shall ensure one lane is open to traffic when installing the sewer lines across Palao Road by cutting, excavating, backfilling and patching one lane at a time.

**ECUA Engineering Manual Reference Note\***

\*note shall be inserted in the upper right corner of title sheet

\* applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

**A. ECUA Engineering Manual Incorporated by Reference**

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at [www.ecua.fl.gov](http://www.ecua.fl.gov), is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

**B. Additional Documents (to be completed by the Engineer of Record)**

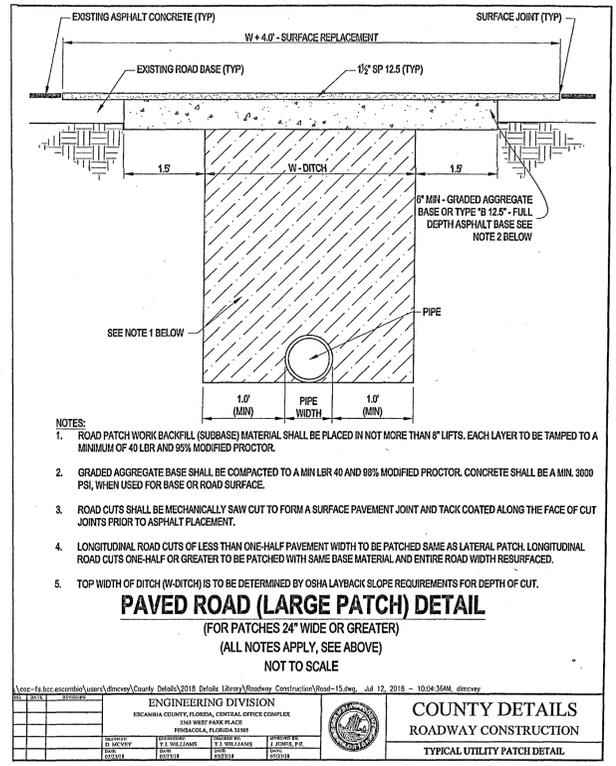
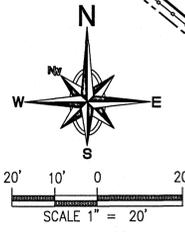
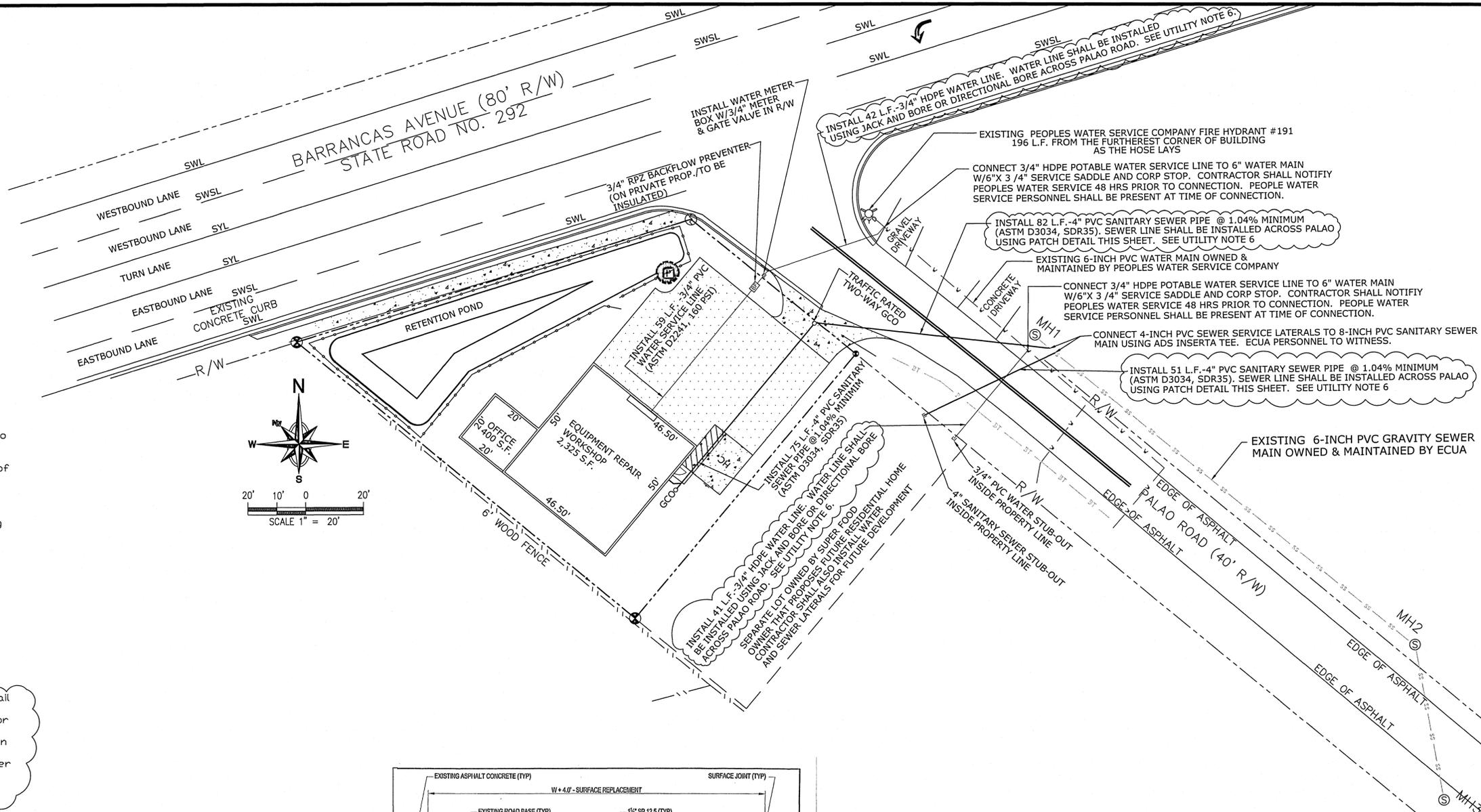
Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above?  YES  NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\*Project Manuals used only with ECUA CIP Projects

**C. Engineer of Record Responsibilities**

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



**LEGEND:**

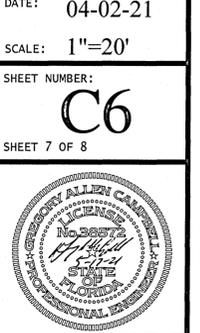
- R/W RIGHT OF WAY
- BENCHMARK
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- DENOTES PROPERTY LINE
- W EXISTING WATER SERVICE LINE
- BFO EXISTING BURIED FIBER OPTIC CABLE LINE
- GAS EXISTING NATURAL GAS SERVICE LINE
- OE EXISTING OVERHEAD ELECTRICAL
- EXISTING UTILITY POLE
- WV EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM WATER INLET
- BFO EXISTING BURIED FIBER OPTIC CABLE MARKER
- BFO EXISTING BURIED FIBER OPTIC CABLE BOX
- BFD EXISTING BACK FLOW PREVENTION DEVICE
- BF PROPOSED BACKFLOW PREVENTER
- M PROPOSED WATER METER

NO.	REVISIONS	BY	DATE
1	ESCAMBIA CO COMMENTS		05-06-21

**PROJECT TITLE:**  
ENVIRONMENTAL ENGINEERING SERVICES  
FIRM REGISTRATION #: RY6515  
2120 MARIA CIRCLE  
PENSACOLA, FLORIDA 32514  
850-982-8606 (OFC)  
850-477-1176 (FAX)  
GREGORY ALLEN CAMPBELL, P.E.  
FL PE LICENSE #: 38572

**SHEET TITLE:**  
UTILITY PLAN

**DATE:** 04-02-21  
**SCALE:** 1"=20'  
**SHEET NUMBER:** C6  
SHEET 7 OF 8



ENGINEERING DIVISION  
ESCAMBIA COUNTY, FLORIDA, CENTRAL OFFICE COMPLEX  
1000 WEST HANCOCK PLACE  
PENSACOLA, FLORIDA 32503

**COUNTY DETAILS**  
ROADWAY CONSTRUCTION  
TYPICAL UTILITY PATCH DETAIL

