

CIVIL CONSTRUCTION PLANS  
FOR  
McDONALD'S - L/C: 009-2672  
McDONALD'S NEW RESTAURANT  
5897 WEST NINE MILE ROAD  
PENSACOLA, ESCAMBIA COUNTY, FLORIDA



OWNER:

McDONALD'S USA, LLC  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
CONTACT: BRIAN SMALLWOOD  
PHONE: (504) 206-6797

CIVIL ENGINEER:

ADAMS ENGINEERING  
8951 CYPRESS WATERS BLVD, SUITE 150  
DALLAS, TX 75019  
CONTACT: MARGARET GRISSOM  
PHONE: (817) 328-3200

SURVEYOR:

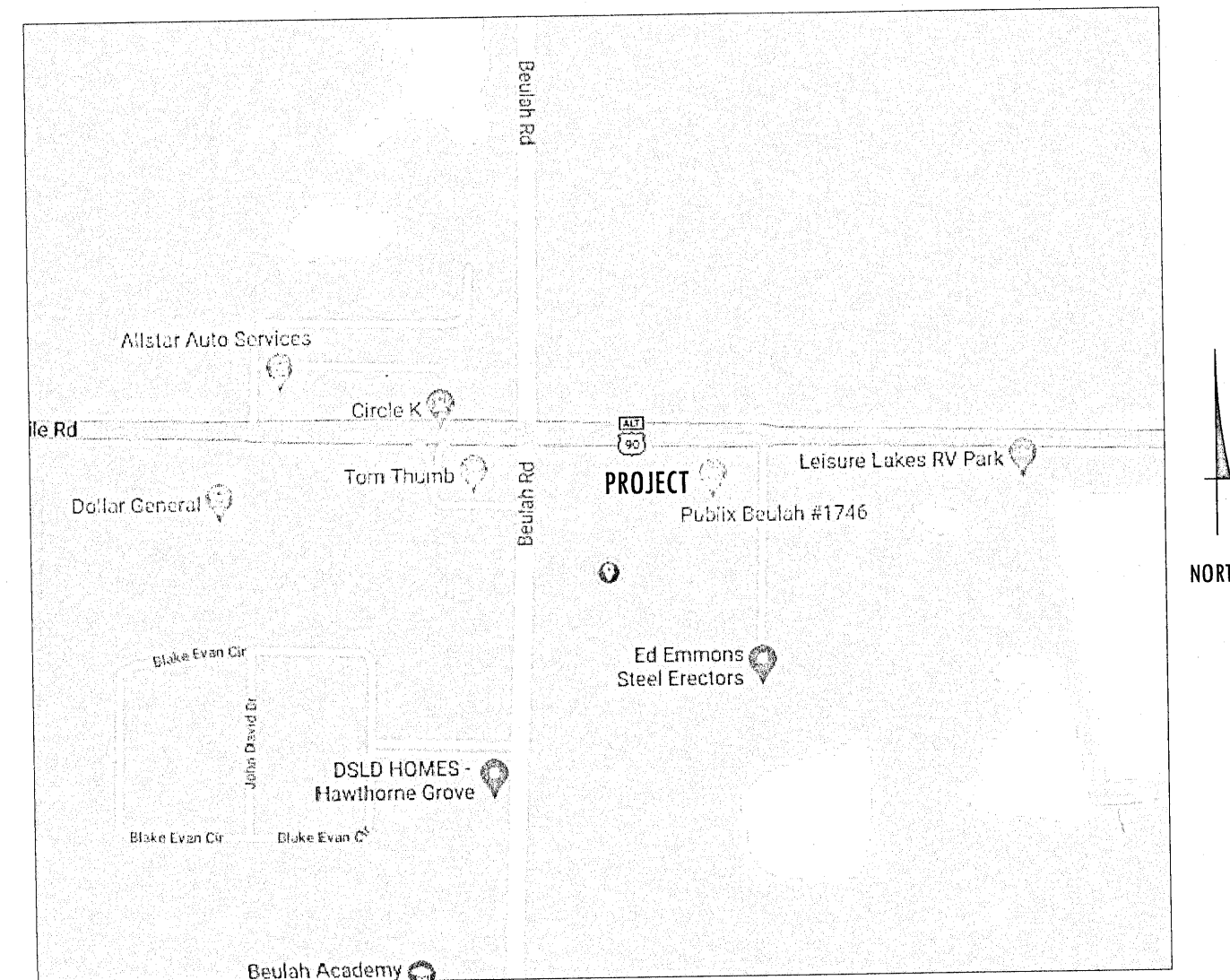
SAWGRASS  
30673 SGT. E. I. "BOOTS" THOMAS DRIVE  
SPANISH FORT, AL 36527  
CONTACT: ERCIL E. GODWIN, PLS  
PHONE: (251) 544-7900

STRUCTURAL ENGINEER:

BEC ENGINEERS & CONSULTANTS, LLC  
3200 WILCREST, SUITE 440  
HOUSTON, TX 77042  
CONTACT: RONALD C. ROCHE, PE  
PHONE: (832) 240-3771

LANDSCAPE ARCHITECT:

WAS DESIGN, INC  
218 NORTH ALSTON STREET  
FOLEY, AL 36535  
CONTACT: CHAD WATKINS  
PHONE: (251) 948-7181



VICINITY MAP

N.T.S.

**\*\* NOTICE TO CONTRACTOR - BIDDING \*\***

All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.

McDONALD'S NEW RESTAURANT  
PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST  
QUARTER OF THE NORTHWEST QUARTER OF SECTION 8  
TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA

Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *J. Hampton* Date: *5-12-21*  
Printed Name: *Jennifer Hampton*  
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

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NOT FOR CONSTRUCTION

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McDONALD'S L/C 009-2672	McDONALD'S USA, LLC
OFFICE NASHVILLE FIELD OFFICE	ADDRESS KROC DRIVE - OAK BROOK, ILLINOIS 60521
REGIONAL MGR.	CONTRACTOR
CONTRACT MGR.	OWNER
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
DATE	
SIGNATURE (2 REQUIRED)	
CO-SIGN SIGNATURES	

DESIGNED	DATE	BY
DRAWN	APR 2021	MEG
CHECKED	APR 2021	MEG
AS-BUILT		MDK
COVER SHEET		
C1.0		



DEMOLITION NOTES

1. Refer to McDonald's Specifications Section 017329.
2. Contractor is responsible for protection of all property corners and pins.
3. Contractor shall remove pavement in accordance with specifications.
4. Contractor is responsible for the repair of any damage to existing improvements during construction, such as, but not limited to: drainage, utilities, pavement, striping, curb, etc. Repairs shall be equal to or better than existing conditions.
5. All work on this plan shall be done in strict accordance with site work specifications.
6. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.
7. Contractor shall be responsible for protecting the public during construction, including but not limited to: construction fencing, barricades, signage, etc.
8. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
9. Contractor shall verify horizontal and vertical location of all existing utilities prior to construction.
10. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.

UTILITY NOTES

1. Refer to McDonald's Specifications Sections 220523, 221116, 221316, 221319, 221413, 221423, 231123, 330513, 331116, and 333100.
2. All electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.
3. Private utility connections shown are schematic only. Contractor shall coordinate with utility companies prior to bid.
4. Adjust to finished grade any access points for existing utilities remaining.
5. It shall be the sign installer's responsibility to ensure the proposed sign location does not interfere with any utilities and complies with all applicable city codes. Sign installer shall also obtain approval from the appropriate entities prior to installing the sign over any existing easements.
6. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
7. ¾" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor.

SITE NOTES

1. Contractor shall refer to architectural building plans for exact location and orientation of exterior doors.
2. Trash enclosure finish to match building. Refer to TE-1 TRASH ENCLOSURE DETAILS for details and foundation design.
3. Location of ID sign is approximate. It is the responsibility of the sign contractor to verify compliance with setback, size/height and related zoning requirements prior to setting.
4. All dimensions shown are to face of curb unless noted otherwise.
5. Due to nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication to any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
6. Bases, conduit, and wiring for all signs are by the General Contractor. General Contractor to coordinate with ACM and sign provider for anchor bolts.

GRADING NOTES

1. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
2. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
3. Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
4. Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. Repairs shall be equal to or better than existing conditions.
5. Proposed spot grades shown are to top of pavement unless otherwise noted.
6. Existing and proposed grade contour intervals shown at one foot (1').
7. All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall grass disturbed areas in accordance with standard specifications and water until a healthy stand of grass is obtained.
8. For location of all utility entrances, see architectural plans and specifications.
9. Contractor shall coordinate with architectural plans, power company, telephone company & gas company for actual routing of power and services to building.
10. Construction shall comply with all governing codes and be constructed to same.
11. The Contractor shall maintain dust control on site at all times by watering site as often as needed.
12. Contractor shall field verify elevations of adjacent properties to McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's project manager.
13. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
14. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
15. Curb elevations shall be 6" above finish pavement unless noted otherwise.
16. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping, and sprinkler system are by the Owner/Operator.

PAVING NOTES

1. Refer to McDonald's Specifications Sections 079200, 321216, 321236, 321313, 321613, 321713, and 321723.
2. Refer to site plan for additional dimension, radii, etc.
3. The paving contractor shall not place permanent pavement until all sleeving for electric, gas, telephone, cable tv, site irrigation, etc. has been installed. It shall be the paving contractor's responsibility to insure that all sleeving is in place prior to placing of permanent pavement. Prior to starting of construction, the contractor shall make certain that all required permits and approvals from city have been obtained.
4. Contractor to refer to building & structural plans for foundation design.
5. Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
6. Sidewalks around the building shall have the same subgrade as building foundation as described in Geotech report provided by TERRACON. (Project No. 86310)
7. McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C., will be charged.

GENERAL NOTES

1. General Contractor must provide exact "as built" information upon completion.
2. It is strongly recommended that no contractual agreement of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
3. Contractor shall contact appropriate jurisdiction agencies prior to construction to confirm if independent testing or inspections will be required as a condition of their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
4. All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdiction standard construction details and specifications. All other materials and construction shall conform to McDonald's Project Manual and Specifications.
5. Topographic information taken from a Topographic Survey performed by SAWGRASS. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer in writing if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer in writing if any errors or discrepancies are found on the construction documents (ps&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from the Contractor's failure to notify the Engineer and Owner.
6. Flood Statement: According to Map No. 12033C027CG, Dated SEPTEMBER 29, 2009, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Adams Engineering.

EROSION CONTROL SEQUENCE

1. Install erosion control wattle around perimeter of property and disturbed areas as shown.
2. Install inlet protection for all existing grate inlets, curb inlets and at the ends of all exposed storm sewer pipes.
3. Construct temporary construction exit.
4. Commence grubbing and removal of vegetation in area to receive cut or fill.
5. Commence grading operation for building pad preparation (see Grading Plan).
6. Install all underground utilities.
7. Finalize pavement subgrade preparation.
8. Install all proposed storm sewer pipes and inlet protection silt fences at ends of exposed pipes.
9. Construct all grate inlets and drainage structures. Inlet protection silt fences may be removed temporarily for this construction.
10. Remove silt fences around inlets and manholes no more than 48 hours prior to placing stabilized base course.
11. Install base material as required for pavement, curb & gutter.
12. Install all paving, curb & gutter.
13. Complete planting and/or seeding of vegetated areas to accomplish stabilization, in accordance with the landscaping plan. Throughout the project and the maintenance period for turfgrass, it is the contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the contractor until establishment and acceptance is achieved.
14. Remove temporary construction exit & erosion control wattle.

NOT FOR CONSTRUCTION

	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

GENERAL  
NOTES

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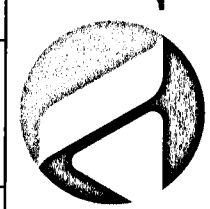


PLAN APPROVALS		OFFICE	NASHVILLE FIELD OFFICE	MCDONALD'S I/C:	009-2872
SIGNATURE (2 REQUIRED)		DATE			
REGIONAL MGR.					
CONST. MGR.					
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR					
OWNER					

**M. McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. These drawings are to be used for the specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

5897 WEST NINE MILE ROAD  
PENSACOLA, FLORIDA

REV	DATE	DESCRIPTION	BY
1	04/15/2021	ISSUE FOR PERMIT	MEG
ADAMS JOB NO.: 2020.037			Certificate Of Authorization: #27814 8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 325-3200
			



TITLE EXCEPTIONS (PARCEL "1"):

SCHEDULE B - SECTION II EXCEPTIONS - PER CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NUMBER 5351733, EFFECTIVE APRIL 4, 2017.

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
- TAXES AND ASSESSMENTS FOR THE YEAR 2017 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
- STANDARD EXCEPTIONS:
  - ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. (ALL IMPROVEMENTS AFFECTING THE PROPERTY ARE SHOWN HEREON)
  - RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
  - ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
  - TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
- ANY CLAIM THAT ANY PORTION OF THE INSURED LAND IS SOVEREIGN LANDS OF THE STATE OF FLORIDA, INCLUDING SUBMERGED, FILLED OR ARTIFICIALLY EXPOSED LANDS ACCRDED TO SUCH LAND. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)
- ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND. (MAY AFFECT PROPERTY, NOT SURVEY RELATED)

NOTE: EXCEPTION 1 ABOVE SHALL BE DEEMED DELETED AS OF THE TIME THE SETTLEMENT FUNDS OR PROCEEDS OF THE LOAN TO BE SECURED BY THE INSURED MORTGAGE, AS APPLICABLE, ARE DISBURSED BY THE COMPANY OR ITS AUTHORIZED AGENT. NEITHER THE COMPANY NOR ITS AGENT SHALL, HOWEVER, BE UNDER ANY DUTY TO DISBURSE ANY SUM EXCEPT UPON A DETERMINATION THAT NO SUCH ADVERSE INTERVENING MATTERS HAVE APPEARED OF RECORD OR OCCURRED.

NOTES ON STANDARD EXCEPTIONS:

ITEM 3A WILL BE DELETED FROM THE POLICY(IES) UPON RECEIPT OF AN ACCURATE SURVEY OF THE LAND ACCEPTABLE TO THE COMPANY. EXCEPTION WILL BE MADE FOR ANY ENCROACHMENT, SETBACK LINE VIOLATION, OVERLAP, BOUNDARY LINE DISPUTE OR OTHER ADVERSE MATTER DISCLOSED BY THE SURVEY.

ITEM 3B, 3C, AND 3D WILL BE DELETED FROM THE POLICY(IES) UPON RECEIPT OF AN AFFIDAVIT ACCEPTABLE TO THE COMPANY, AFFIRMING THAT, EXCEPT AS DISCLOSED THEREIN (I) NO PARTIES IN POSSESSION OF THE LAND EXIST OTHER THAN THE RECORD OWNER(S); (II) NO IMPROVEMENTS HAVE BEEN MADE TO THE LAND WITHIN 90 DAYS PRIOR TO CLOSING WHICH HAVE NOT BEEN PAID FOR IN FULL; AND (III) NO UNPAID TAXES OR ASSESSMENTS ARE AGAINST THE LAND WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS. EXCEPTION WILL BE MADE FOR MATTERS DISCLOSED IN THE AFFIDAVIT.

- EASEMENTS, AND THE TERMS, CONDITIONS, COVENANTS, RESTRICTIONS AND PROVISIONS OF AGREEMENT REGARDING EASEMENT, COVENANTS AND RESTRICTIONS, RECORDED IN OFFICIAL RECORDS BOOK 8220, PAGE 46. (AFFECTS PROPERTY, SEE GENERAL SURVEYOR'S NOTE #8)
- TERMS, CONDITIONS, AND PROVISIONS OF JOINT USE AGREEMENT FOR CONNECTIONS, RECORDED IN OFFICIAL RECORDS BOOK 8220, PAGE 90. (AFFECTS PROPERTY, SEE GENERAL SURVEYOR'S NOTE #9)
- TERMS, CONDITIONS, AND PROVISIONS AND RESTRICTIONS AS TO USE OF PROPERTY AS CONTAINED IN THAT CERTAIN LEASE, AS EVIDENCED BY MEMORANDUM OF LEASE, RECORDED IN OFFICIAL RECORDS BOOK 8220, PAGE 131. (AFFECTS PROPERTY, NOT SURVEY RELATED) - CONTAINS THE LEASE BETWEEN NINE MILE DEVELOPMENT, LLC (LANDLORD) AND PUBLIC SUPER MARKETS, INC.(TENANT) OF THE SHOPPING CENTER TRACT AS SHOWN ON THE SITE PLAN ATTACHED TO OFFICIAL RECORDS BOOK 8220, PAGE 131)
- SUBJECT TO AN UNDIVIDED  $\frac{3}{4}$  INTEREST IN PHOSPHATE, MINERALS AND METALS AND AN UNDIVIDED  $\frac{1}{2}$  INTEREST IN PETROLEUM FOR DEED RECORDED IN DEED BOOK 171, PAGE 251, PURSUANT TO FLORIDA STATUTE 270.11. (AFFECTS PROPERTY, NOT SURVEY RELATED)

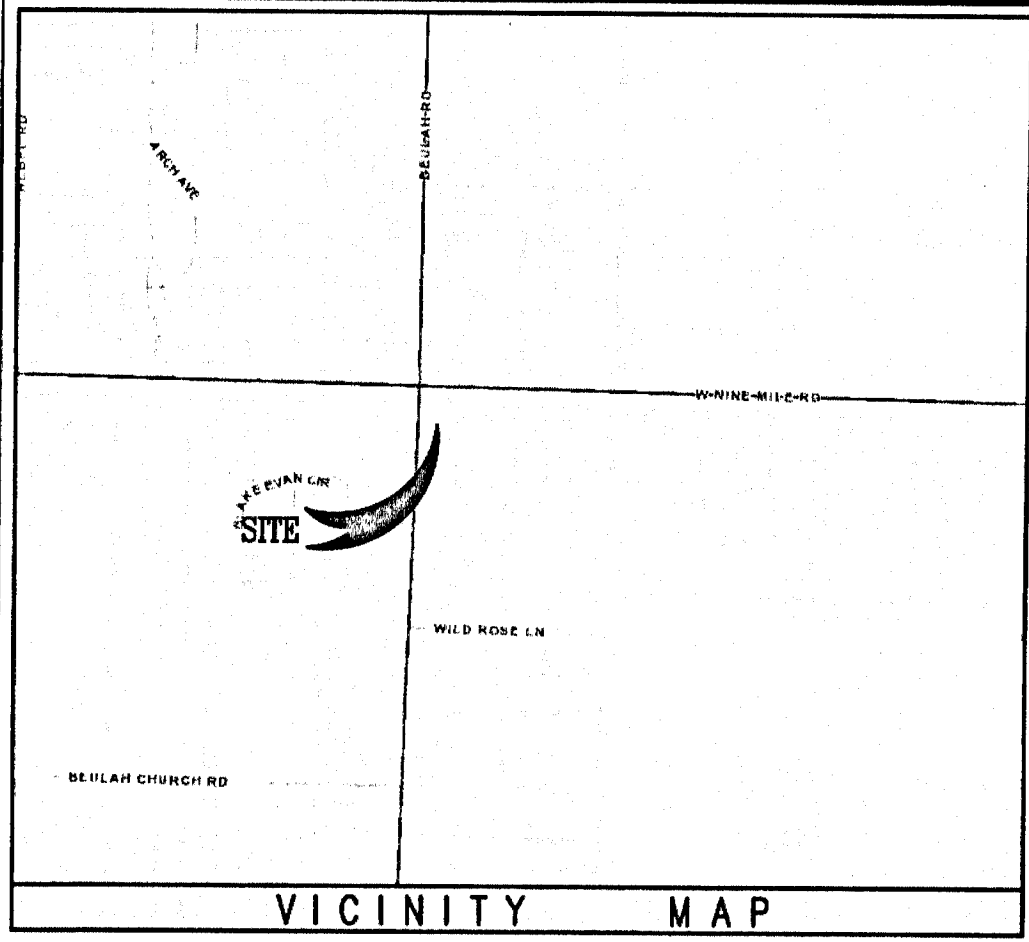
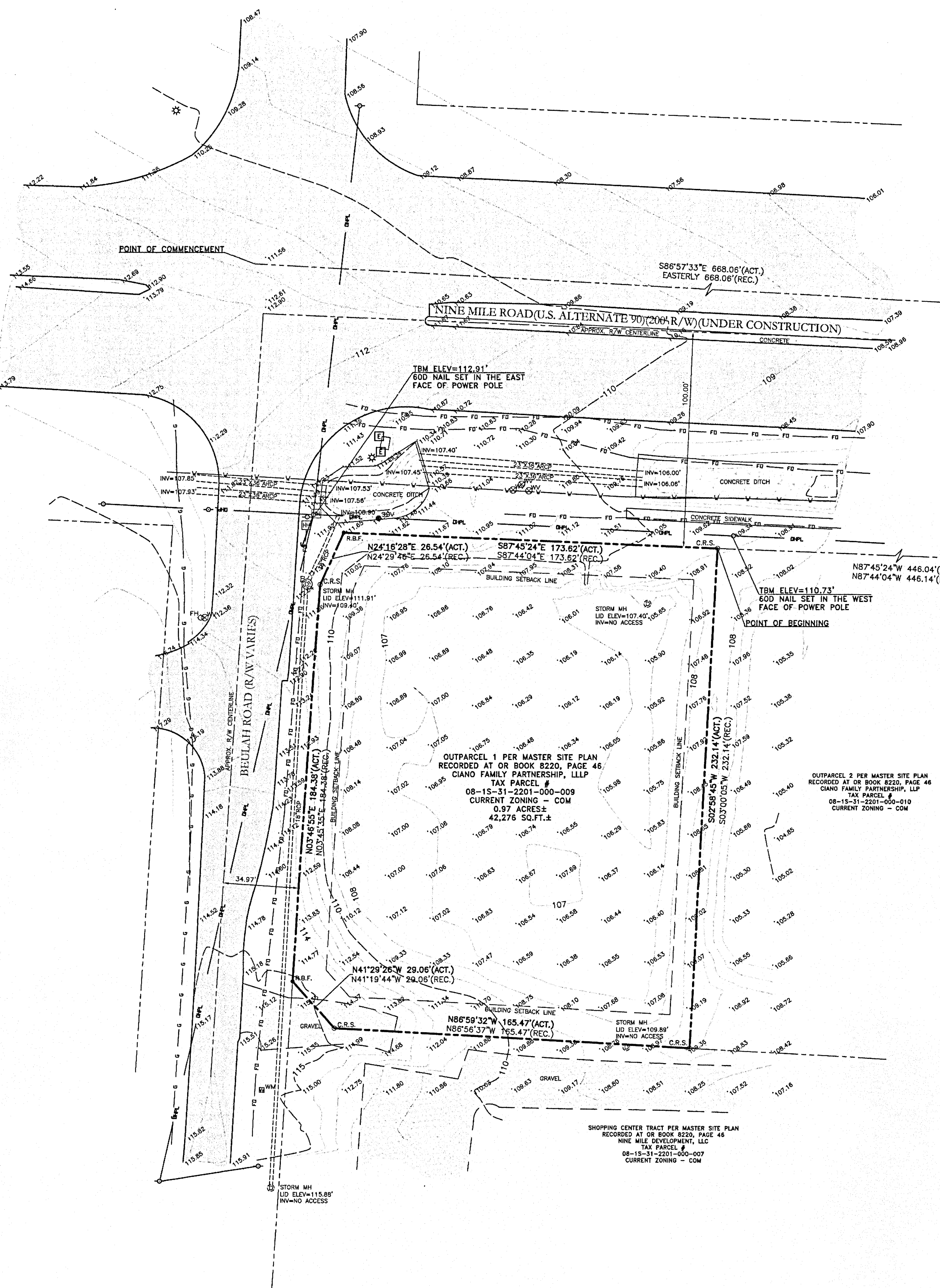
NOTE: IN ACCORDANCE WITH FLORIDA STATUTES SECTION 627.4131, PLEASE BE ADVISED THAT THE INSURED HEREUNDER MAY PRESENT INQUIRIES, OBTAIN INFORMATION ABOUT COVERAGE, OR RECEIVE ASSISTANCE IN RESOLVING COMPLAINTS, BY CONTACTING CHICAGO TITLE INSURANCE COMPANY, 121 S. PALAFOX STREET, SUITE C, PENSACOLA, FL 32502; TELEPHONE 850-434-2000.

GENERAL SURVEYOR'S NOTES:

- SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PREVIOUS SURVEYS BY THIS FIRM, SURVEYS BY OTHER FIRMS AND INFORMATION FURNISHED BY CLIENT. TITLE OPINION OR ABSTRACT WAS PERFORMED BY THIS FIRM. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT TIME OF SURVEY.
- ALL BEARINGS ARE BASED ON THE GRID NORTH AS DETERMINED BY RTK GPS AND REFERENCED TO NAD83, FLORIDA NORTH STATE PLANE COORDINATES.
- FIELD WORK FOR THIS SURVEY WAS PERFORMED JUNE, 2020.
- PROPERTY IS CURRENTLY ZONED COMMERCIAL (COM) WHICH CARRIES THE FOLLOWING RESTRICTIONS:  
YARD REQUIREMENTS: FRONT AND REAR - 15 FEET  
SIDES - 10 FEET  
CORNER LOTS - WILL HAVE ONE FRONT SETBACK AND ONE SIDE SETBACK  
MAXIMUM BUILDING HEIGHT LIMIT: 150 FEET ABOVE ADJACENT GRADE  
FLOOR AREA RATIO: A MAXIMUM FLOOR AREA RATIO OF 1.0  
PARKING REQUIREMENTS: 1 PER 2.5 SEATS (INCLUDING OUTDOOR) OR 10 PER 1000 SQ. FT. (PER ESCAMBIA COUNTY DESIGN STANDARDS MANUAL ARTICLE 3, SEC 3-1.2)
- THERE WAS OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. ALSO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- SUBDIVISION OR RE-PLAT IS NOT NECESSARY IN ORDER TO CONVEY THE SURVEYED PROPERTY.
- REGARDING EXCEPTION #6 OF COMMITMENT #8387085, SURVEY MATTERS INCLUDE ALLOWING THE PASSAGE, BUT NOT PARKING, OF VEHICLES AND/OR PEDESTRIANS ACROSS THE COMMON AREAS OF OUTPARCEL 1, ALSO, A NON-EXCLUSIVE PERPETUAL EASEMENT TO DISCHARGE SURFACE STORM DRAINAGE AND/OR RUNOFF FROM THE SHOPPING CENTER TRACT OVER, UPON AND THROUGH THAT PORTION OF THE STORM DRAINAGE SYSTEM THAT MAY BE LOCATED ON OUTPARCEL 1, AND/OR OTHERWISE OVER, UPON AND ACROSS THE COMMON AREAS OF OUTPARCEL 1 AND INTO PUBLIC WATER COLLECTION, RETENTION AND DISTRIBUTION FACILITIES THAT MAY BE LOCATED OUTSIDE OF THE SHOPPING CENTER AND OR INTO THE DETENTION POND.(COMMON AREAS AND EXACT STORM WATER EASEMENTS LOCATIONS COULD NOT BE DETERMINED FROM THE SITE PLAN ATTACHED TO OFFICIAL RECORDS BOOK 8220, PAGE 46)
- REGARDING EXCEPTION #7 OF COMMITMENT #8387085, DEVELOPER AND OUTPARCEL 1 OWNER AGREE TO JOINTLY SHARE THE INTERNAL ACCESS DRIVEWAYS TO BE CONSTRUCTED BY DEVELOPER WITHIN THE SHOPPING CENTER TRACT, FOR ACCESS TO AND FROM EACH PARTY'S RESPECTIVE PROPERTY AND U.S. HIGHWAY 90/STATE ROAD 10 (A.K.A. WEST NINE MILE ROAD) AND BEULAH ROAD, NO ACCESS POINTS SHALL BE MADE ALONG U.S. HIGHWAY 90/STATE ROAD 10 (A.K.A. WEST NINE MILE ROAD) AND BEULAH ROAD INTO OUTPARCEL 1 WITHOUT THE PRIOR WRITTEN CONSENT OF DEVELOPER AND THE FLORIDA DEPARTMENT OF TRANSPORTATION.
- I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION MAP, COMMUNITY PANEL NO. 12033C02706, EFFECTIVE SEPTEMBER 29, 2006, AND HAVE FOUND THAT THE DESCRIBED PROPERTY IS LOCATED IN ZONE "X"(UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- THERE WERE NO WETLAND DELINEATION FLAGS PRESENT AT TIME OF SURVEY.

LEGEND

- C.R.F. CAPPED REBAR FOUND
- R.B.F. REBAR FOUND
- 1/2" CAPPED REBAR SET
- POWER POLE
- ELECTRIC METER
- OVERHEAD ELECTRIC
- LIGHT POLE
- GUY WIRE
- SSV SANITARY SEWER VALVE
- FIRE HAND HOLE
- FIH FIBER HYDRANT
- WM WATER METER
- WV WATER VALVE
- W UNDERGROUND WATER LINE
- G UNDERGROUND GAS LINE
- FO UNDERGROUND FIBER LINE



GRAPHIC SCALE  
1 inch = 30 ft

DESCRIPTIONS PER TITLE COMMITMENT #8387085:

PARCEL 1:  
LESSEE'S INTEREST IN THAT CERTAIN LEASE BY AND BETWEEN CIANO FAMILY PARTNERSHIP, LLP, A FLORIDA LIMITED LIABILITY LIMITED PARTNERSHIP, AND McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED AS MEMORIALIZED BY THAT CERTAIN MEMORANDUM OF LEASE DATED \_\_\_\_\_, RECORDED \_\_\_\_\_ IN OFFICIAL RECORDS BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, DEMISING THE FOLLOWING DESCRIBED LAND:

OUTPARCEL 1:  
THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 8; THENCE EASTERLY ALONG THE NORTH LINE OF SAID SECTION 8 A DISTANCE OF 668.08 FEET TO THE NORTHWEST CORNER OF THE EAST 860.00 FEET OF SAID NORTHWEST QUARTER AS DESCRIBED IN OFFICIAL RECORDS BOOK 326, PAGE 220 OF THE PUBLIC RECORDS OF SAID ESCAMBIA COUNTY; THENCE SOUTHERLY ALONG THE WEST LINE THEREOF, A DISTANCE OF 113.64 FEET TO A FOUND CAPPED IRON PIN (FL4400L5) ON THE SOUTHERLY RIGHT OF WAY LINE OF NINE MILE ROAD (U.S. ALTERNATE 90) (200 FOOT RIGHT OF WAY); THENCE ALONG THE SAID SOUTHERLY RIGHT OF WAY LINE OF NINE MILE ROAD NORTH 87°44'04\"/>

PARCEL 2:  
TOGETHER WITH AND SUBJECT TO: NON-EXCLUSIVE EASEMENTS FOR THE PASSAGE OF VEHICLES AND PEDESTRIANS AND UTILITY PURPOSED AS SET FORTH AND CREATED BY THAT CERTAIN AGREEMENT REGARDING EASEMENT, COVENANTS AND RESTRICTIONS BY AND BETWEEN NINE MILE DEVELOPMENT, LLC, AN ALABAMA LIMITED LIABILITY COMPANY AND CIANO FAMILY PARTNERSHIP, LLP, A FLORIDA LIMITED LIABILITY LIMITED PARTNERSHIP, AS RECORDED IN OFFICIAL RECORDS BOOK 8220, PAGE 46 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

"BEING THE SAME AS"

FIELD DESCRIPTION

COMMENCING AT THE NORTHWEST CORNER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE RUN S-66°57'33\"/>

I CERTIFY TO CHICAGO TITLE INSURANCE COMPANY, McDONALD'S USA, LLC A DELAWARE LIMITED LIABILITY COMPANY, McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION AND McDONALD'S CORPORATION, A DELAWARE CORPORATION THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE ON THE GROUND UNDER MY SUPERVISION IN JUNE, 2020; THAT IT IS CORRECT AND COMPLIES WITH THE REQUIREMENTS PROVIDED BY McDONALD'S CORPORATION; THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2015 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,5,6(a),6(b),7(a),7(b),7(c),8,9,11,13,14,16,17,18,19 AND 20 OF TABLE A THEREOF. FIELDWORK FOR THIS SURVEY WAS COMPLETED IN JUNE, 2020.

I FURTHER CERTIFY THAT THE "FIELD DESCRIPTION" DESCRIBED HEREON IS INTENDED TO DESCRIBE THAT SAME PARCEL AS DESCRIBED IN THE TITLE COMMITMENT REFERENCED HEREON.

PER THE FLORIDA STANDARDS OF PRACTICE FOR LAND SURVEYING:

I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWINGS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

ERIC E. GODWIN, PLS  
FLORIDA LICENSE NUMBER 6528

05/04/21  
DATE

NUMBER:	REVISION:	DATE:
1	REVISED TAX PARCEL #	05/04/21



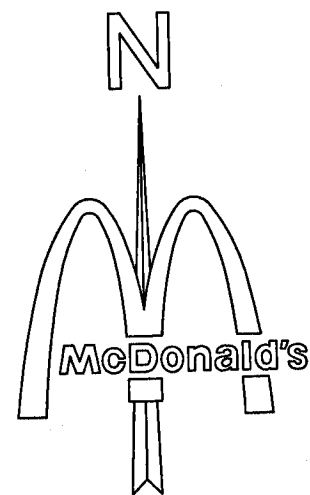
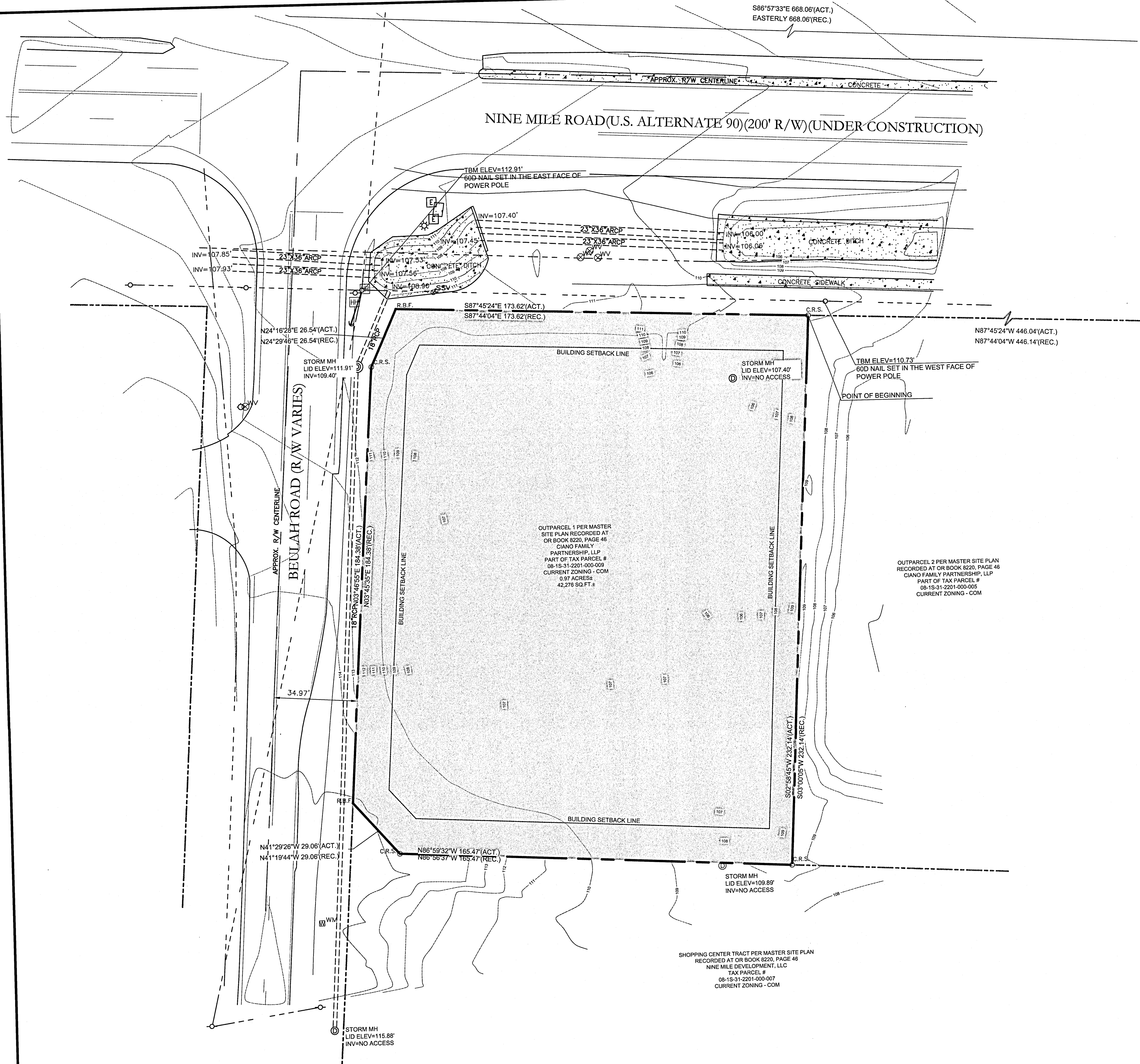
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900  
202 Government Street, Suite 225, Mobile, AL 36602

ALT/NSPS LAND TITLE SURVEY
8684 BEULAH RD. PENSACOLA, FL
ADAMS ENGINEERING

SCALE:	1"=30'
DATE:	JULY 22, 2020
DRAWN BY:	QM
CHECKED BY:	EG
SHEET:	1 OF 1





SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW &  
APPROVAL BY JURISDICTIONAL ENTITIES.

## DEVELOPER INFORMATION

**MCDONALD'S USA, LLC  
NASHVILLE FIELD OFFICE  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
P: (504) 206-6797  
CONTACT: BRIAN SMALLWOOD**

### LEGEND

AREA OF REMOVAL (PAVEMENT,  
BUILDINGS, UNDERGROUND UTILITIES,  
CURBS, SIGNS, LIGHT POLES, LIGHT  
FIXTURES, ETC. UNLESS OTHERWISE  
NOTED).

----- SAWCUT LINE

## UTILITY CONTACTS

**ECUA ATER**  
CONTACT: RON CURRIER  
PHONE: (850) 969-6645

**ECUA-SANITARY SEWER**  
CONTACT: RON CURRIER  
PHONE: (850) 969-6645

**CITY OF PENSACOLA-GAS**  
CONTACT: DIANE MOORE  
PHONE: (850) 474-5319

**NEXTERA ENERGY-ELECTRIC**  
CONTACT: JORDAN SEVERSON  
PHONE: (941) 524-4980

AT&T-TELEPHONE/FIBER  
CONTACT: BRAD SAUERS  
PHONE: (850) 436-1495




Know what's below.  
Call before you dig.

**!!!CAUTION!!!**

EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY.  
VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES  
BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.

REV	DATE	DESCRIPTION	BY
0000	04/15/2021	ISSUE FOR PERMIT	MEG
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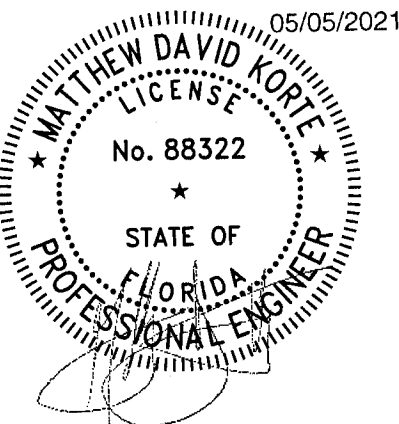


# Adams

ADAMS JOB NO.:  
2020.037

Certificate of Authorization: #27614

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	<b>MCDONALD'S LLC</b> 098-2672	
PLAN APPROVALS		
	OFFICE <b>NASHVILLE FIELD OFFICE</b>	KROC DRIVE - OAK BROOK, ILLINOIS 60521
	ADDRESS	
	<b>M<sup>c</sup>. McDonald's USA, LLC</b>	
	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not valid for construction purposes other than those specifically stated herein. Any reproduction of these drawings requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.	
CO-SIGN SIGNATURES		
	CONTRACTOR	5897 WEST NINE MILE ROAD PENSACOLA, FLORIDA
	OWNER	

	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

## DEMO PLAN

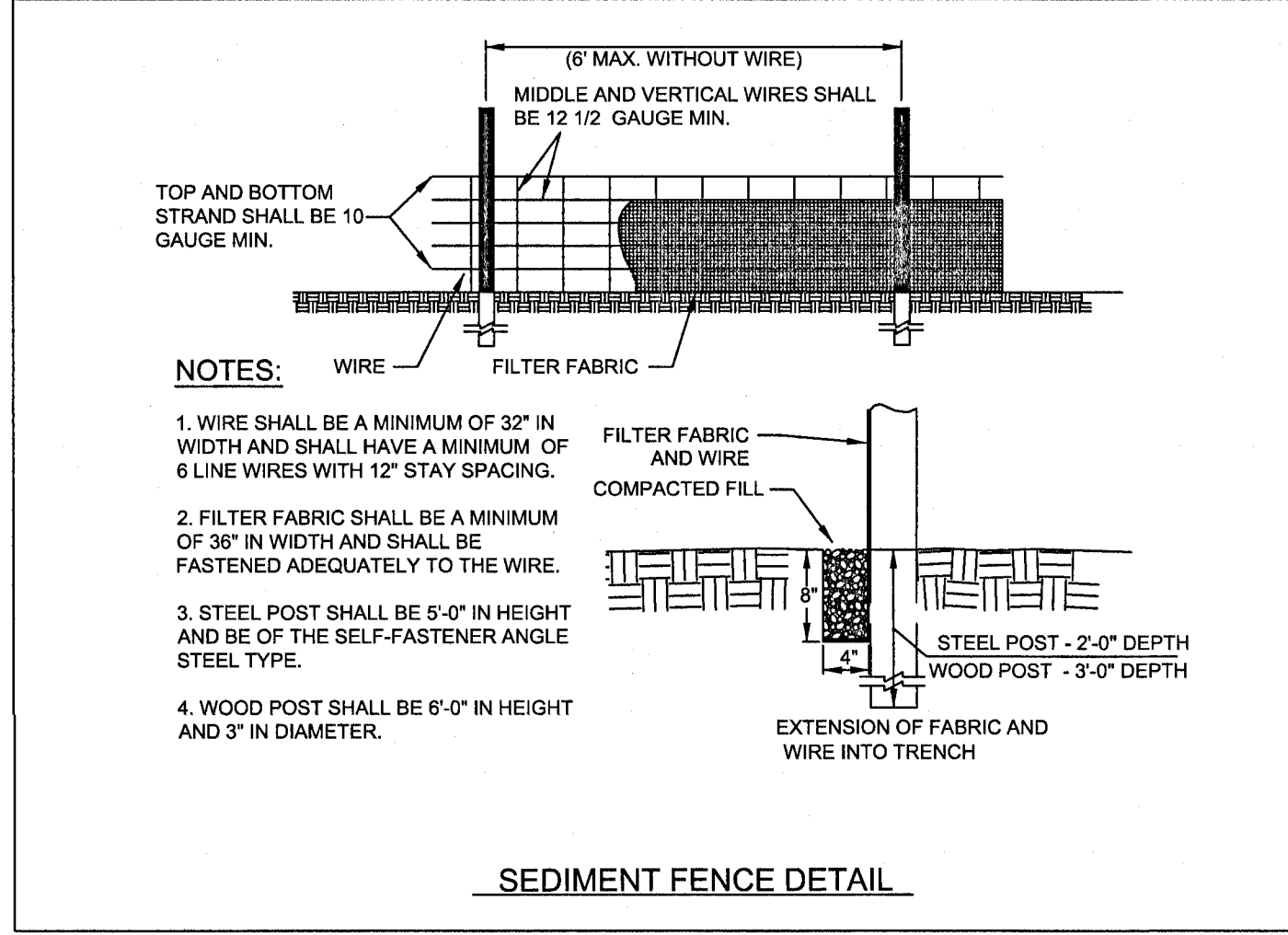
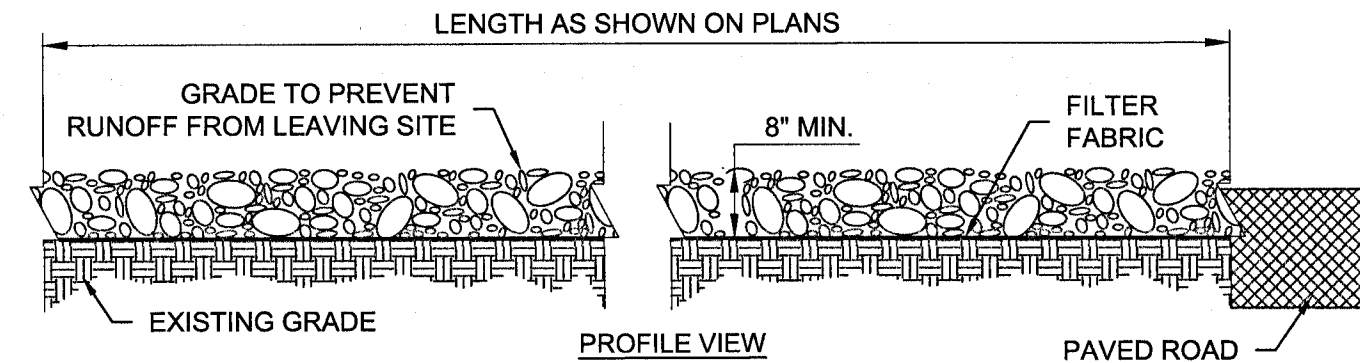
# C2.0







1. STONE SHALL BE 5 TO 10 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 8 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN FLASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE. SEDIMENT FLOWING FROM BOTH THE STREET AND THE STABILIZED ENTRANCE, AND SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

<p>EROSION CONTROL DETAILS</p>
<p>C3.1</p>

BY		
MEG		
MEG	COUNTY	
ADAMS JOB NO.: 2020.037		
Certificate Of Authorization: #27614		



FULL PATH: C:\Users\jason\OneDrive\Documents\1014545500\1014545500 SITE PLAN

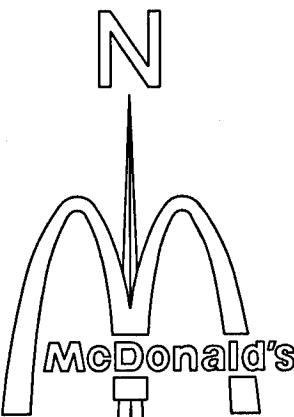
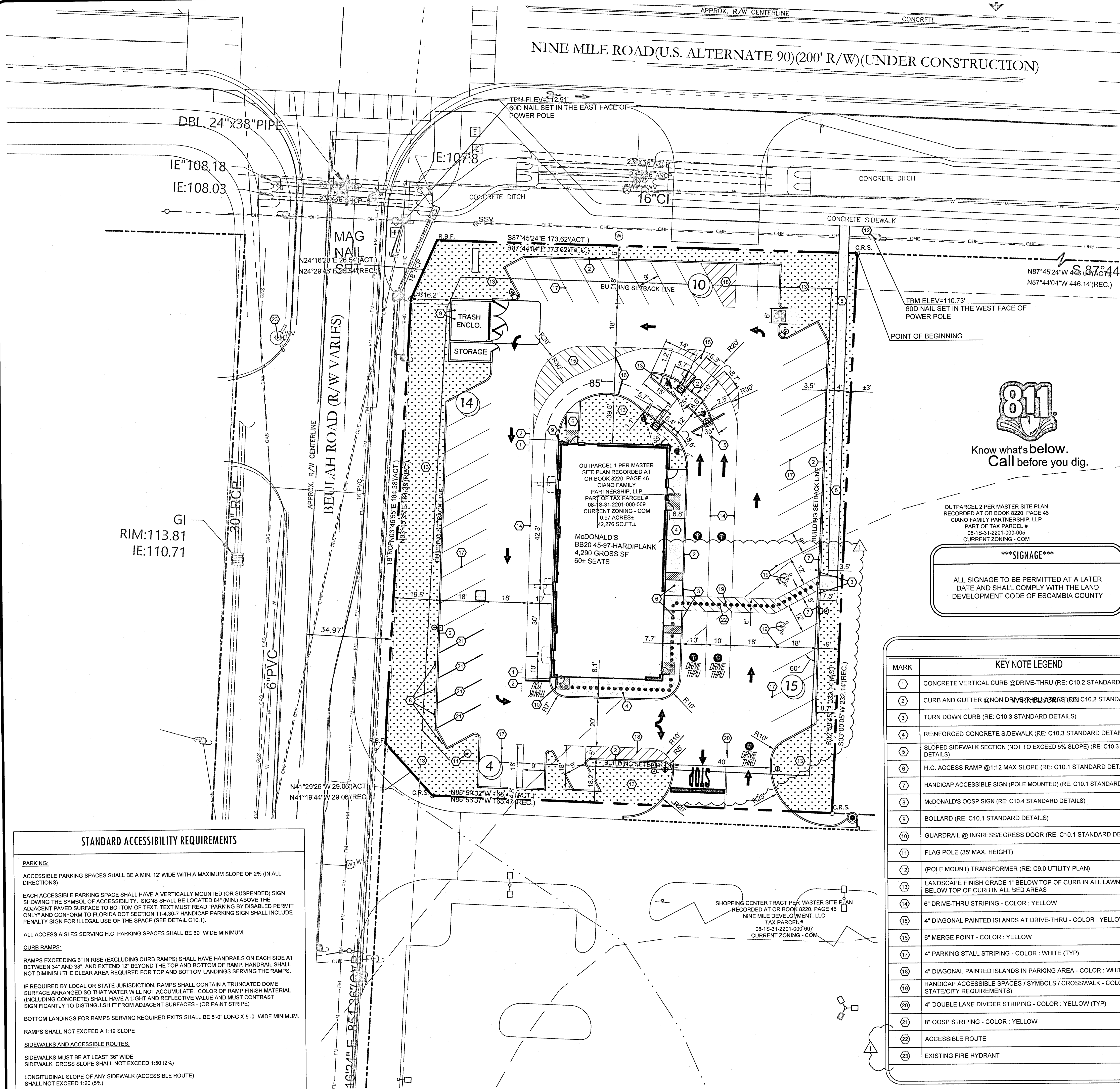
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PLOT TIME: 10:40:01 AM

PLOT DATE: Wednesday, May 05, 2021

PLOTTER BY: Cadac Water

FILENAME: C:\0 SITE PLAN.dwg



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

#### DEVELOPER INFORMATION

MCDONALD'S USA, LLC  
NASHVILLE FIELD OFFICE  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
P: (604) 206-6797  
CONTACT: BRIAN SMALLWOOD

#### HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH ALTRUA GLOBAL SOLUTIONS. CONTACT: KRISTY FIALLO - PH# 1-800-443-6939

#### LEGEND

LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)  
MONUMENT ROAD SIGN  
MCDONALD'S DIGITAL MENU BOARD  
MCDONALD'S ORDER HERE CANOPY  
MCDONALD'S DIGITAL PRE-BROWSE BOARD  
MCDONALD'S DOUBLE GATEWAY  
MCDONALD'S DIRECTIONAL SIGN  
DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) (RE: C10.0 STANDARD DETAILS)  
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW  
"THANK YOU" AT END OF PATH - COLOR : YELLOW  
"CIRCLE / ARROW" - COLOR : YELLOW  
ARROW PATH DIRECTION - COLOR : WHITE  
STRAIGHT DRIVE-THRU "ARROW MARKING" - COLOR : YELLOW

#### SITE INFORMATION

LAND AREA: 42,276 SF (0.97 AC)  
CURRENT ZONING: COMMERCIAL (COM)  
FUTURE LAND USE: MU-S  
EXISTING USE: UNDEVELOPED CLEAR PAD  
PROPOSED USE: RESTAURANT WITH DRIVE-THRU  
BUILDING AREA (APPROXIMATE): 4,290 SF  
BUILDING LOT COVERAGE: 4,290 SF/42,276 SF = 10%  
PARKING REQUIRED: 1 PER 2.5 SEATS OR 1 SPACE PER 100 SF  
PARKING PROVIDED: 43  
HANDICAP PARKING REQUIRED: 2  
HANDICAP PARKING PROVIDED: 2  
EXISTING IMPERVIOUS AREA: 0 SF  
PROPOSED IMPERVIOUS AREA: 29,593 SF  
PROPOSED LANDSCAPE PERCENTAGE: 28%  
ADJACENT PROPERTY PARCEL #: 08-1S-31-2201-000-005  
CURRENT ZONING: COMMERCIAL (COM)  
FUTURE LAND USE: MU-S  
EXISTING USE: UNDEVELOPED CLEAR PAD  
ADJACENT PROPERTY PARCEL #: 08-1S-31-2201-000-007  
CURRENT ZONING: COMMERCIAL (COM)  
FUTURE LAND USE: MU-S  
EXISTING USE: UNDEVELOPED CLEAR PAD

#### STANDARD ACCESSIBILITY REQUIREMENTS

**PARKING:**  
ACCESSIBLE PARKING SPACES SHALL BE A MIN. 12' WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)  
EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 84" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT. TEXT MUST READ "PARKING BY DISABLED PERMIT ONLY" AND CONFORM TO FLORIDA DOT SECTION 11-4.30-7 HANDICAP PARKING SIGN SHALL INCLUDE PENALTY SIGN FOR ILLEGAL USE OF THE SPACE (SEE DETAIL C10.1)  
ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.  
**CURB RAMPS:**  
RAMPS EXCEEDING 8" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.  
IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)  
BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.  
RAMPS SHALL NOT EXCEED A 1:12 SLOPE  
**SIDEWALKS AND ACCESSIBLE ROUTES:**  
SIDEWALKS MUST BE AT LEAST 36" WIDE  
SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)  
LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)



Know what's below.  
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#### \*\*\*SIGNAGE\*\*\*

ALL SIGNAGE TO BE PERMITTED AT A LATER DATE AND SHALL COMPLY WITH THE LAND DEVELOPMENT CODE OF ESCAMBIA COUNTY

MARK	KEY NOTE LEGEND
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
6	H.C. ACCESS RAMP @ 1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
8	MCDONALD'S OOSP SIGN (RE: C10.4 STANDARD DETAILS)
9	BOLLARD (RE: C10.1 STANDARD DETAILS)
10	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
11	FLAG POLE (38' MAX. HEIGHT)
12	(POLE MOUNT) TRANSFORMER (RE: C9.0 UTILITY PLAN)
13	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
14	6" DRIVE-THRU STRIPING - COLOR : YELLOW
15	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
16	6" MERGE POINT - COLOR : YELLOW
17	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
18	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR : WHITE
19	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
20	4" DOUBLE LANE DIVIDER STRIPING - COLOR : YELLOW (TYP)
21	8" OOSP STRIPING - COLOR : YELLOW
22	ACCESSIBLE ROUTE
23	EXISTING FIRE HYDRANT

REV	DATE	DESCRIPTION
1	01/22/2021	ISSUE TO MCDONALD'S FOR BRAND & LEGAL REVIEW
2	04/15/2021	ISSUE FOR PERMIT
3	05/04/2021	REVISED PER ESCAMBIA COUNTY

ADAMS JOB NO.: 2020.037  
Certificate Of Authorization: #27614  
8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 328-3200



MCDONALD'S UIC: 005-2672	OFFICE: NASHVILLE FIELD OFFICE	ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521
McDonald's USA, LLC		
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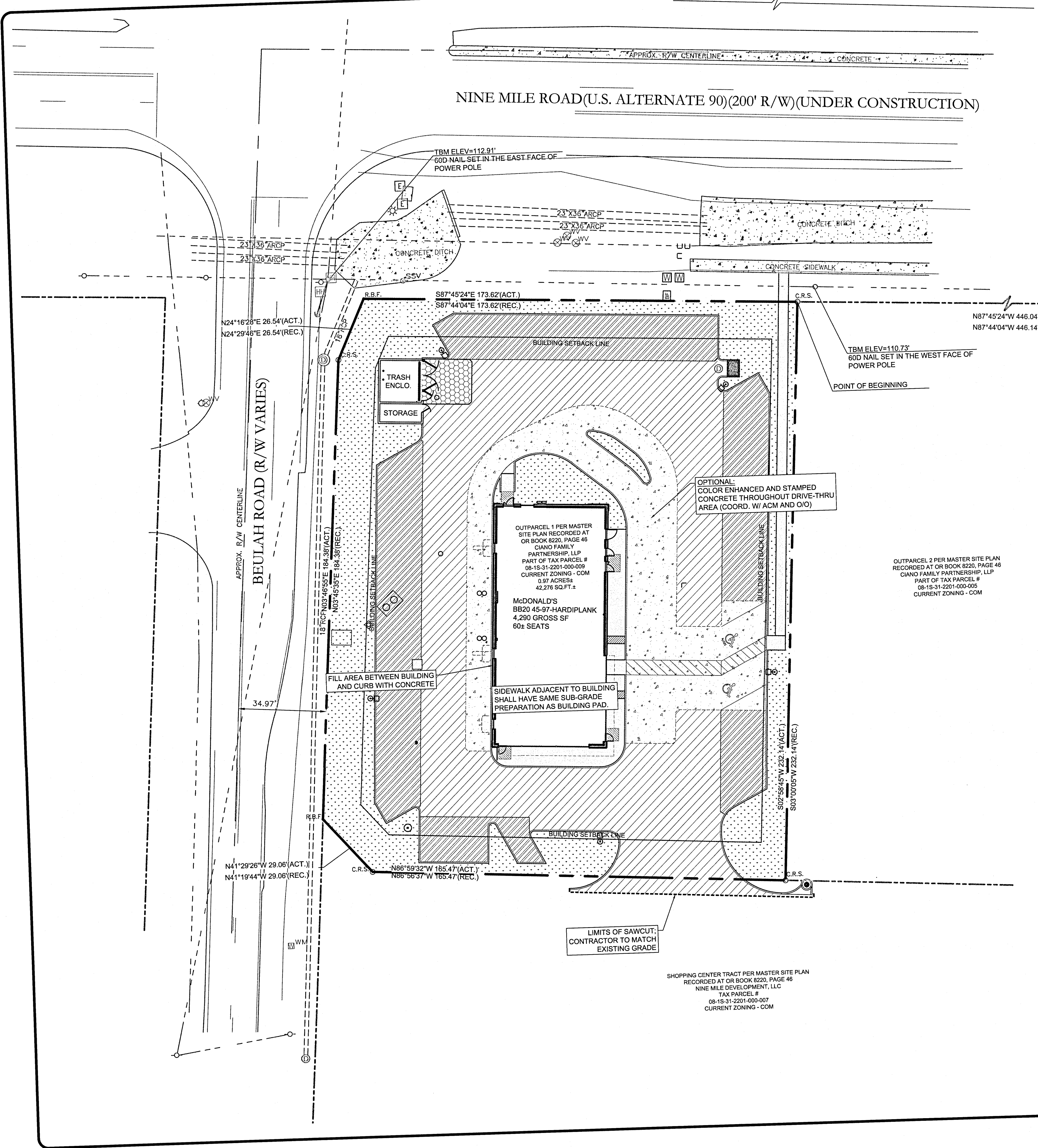
PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		
SITE PLAN		
C4.0		



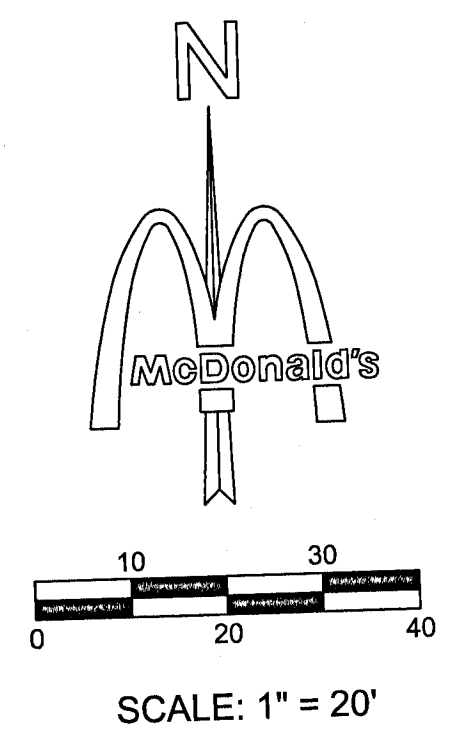






**\*\*NOTE TO CONTRACTOR - CONSTRUCTION PAVING\*\***

CONTRACTOR SHALL PLACE IRRIGATION, ELECTRICAL AND OTHER SLEEVES PRIOR TO ANY PAVING. SLEEVES SHALL BE INSTALLED PER RESPECTIVE (MEP/IRRIGATION/FRANCHISE/ETC) PLANS, AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. DURING PAVING INSTALLATION, CURBS TO BE SCORED AND OR MARKED AS SPECIFIED TO IDENTIFY THE SLEEVE LOCATION.



THESE PLANS ARE SUBJECT TO REVIEW &  
APPROVAL BY JURISDICTIONAL ENTITIES.

**DEVELOPER INFORMATION**

MCDONALD'S USA, LLC  
NASHVILLE FIELD OFFICE  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
P: (504) 206-6797  
CONTACT: BRIAN SMALLWOOD

LEGEND	
	REINFORCED CONCRETE SIDEWALK. MINIMUM 6" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3,500 PSI 28-DAY STRENGTH
	HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU. *
	LIGHT DUTY REINFORCED CONCRETE OR ASPHALT *
	REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 6" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4,000 PSI 28-DAY STRENGTH
	LANDSCAPE AREA
	SAWCUT LINE
	2.5" IRRIGATION SLEEVES

<b>PAVING SPECIFICATION</b>	<b>VERIFY W/ MC DONALD'S:</b>	<b>ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/></b>
	<b>CONTRACTOR TO VERIFY:</b>	<b>ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/></b>

<b>ASPHALT PAVEMENT RECOMMENDATIONS - BASE BID</b>				
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY		
ASPHALT SURFACE COURSE	2"	X"	X"	X"
COARSE AGGREGATE BASE	6"	X"	X"	X"
STABILIZED SUBBASE (FOOT SPEC SEC 180)	12"	OR	X"	OR
				X"

<b>CONCRETE PAVEMENT RECOMMENDATIONS - ALTERNATE BID</b>		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	X"	5"
LIME ROCK OR GRADED AGGREGATE BASE	X"	12"

**PAVEMENT NOTES:**

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON, DATED FEBRUARY 10, 2021. (88310)
2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROTOCOL (ASTM D1557) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST X INCHES BELOW THE SURFACE. SEE SECTION X.X OF GEOTECH REPORT.
3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND McDONALD'S SPECIFICATIONS.
5. WORK SHALL NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD BE EXPOSED THROUGH THE SLOPE OF UNDERGROUND DRAINAGE AN EXIT PATH.
6. REFER TO CIV-0.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
7. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W AND WELDED WIRE MESH, UNLESS OTHERWISE NOTED.
8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

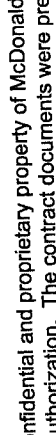


PLAN APPROVALS		OFFICE	NASHVILLE FIELD OFFICE	MCDONALD'S UC: 009-2072
SIGNATURE (2 REQUIRED)		ADDRESS <b>M. McDonald's USA, LLC</b> <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. Use of these drawings for any purpose other than the specific site in conjunction with its issue date and are not suitable for any other project. The reproduction of these drawings for use on another project is not authorized.</small>		
CO-SIGN SIGNATURES		5897 WEST NINE MILE ROAD PENSACOLA, FLORIDA		
REGIONAL MGR.				
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

DESIGNED	DATE	BY
DRAWN	APR 2021	MEG
CHECKED	JAN 2021	MEG
AS-BUILT	APR 2021	MDK

PAVING PLAN	
C6.0	

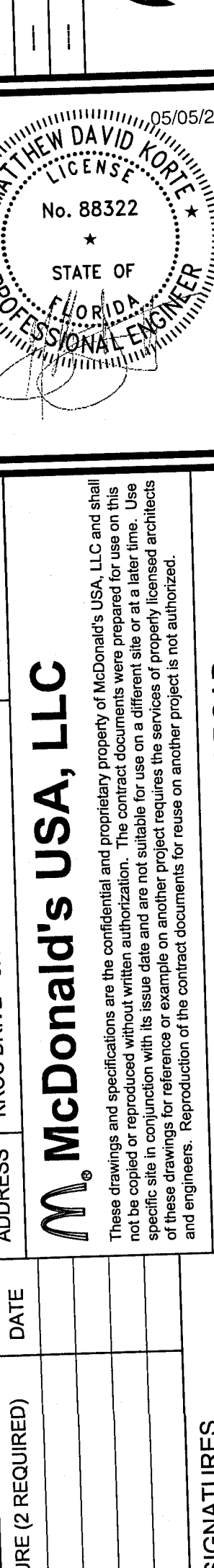
REV	DATE	DESCRIPTION
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**Adams**

ADAMS JOB NO.:  
2020.037

Certificate of Authorization: #2  
8931 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 328-3300



05/05/2021

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	DATE	BY
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DRAWN	APR 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

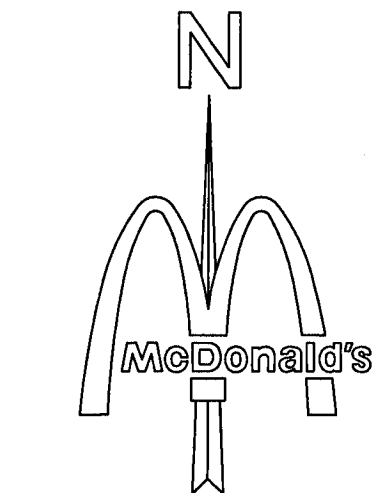
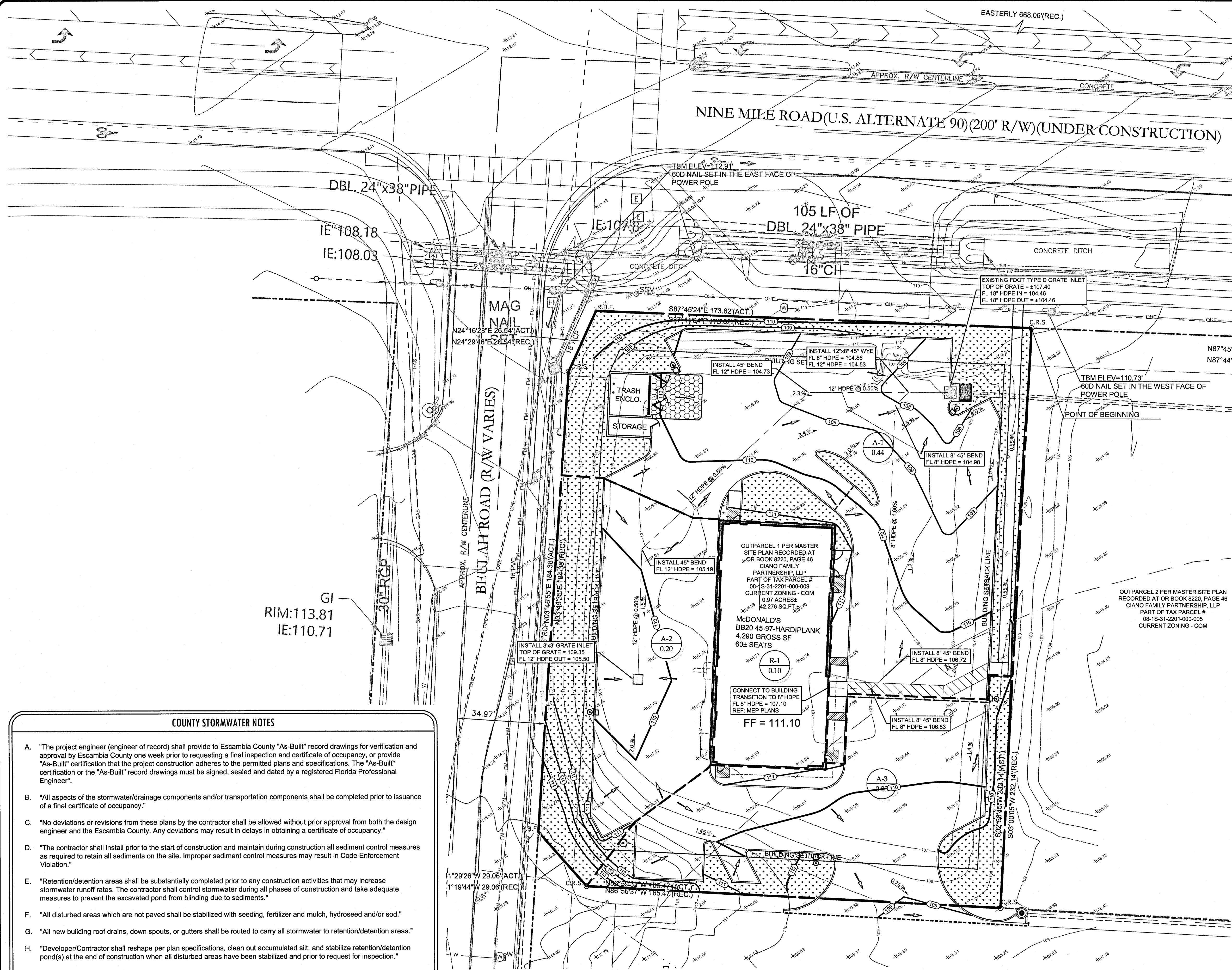
GRADING  
PLAN

C7.0









SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW &amp; APPROVAL BY JURISDICTIONAL ENTITIES.

## DEVELOPER INFORMATION

MCDONALD'S USA, LLC  
NASHVILLE FIELD OFFICE  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
P: (604) 206-6797  
CONTACT: BRIAN SMALLWOOD

## LEGEND

- DRAINAGE AREA LINE
- XXX --- EXISTING CONTOUR
- XXX --- PROPOSED CONTOUR
- X --- DRAINAGE AREA NUMBER
- XXX --- DRAINAGE AREA (ACRES)
- > PROPOSED DRAINAGE DIRECTION

Know what's below.  
Call before you dig.

## COUNTY STORMWATER NOTES

- "The project engineer (engineer of record) shall provide to Escambia County "As-Built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "As-Built" certification that the project construction adheres to the permitted plans and specifications. The "As-Built" certification or the "As-Built" record drawings must be signed, sealed and dated by a registered Florida Professional Engineer."
- "All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy."
- "No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy."
- "The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation."
- "Retention/detention areas shall be substantially completed prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments."
- "All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod."
- "All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to retention/detention areas."
- "Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection."
- "Contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, topo of pond(s), outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection."
- "The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection/approval."
- "Contractor shall obtain Building Inspection Department permit(s) for any retaining wall higher than 2 feet."
- "Notify Sunshine utilities 48 hours in advance prior to digging within R/W; 1-800-432-4770."
- "Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county."
- "The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way."

## POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS

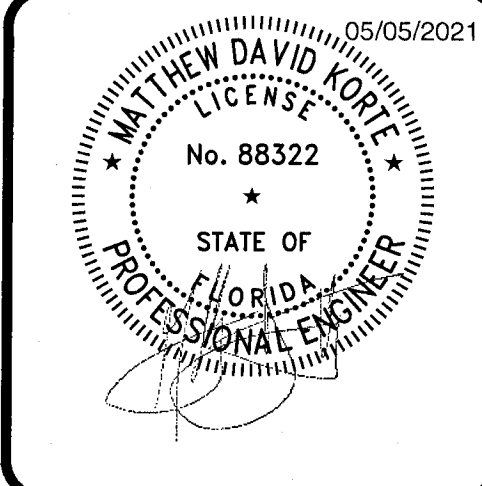
Drainage Area Designation	Drainage Area (ac)	Runoff Coefficient "C"	Time of Concentration (min)	10-Year Rainfall Intensity (I10) (in/hr)	10-Year Peak Discharge (Q10) (cfs)	25-Year Rainfall Intensity (I25) (in/hr)	25-Year Peak Discharge (Q25) (cfs)	50-Year Rainfall Intensity (I50) (in/hr)	50-Year Peak Discharge (Q50) (cfs)	100-Year Rainfall Intensity (I100) (in/hr)	100-Year Peak Discharge (Q100) (cfs)	Comments
A-1	0.44	0.70	10	7.0	2.2	8.1	2.5	8.7	2.7	9.5	2.9	Drains NE to existing FDOT grate inlet
A-2	0.20	0.60	10	7.0	0.8	8.1	1.0	8.7	1.0	9.5	1.1	Drains to onsite grate inlet
A-3	0.23	0.55	10	7.0	0.9	8.1	1.0	8.7	1.1	9.5	1.2	Drains out drive into FDOT curb inlet
R-1	0.10	0.90	10	7.0	0.6	8.1	0.7	8.7	0.8	9.5	0.9	Roof drains to underground system
Total	0.97				4.5		5.2		5.8		6.1	

\*\*RUN-OFF COEFFICIENTS (C) HAVE BEEN WEIGHED TO REFLECT PRE-DEVELOPED IMPERVIOUS/PERVIOUS CONDITIONS. METHOD OF ANALYSIS: MODIFIED RATIONAL  
METHOD SOURCE OF RAINFALL INTENSITIES: FDOT IDF CURVES FOR ZONE 1 ESCAMBIA COUNTY

BY	MEG
DATE	04/15/2021
DESCRIPTION	ISSUE FOR PERMIT
REV	
ADAMS JOB NO.:	2020.037
Certificate Of Authorization: #27614	



8931 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (817) 338-3200



OFFICE	NASHVILLE FIELD OFFICE
ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CONTRACTOR	
OWNER	

M. McDonald's USA, LLC

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5897 WEST NINE MILE ROAD  
PENSACOLA, FLORIDA

DESIGNED	APR 2021	MEG
DRAWN	APR 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

DATE	BY
APR 2021	MEG
APR 2021	MEG
APR 2021	MDK

POST-DEVELOPED DRAINAGE PLAN

C8.1



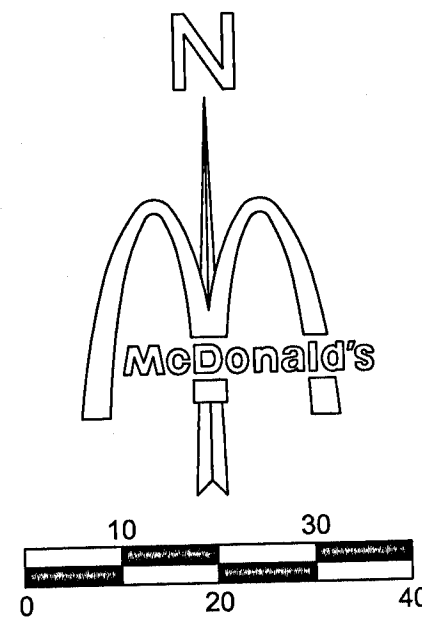
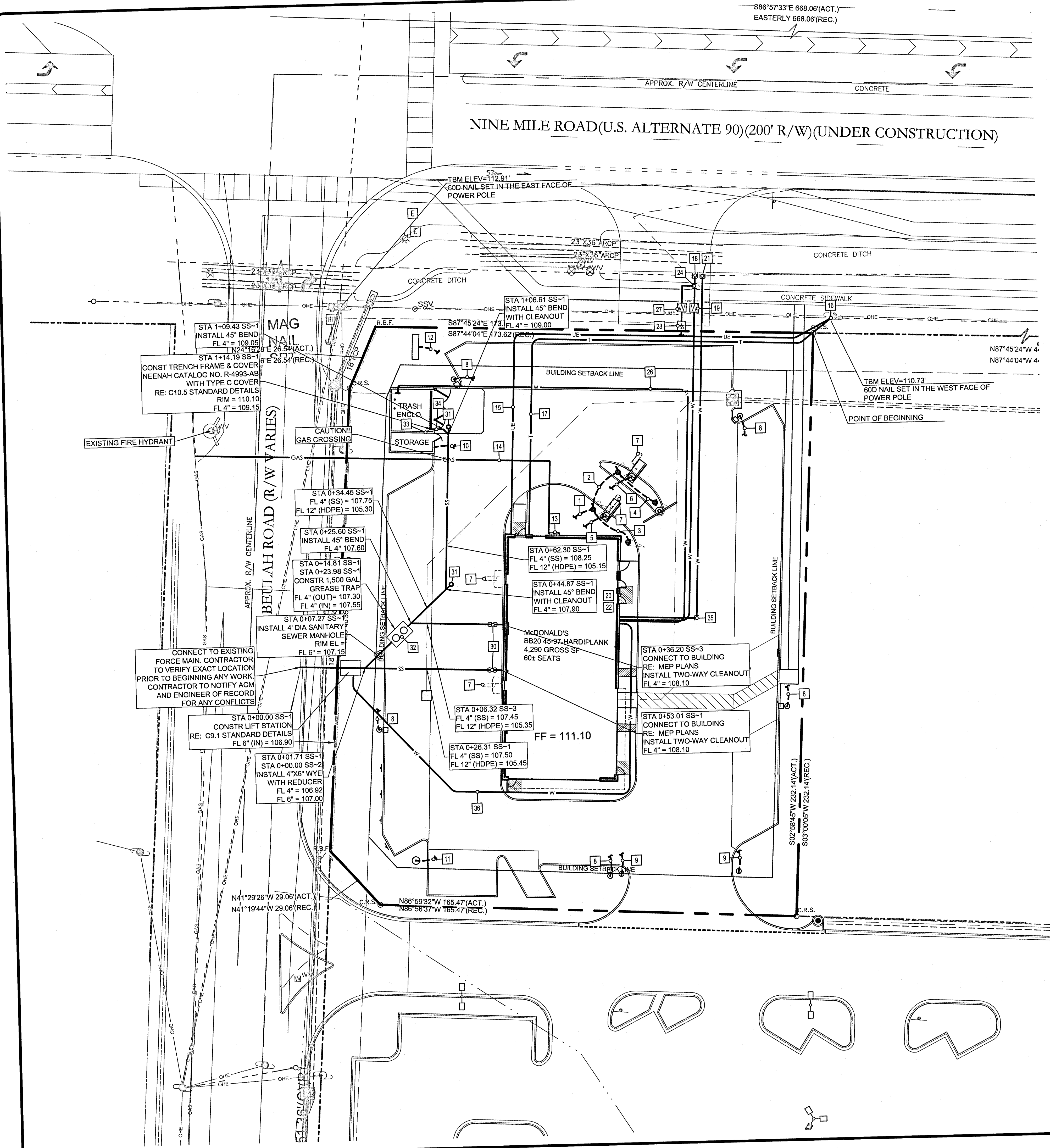
PLOT DATE: 04/19/2021

PLOT TIME: 10:38:38 AM

PLOT DATE: Wednesday, May 05, 2021

PLOT BY: Cade Walker

FRAME: C:\UTILITY PLANS



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

DEVELOPER INFORMATION

MCDONALD'S USA, LLC  
NASHVILLE FIELD OFFICE  
1801 WEST END AVE, SUITE 1000  
NASHVILLE, TN 37203  
P: (615) 206-6797  
CONTACT: BRIAN SMALLWOOD

UTILITY LEGEND

MARK	MARK DESCRIPTION
1	(1) 2" PVC CONDUIT (FOR CAT6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM PANEL CP TO MENU BOARD #1
2	(1) 1-1/4" PVC CONDUIT (FOR CAT6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM MENU BOARD #1 TO MENU BOARD #2
3	(1) 1" PVC CONDUIT (FOR CAT6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM MENU BOARD #1 TO PRE-BROWSE BOARD #1
4	(1) 1" PVC CONDUIT (FOR CAT6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM MENU BOARD #2 TO PRE-BROWSE BOARD #2
5	(2) 1-1/2" PVC CONDUITS (ONE EACH FOR COD1 DATA AND LOOP DETECTOR), AND (1) 1/2" STEEL CONDUIT (FROM PANEL CP AND PANEL LP TO COD1)
6	(2) 1-1/2" PVC CONDUITS (ONE EACH FOR COD2 DATA AND LOOP DETECTOR), AND (1) 1/2" STEEL CONDUIT (FROM PANEL CP AND PANEL LP TO COD2)
7	1-1/2" SLEEVE FOR VEHICLE LOOP DETECTOR
8	1" CONDUIT WITH WIRE TO/FROM SITE LIGHTING
9	3/4" CONDUIT WITH WIRE TO DIRECTIONAL SIGN
10	3/4" CONDUIT WITH WIRE TO TRASH ENCLOSURE / STORAGE BUILDING
11	3/4" CONDUIT WITH WIRE TO FLAG POLE
12	3/4" CONDUIT WITH WIRE TO ROAD SIGN
13	PROPOSED GAS METER (VERIFY USAGE W/ ACM) (GC TO VERIFY LOCATION W/ GAS COMPANY)
14	GAS SERVICE LINE TO BUILDING (VERIFY USAGE W/ ACM) (GC TO VERIFY ROUTE & SIZE W/ GAS COMPANY)
15	UNDERGROUND ELECTRICAL SERVICE TO BUILDING (GC TO VERIFY ROUTE, NUMBER & SIZE OF CONDUITS W/ POWER CO.)
16	PROPOSED POLE MOUNTED TRANSFORMER LOCATION
17	UNDERGROUND TELEPHONE/INTERNET SERVICE TO SITE - (2) 4" CONDUITS (GC TO VERIFY ROUTE, NUMBER & SIZE OF CONDUITS W/ TELE. CO.)
18	INSTALL 16" X 2" TAPPING SLEEVE AND VALVE ASSEMBLY FOR DOMESTIC SERVICE LINE TO BUILDING
19	2" DOMESTIC WATER METER (PER LOCAL CODES)
20	2" DOMESTIC BACKFLOW PREVENTION DEVICE (PER LOCAL CODES)
21	INSTALL 16" X 6" TAPPING SLEEVE AND VALVE ASSEMBLY FOR FIRE LINE TO BUILDING
22	6" FIRE LINE BACKFLOW PREVENTION DEVICE (PER LOCAL CODES) IN VAULT WHEN LOCATED OUTSIDE OF BUILDING
23	INSTALL 8" X 8" TEE WITH 6" VALVE FOR SERVICE TO PROPOSED FIRE HYDRANT
24	INSTALL 1-1/2" X 2" TEE WITH 2" VALVE FOR IRRIGATION SERVICE TO SITE
25	PROPOSED FIRE HYDRANT ASSEMBLY (WITH ISOLATION VALVE) (FH MUST BE WITHIN 100' OF FDC)
26	3/4" WATER SERVICE TO TRASH ENCLOSURE FOR HOSE BIB
27	1-1/2" IRRIGATION METER (PER LOCAL CODES)
28	IRRIGATION BACKFLOW PREVENTION DEVICE (PER LOCAL CODES)
29	CONTRACTOR TO MAINTAIN 2' VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINE CROSSINGS
30	TWO-WAY SANITARY SEWER CLEANOUT WITH CAST IRON COVER (H-20 RATED WHEN IN PAVED AREAS)
31	SINGLE SANITARY SEWER CLEANOUT WITH CAST IRON COVER (H-20 RATED WHEN IN PAVED AREAS)
32	1,500 GALLON GREASE TRAP (PER LOCAL CODES)
33	3" VENT FROM GREASE TRAP
34	P-TRAP AND VENT (PER LOCAL CODES)
35	INSTALL 6" 90° BEND
36	3/4" WATER SERVICE TO LIFT STATION

UTILITY CONTACTS

ECUA-WATER  
CONTACT: RON CURRIER  
PHONE: (850) 969-6645

ECUA-SANITARY SEWER  
CONTACT: RON CURRIER  
PHONE: (850) 969-6645

CITY OF PENSACOLA-GAS  
CONTACT: DIANE MOORE  
PHONE: (850) 474-5319

NEXTERA ENERGY-ELECTRIC  
CONTACT: JORDAN SEVERSON  
PHONE: (941) 524-4980

AT&T-TELEPHONE  
CONTACT: BRAD SAUERS  
PHONE: (850) 436-1495

2" WATER PIPE MATERIAL SPECIFICATIONS

3/4", 1.5", 2" - TYPE "K" COPPER  
6", 8" - C900 DR 18 PVC

ALL WATER LINES MUST BE INSTALLED 48" BELOW FINISH GRADE WITH TRACER WIRE.

WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES WHEN POSSIBLE.

WATER LINES SHALL HAVE 2' VERTICAL CLEARANCE AT SANITARY SEWER CROSSINGS.

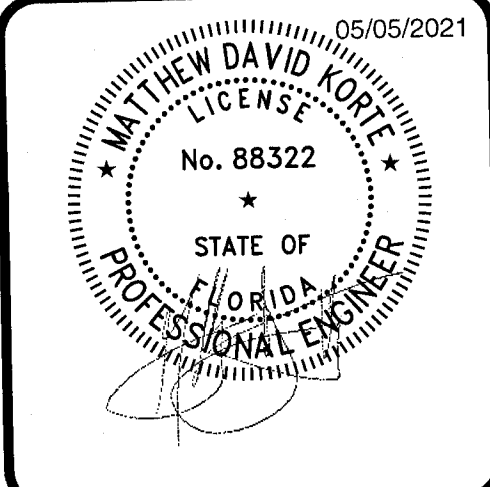
\*\*\* NOTICE TO CONTRACTOR \*\*\*

CONTRACTOR TO COORDINATE WITH ACM PRIOR TO CONSTRUCTION TO VERIFY THE TIE-IN LOCATION OF THE SANITARY SEWER. NOTIFY ENGINEER IN WRITING OF ANY CONFLICTS.



Know what's below.  
Call before you dig.

BY	MEG	DATE	04/19/2021
DESCRIPTION	ISSUE FOR PERMIT		
REV			
ADAMS JOB NO: 2020.037			
Certificate of Authorization: #2741			
Adams			
8951 Cypress Water Blvd., Suite 150 • Dallas, Texas 75019 • (972) 325-3200			



OFFICE	NASHVILLE FIELD OFFICE	ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521
DATE		REGIONAL MGR	
SIGNATURE (2 REQUIRED)		CONST. MGR	
		OPERATIONS DEPT.	
		REAL ESTATE DEPT.	
CO-SIGN SIGNATURES		CONTRACTOR	
		OWNER	

DESIGNED	APR 2021	MEG
DRAWN	APR 2021	MEG
CHECKED	APR 2021	MEG
AS-BUILT		

UTILITY PLAN

C9.0

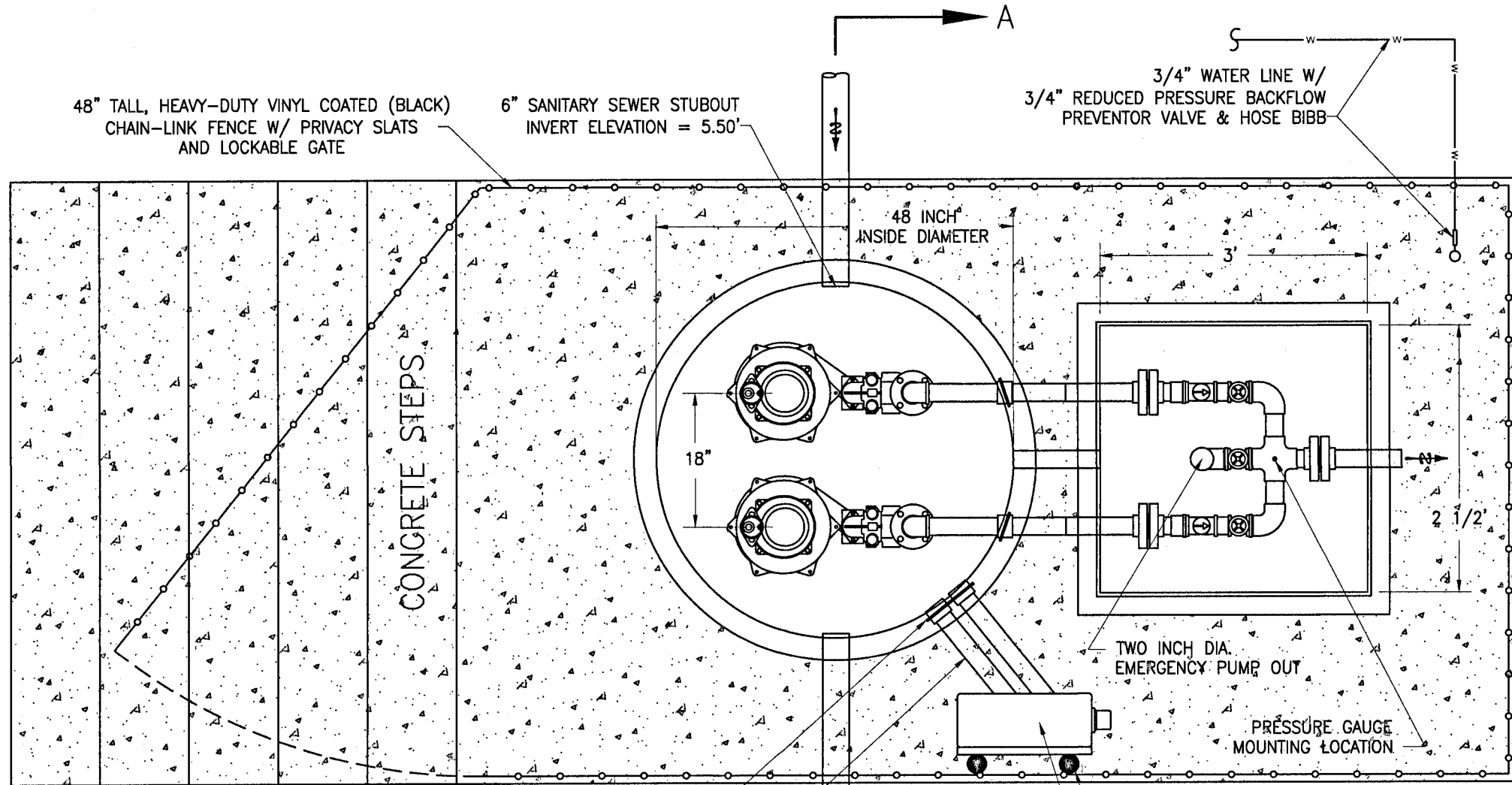
© Copyright 2021, Adams Engineering



LIFT STATION WILL BE  
PRIVATELY OWNED AND  
MAINTAINED

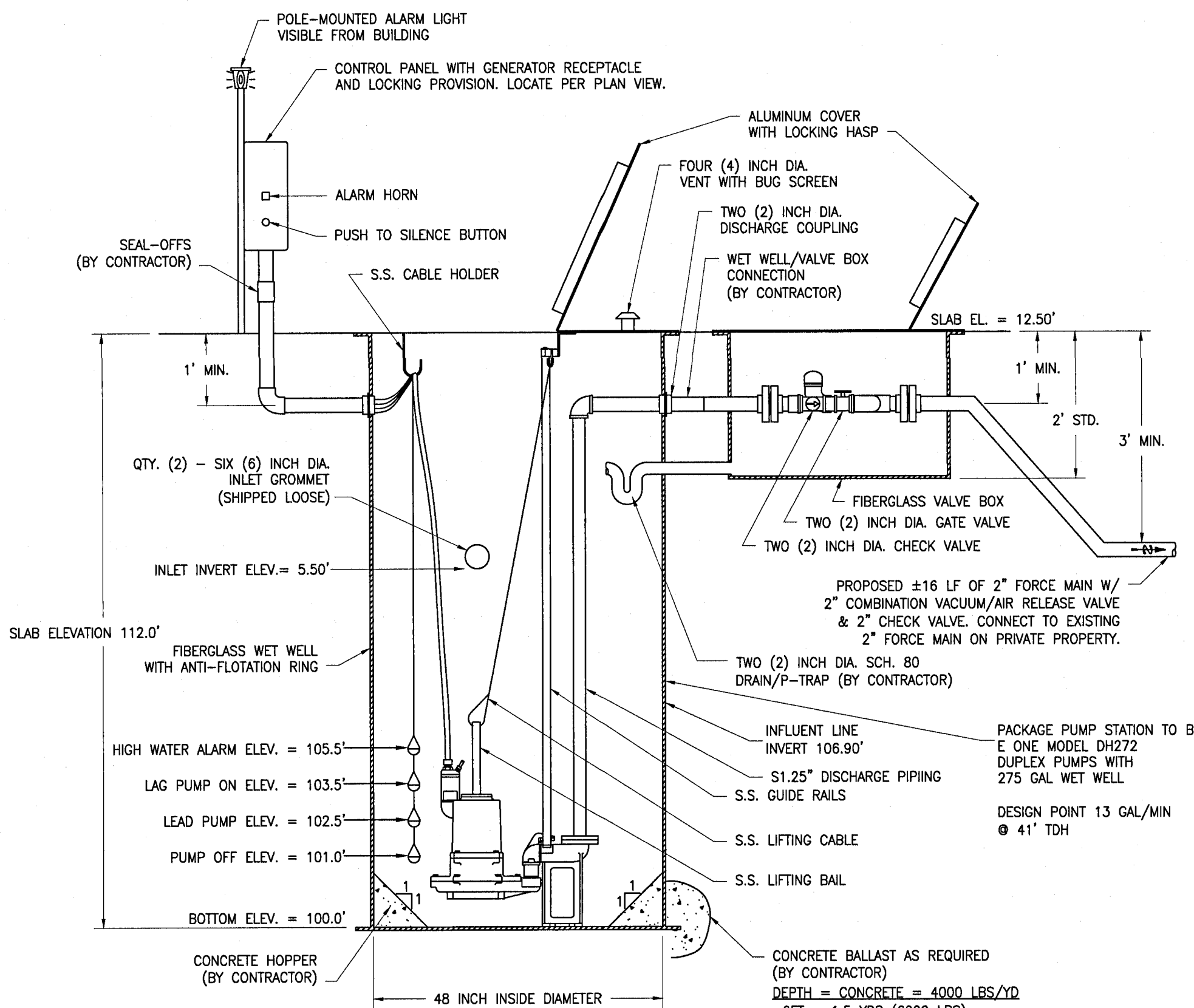
### WET WELL/VALVE BOX LAYOUT

#### PLAN VIEW



QTY. (2) TWO INCH DIA. ELECTRICAL HUBS ON 5 INCH CENTERLINE  
QTY. (2) TWO INCH CONDUIT FOR PUMP POWER CABLES, (1) CONDUIT FOR FLOATS AND PUMP SENSOR CABLES (BY CONTRACTOR)  
PROPOSED 5 LF OF 6" SANITARY STUBOUT W/ 6" CAP FOR FUTURE ADJACENT PROPERTY CONNECTION TO THE SOUTH. CONTRACTOR TO PROVIDE A 2"x4" MARKER STAKE (PAINTED GREEN) 36" HIGH FROM GRADE. INVERT ELEVATION = 5.60' @ PLUG (2% SLOPE)

#### SECTION VIEW



**EDP REQUIREMENTS**  
PROVIDE CONCRETE HOPPER WITH 1:1 SLOPE.  
PROVIDE 3/4" WATER LINE WITH A 3/4" RPZ.  
ALL ELECTRICAL PANELS SHALL BE ABOVE THE 100 YEAR FLOOD ELEVATION.

### GENERAL NOTES

#### DESIGN CONDITIONS

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE. EACH PUMP SHALL BE MOUNTED ON A 6" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEAKPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE ELBOW, DISCHARGE FLANGE ASSEMBLY, 6" 304SS GUIDE RAILS, 316SS UPPER GUIDE BRACKET, 316SS LIFTING BAIL AND CABLE, AND A 50K-HOOK 316SS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-PIPED BY THE PUMP SUPPLIER.

#### PUMP CONSTRUCTION

THE PUMP VOLUME, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON, ASTM A-48. ALL EXTERNAL FASTENERS SHALL BE SERIES 300 STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF SERIES 416 STAINLESS STEEL.

#### IMPELLER

THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN BRONZE CONSTRUCTION. THE IMPELLER SHALL INCLUDE PUMP-OUT VANES ON THE BACK OF THE IMPELLER AND SHALL BE STATICALLY AND HYDRAULICALLY BALANCED.

#### CUTTERS

A TWO-STAGE CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE GRINDER SHALL BE CAPABLE OF GRINDING ALL MATERIALS FOUND IN NORMAL DOMESTIC SEWAGE, INCLUDING PLASTICS, RUBBER, SANITARY NAPKINS, DISPOSABLE DIAPERS AND WOOD PARTICLES, INTO A FINE SLURRY. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED 440C STAINLESS STEEL.

#### MOTOR

THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE STATOR SHALL BE SECURELY HELD IN PLACE WITH A REMOVABLE END RING AND THREADED FASTENERS FOR EASE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS: ONE UPPER (RADIAL) AND ONE LOWER (THRUST), TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMOSTAT THAT AUTOMATICALLY SHUTS THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

#### SEAL CHAMBER

THE PUMP SHALL HAVE TWO MECHANICAL SEALS, MOUNTED IN TANDEM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

#### WET WELL

THE PUMP SUPPLIER SHALL PROVIDE THE FIBERGLASS WET WELL. THIS GLASS FIBER-REINFORCED POLYESTER BASIN SHALL BE CONSTRUCTED OF A COMMERCIAL GRADE OF GLASS FIBER AND SHALL BE PROVIDED WITH AN ANTI-FLOTATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

#### HATCH COVER

THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL FASTENERS, RATED FOR 150 PSF OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FABRICATION, OR EQUAL.

#### VALVE BOX

THE VALVE BOX IS FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 3' X 2 1/2' X 2'.

#### VALVES

VALVES SHALL BE SEWAGE SWING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

#### FLOATS

FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

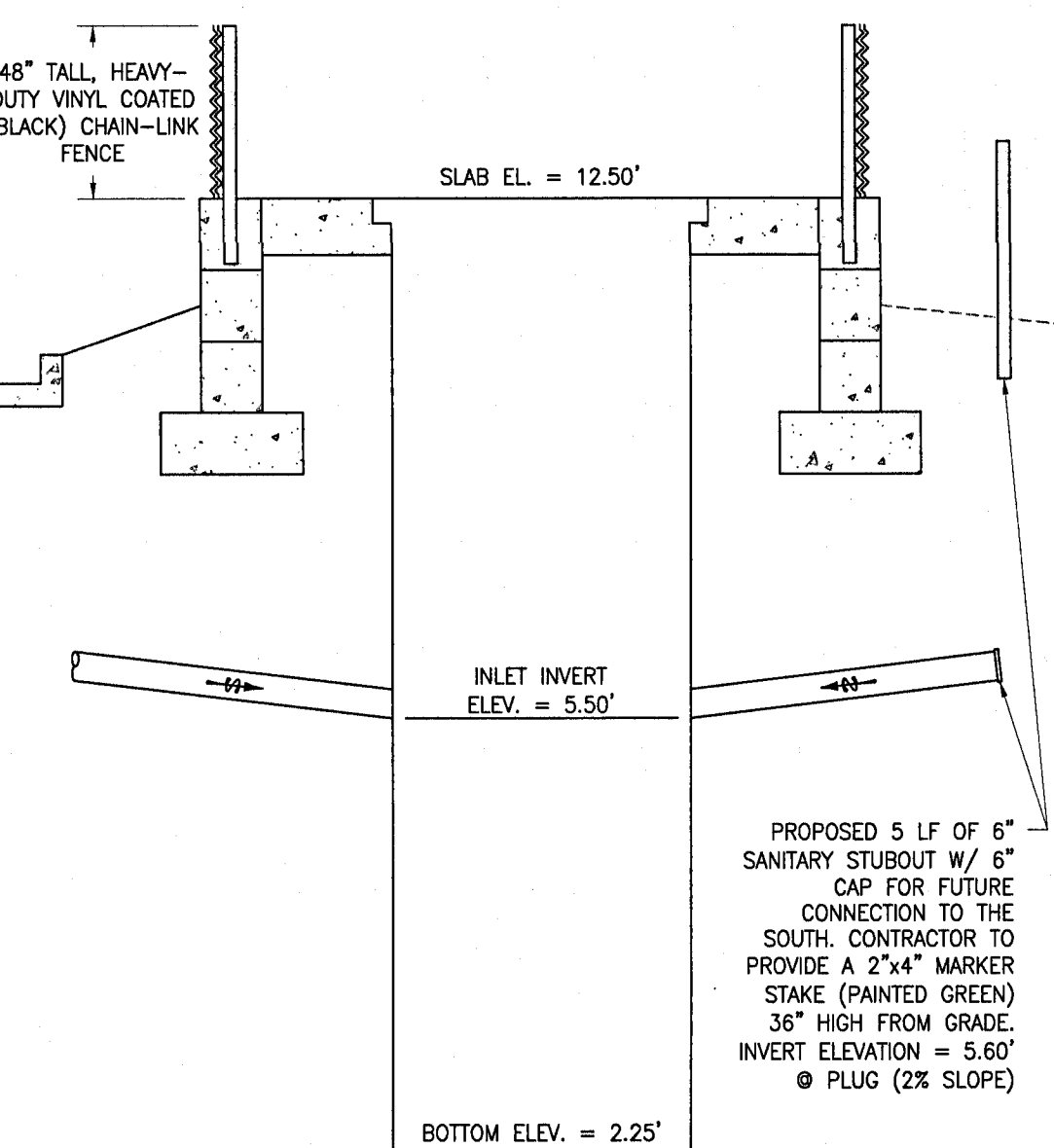
#### CONTROLS

THE CONTROL PANEL SHALL BE UL508 LISTED. A NEMA 3R OR 4X ENCLOSURE SHALL BE PROVIDED. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METERS, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SENSORS. THE LIGHTNING ARRESTOR SHALL BE SHIPPED LOOSE FOR FIELD INSTALLATION.

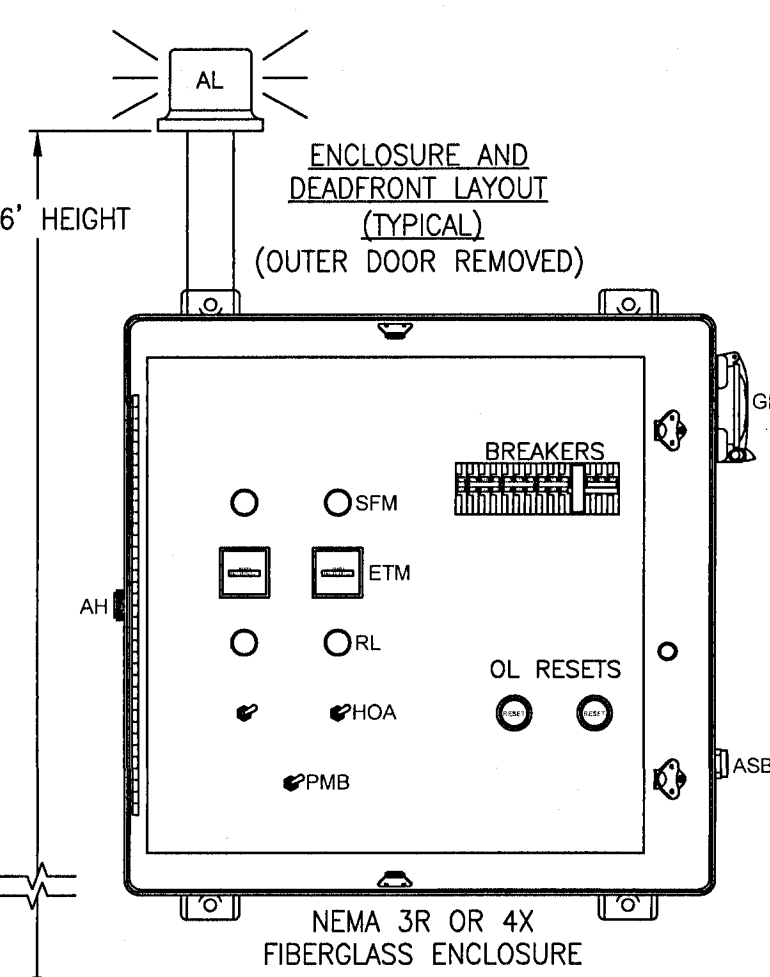
#### SUPPLIER

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLED BY BARNEY'S PUMPS INC. READY FOR FIELD INSTALLATION.

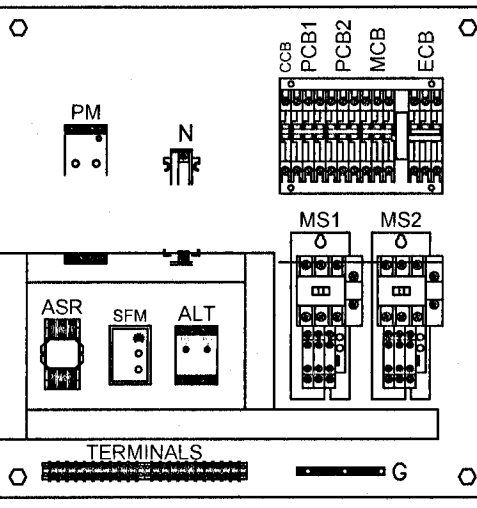
PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS IN LAKELAND (863-665-8500), CORAL SPRINGS (954-346-0669), OR JACKSONVILLE (904-260-0669), FL.



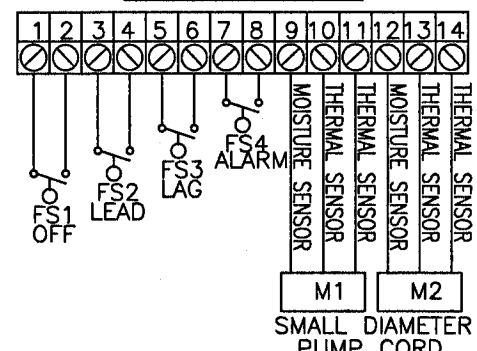
#### SECTION A-A



#### BASE PLATE LAYOUT (TYPICAL)



#### TERMINAL STRIP



- LEGEND**
- ENC ENCLOSURE
  - MCB MAIN CIRCUIT BREAKER
  - ECB EMERGENCY CIRCUIT BREAKER
  - PCB1,2 PUMP CIRCUIT BREAKER
  - CCB CONTROL CIRCUIT BREAKER
  - MS1,2 MOTOR STARTER
  - OL OVERLOAD HEATER
  - GR GENERATOR RECEPTACLE
  - VM VOLT MONITOR
  - ETM ELAPSED TIME METER
  - AL ALTERNATOR
  - AH ALARM HORN
  - AL ALARM LIGHT
  - ASB ALARM SILENCE BUTTON
  - HOA HAND OFF AUTO SWITCH
  - VMB VOLT MONITOR BYPASS
  - RL RUN LIGHT
  - IL INDICATING LIGHT
  - SFM SEAL FAIL MODULE
  - ASR ALARM SILENCE RELAY
  - RC RUN CAPACITOR
  - SC START CAPACITOR
  - SR START RELAY
  - PM PHASE MONITOR
  - PMB PHASE MONITOR BYPASS

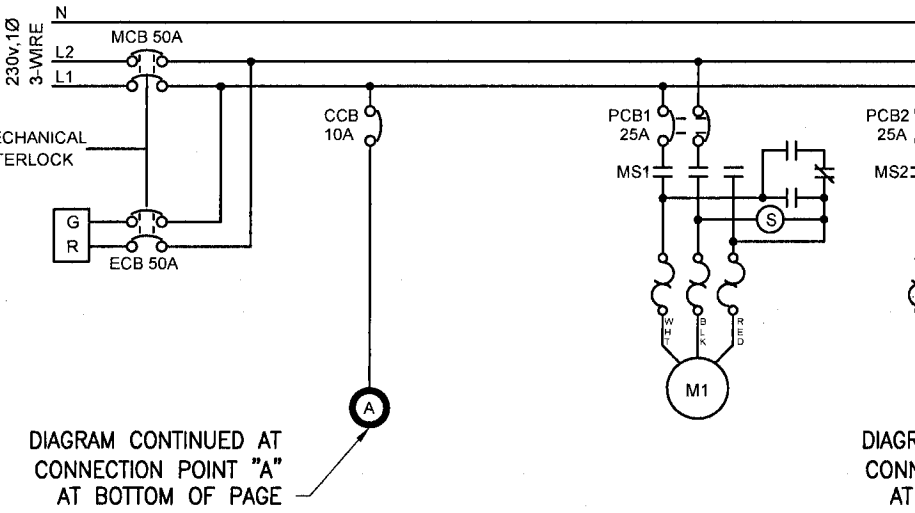
#### ALL PANELS SHALL CONFORM TO FLORIDA DEP 17-604.400

- GENERATOR RECEPTACLE WITH INTERLOCK FOR EMERGENCY POWER CONNECTION.
- SURGE AND LIGHTNING PROTECTION SHALL BE PROVIDED BY CONTRACTOR AND MOUNTED EXTERNAL TO THE CONTROL PANEL.
- PHASE OR VOLTAGE MONITOR SHALL BE PROVIDED IN CONTROL PANEL.
- ALL PANELS, WET WELL, VALVE BOX, AND ACCESS DOORS SHALL HAVE LOCKABLE MECHANISMS. CONTRACTOR TO PROVIDE KEYS TO LOCKS.
- POST UNOBTAINED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL WITH THE FOLLOWING: PUBLIC NOTICE: IN CASE OF EMERGENCY CONTACT: 3807 HWY 98 SOUTH LAKELAND, FL 33813 PHONE: (863) 665-8500 PO BOX 3528-33802 LAKELAND, FL 33802 FAX: (863) 666-3855
- THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.
- ELECTRICAL CONTRACTOR TO PROVIDE SERVICE DISCONNECT WITH LIGHTNING ARRESTOR MOUNTED PER LOCAL CODES.
- FLOAT SWITCHES SHALL BE UL LISTED.

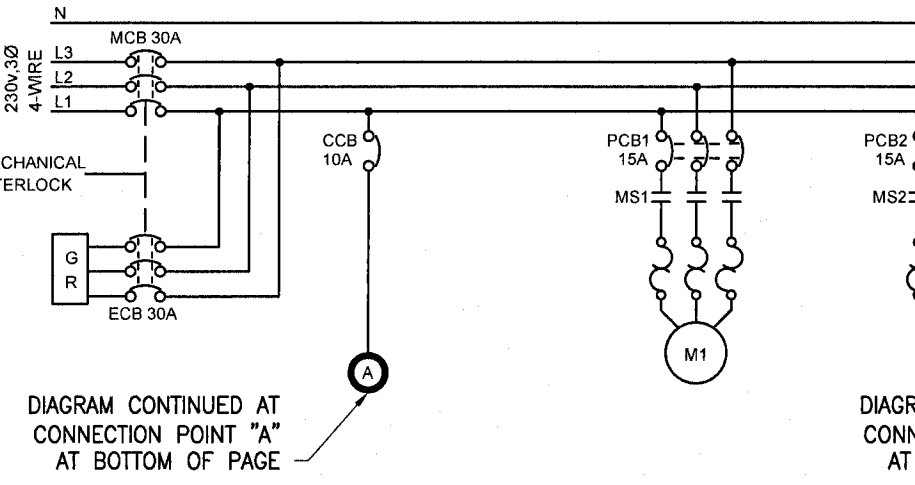
### ELECTRICAL

INCOMING POWER: \_\_\_\_\_ V \_\_\_\_\_  
(CONTRACTOR TO VERIFY)

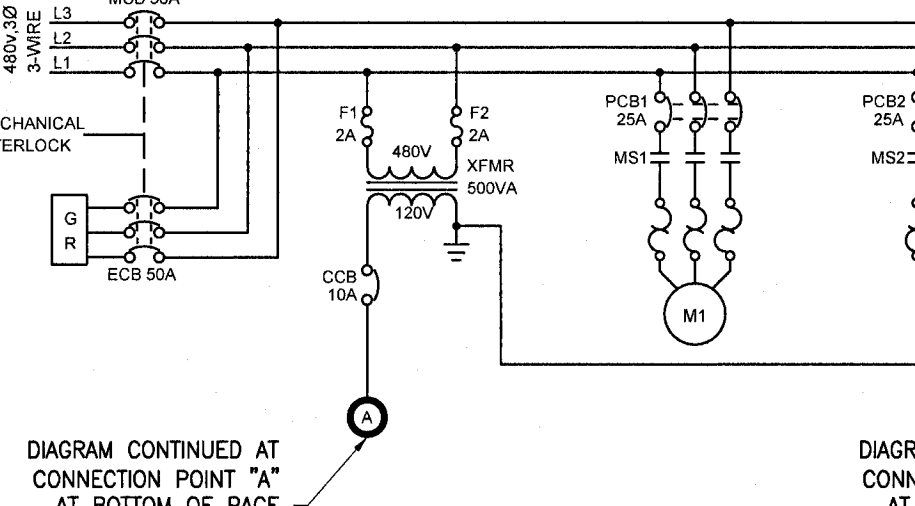
#### 230V SINGLE PHASE WIRING DIAGRAM



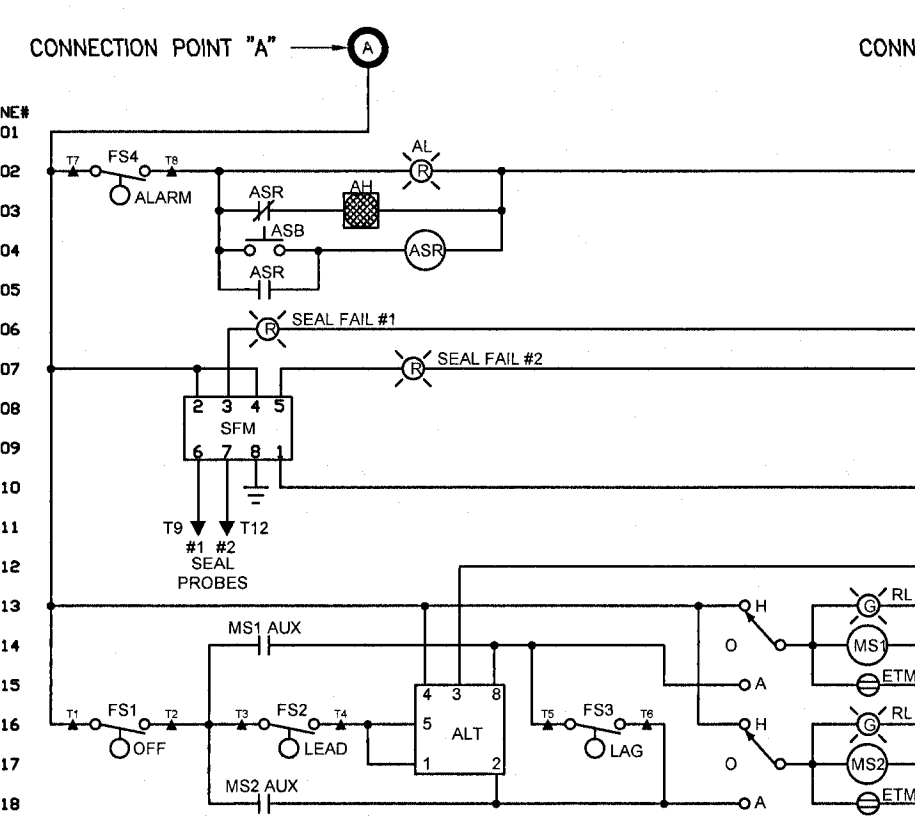
#### 230V THREE PHASE WIRING DIAGRAM



#### 480V THREE PHASE WIRING DIAGRAM



#### CONTINUATION OF WIRING DIAGRAMS FROM ABOVE



PANEL MANUFACTURER  
SHALL BE UL 508 AND  
UL 698A LISTED.

**UL LISTED**  
ENCLOSED INDUSTRIAL  
CONTROL PANEL

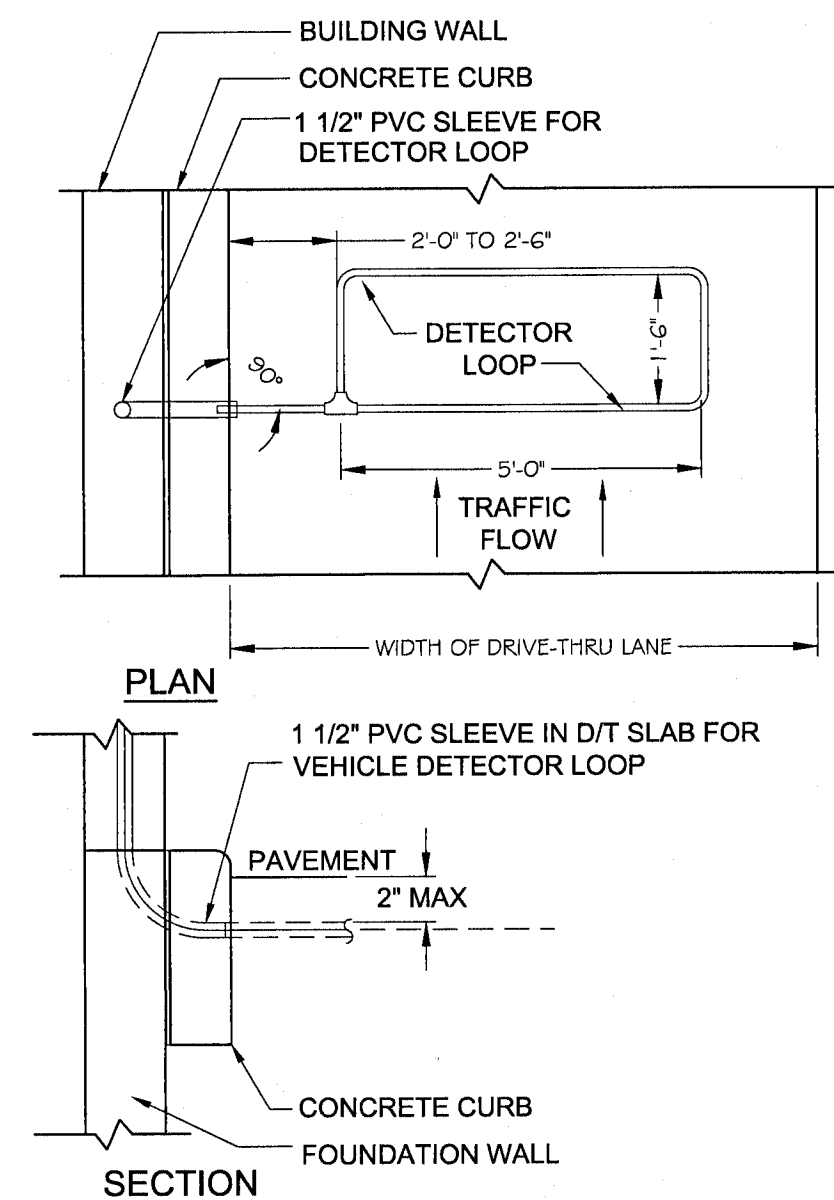
**BARNEY'S PUMPS, INC.**  
3807 HWY 98 SOUTH LAKELAND, FL 33813 PHONE: (863) 665-8500  
PO BOX 3528-33802 LAKELAND, FL 33802 FAX: (863) 666-3855  
TITLE/PROJECT: VFW LIFT STATION MULTI-SPEC SHEET  
CUSTOMER: \_\_\_\_\_  
SALESPERSON: \_\_\_\_\_  
DATE: 09/09/2006  
PAGE: 1 OF 1  
REV: A

NOT FOR CONSTRUCTION

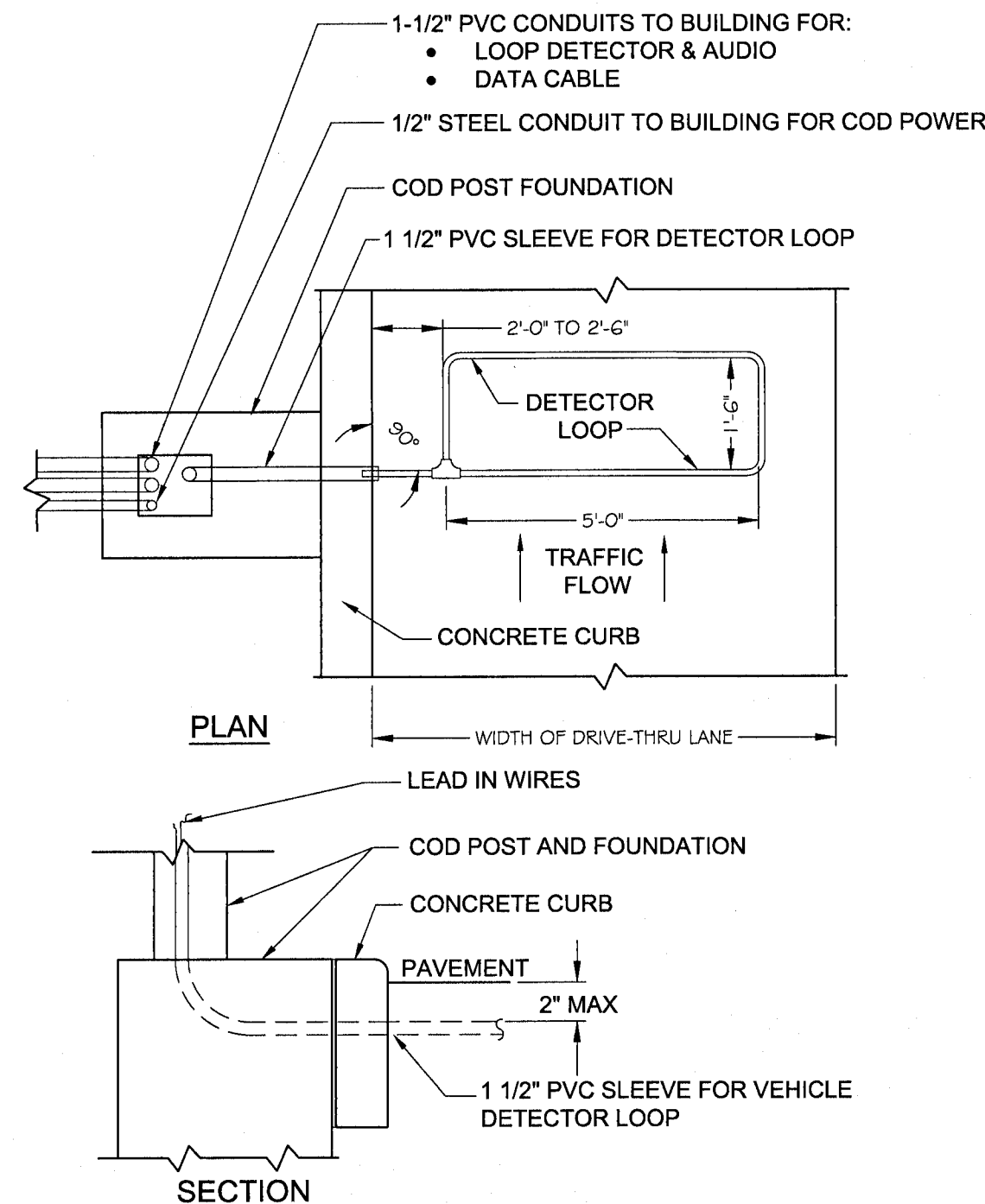
BY	MEG	DATE	04/15/2021	DESCRIPTION	ISSUE FOR PERMIT
REV					
ADAMS JOB NO.: 2020.037					
Certificate of Authorization: #27614					
<b>Adams</b> 8951 Cypress Waters Blvd, Suite 150 Dallas, Texas 75019 (817) 324-3300					
05/05/2021 No. 88322 STATE OF FLORIDA PROFESSIONAL ENGINEER MATTHEW DAVID KOFFE					
McDonald's USA, LLC Three drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced, copied, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC.					
OFFICE	NASHVILLE FIELD OFFICE	ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	McDONALD'S U.C.	009-2572
PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE			
REGIONAL MGR.					
CONST. MGR.					
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR					
OWNER					
DESIGNED	APR 2021	BY	DCR		
DRAWN	APR 2021	BY	MEG		
CHECKED	APR 2021	BY	MDK		
AS-BUILT					
LIFT STATION PLAN					
C9.1					



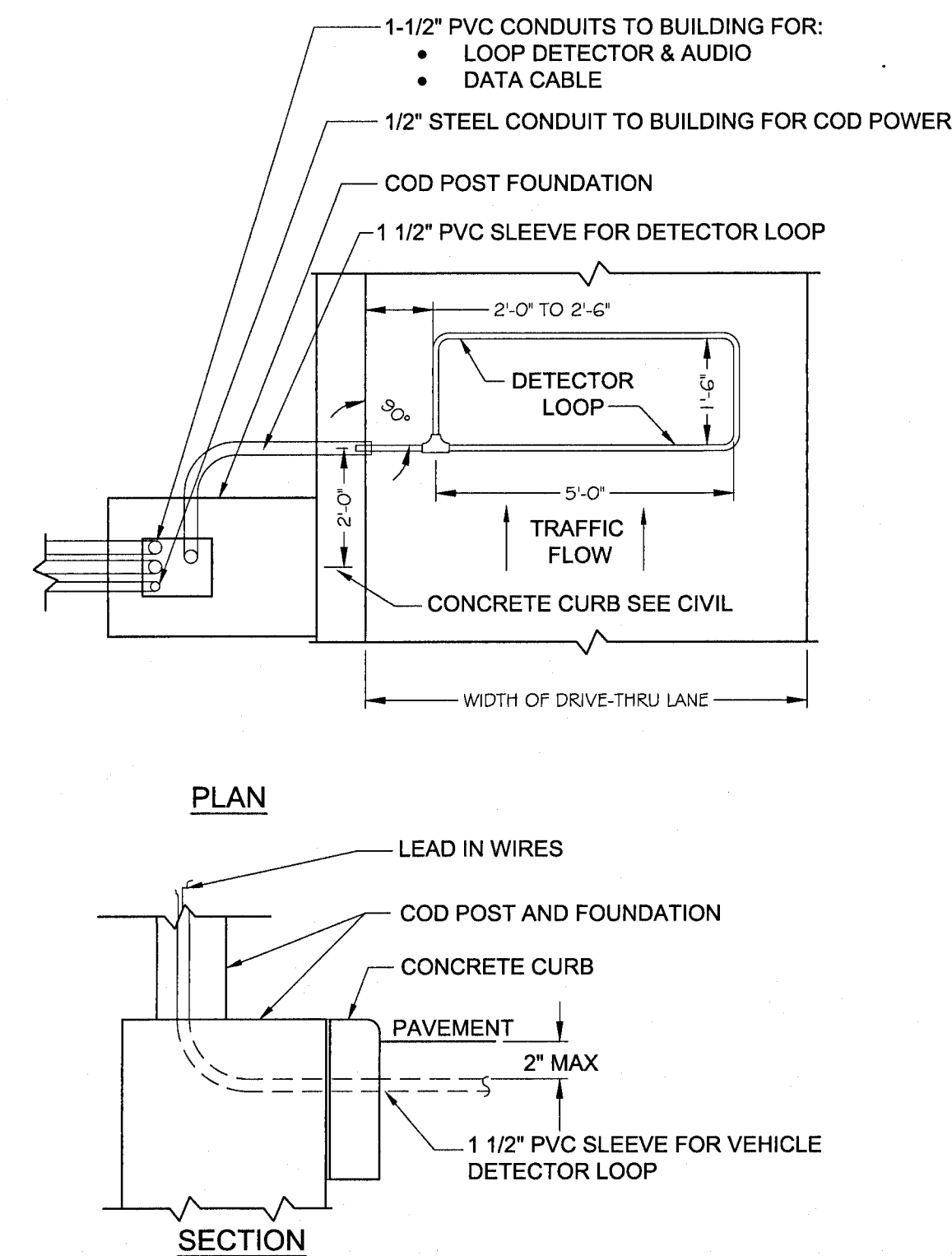
1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS:
  - DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.
  - 3M: 1-800-328-0033
  - HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL:
  - PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
  - DETECTOR LOOP CONSTRUCTION:
    - FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



DETECTOR LOOP DETAIL AT DRIVE-THRU WINDOW  
NOT TO SCALE



PRIMARY LANE DETECTOR LOOP DETAIL AT C.O.D.  
NOT TO SCALE



SECONDARY LANE DETECTOR LOOP DETAIL AT C.O.D.  
NOT TO SCALE

# NOT FOR CONSTRUCTION

PLAN APPROVALS					
OFFICE		NASHVILLE FIELD OFFICE		MCDONALD'S, LLC 009-2672	
ADDRESS		KROC DRIVE - OAK BROOK, ILLINOIS 60521			
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this project and are not valid for any other project. If you wish to reuse the services of property licensed architects and engineers, reproduction of the contract documents for reuse on another project is not authorized.					
REGIONAL MGR.		DATE			
CONST. MGR.					
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR					
OWNER					

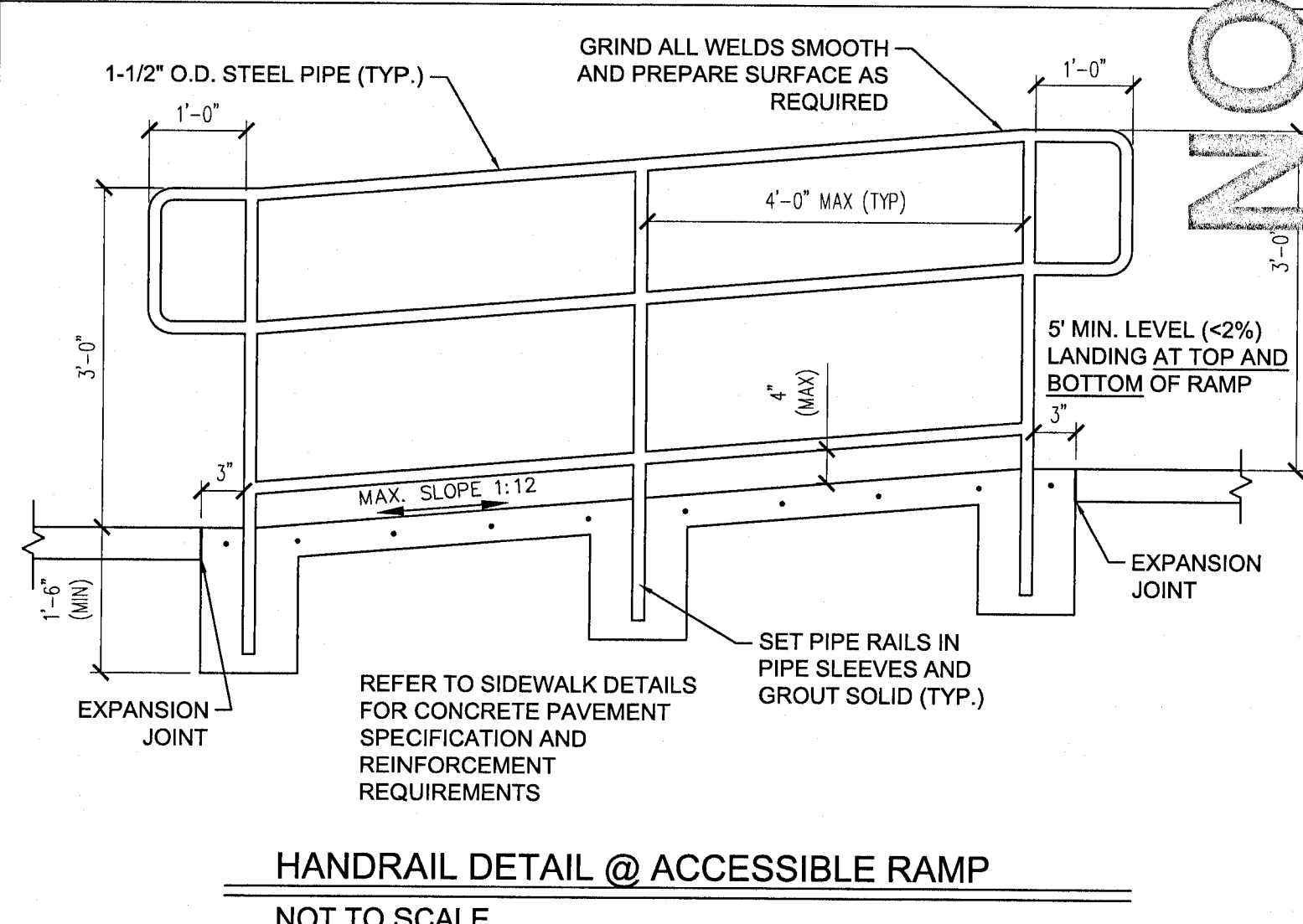
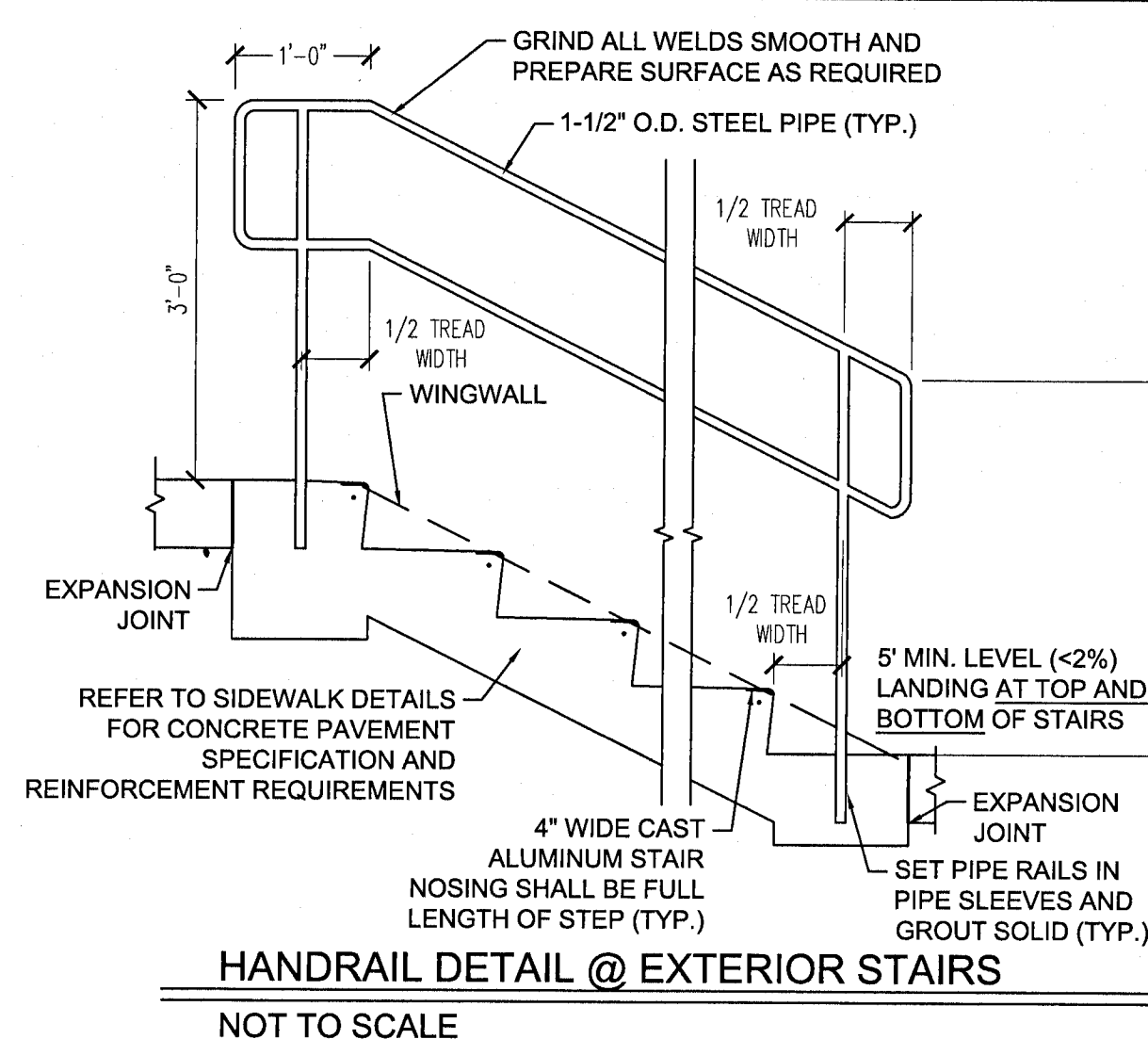
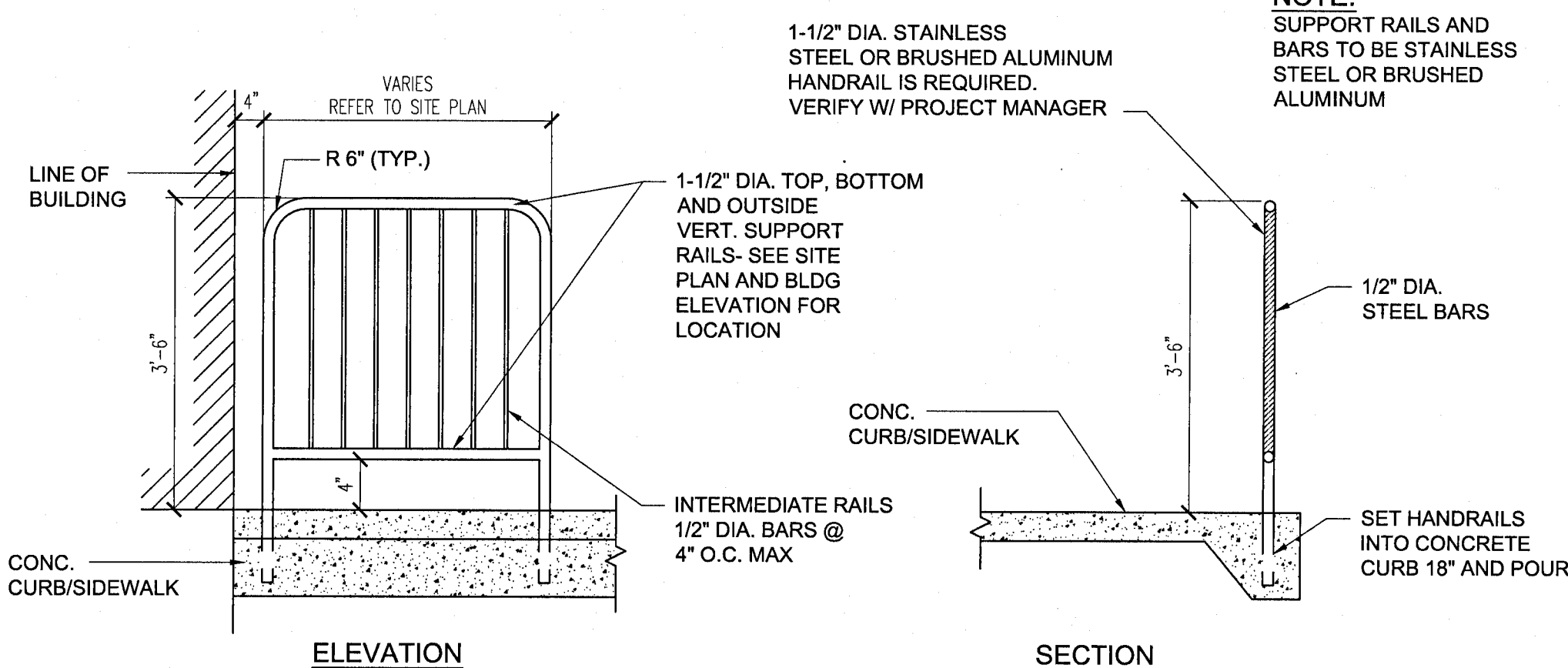
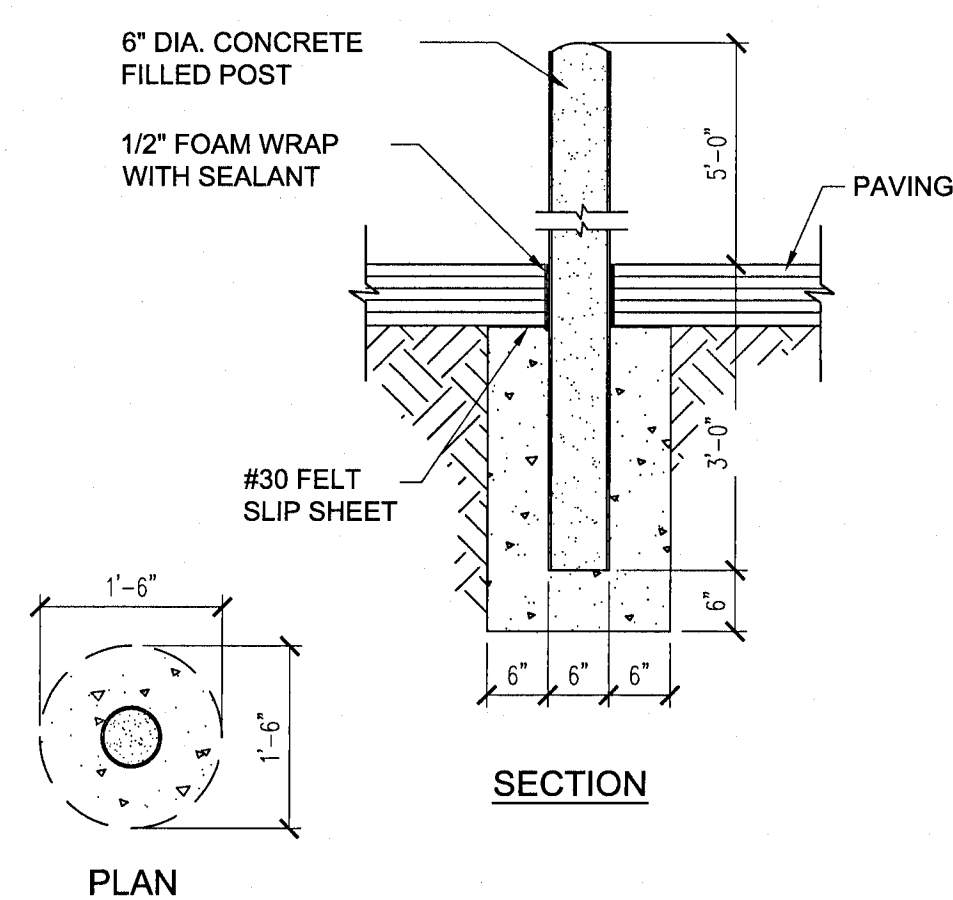
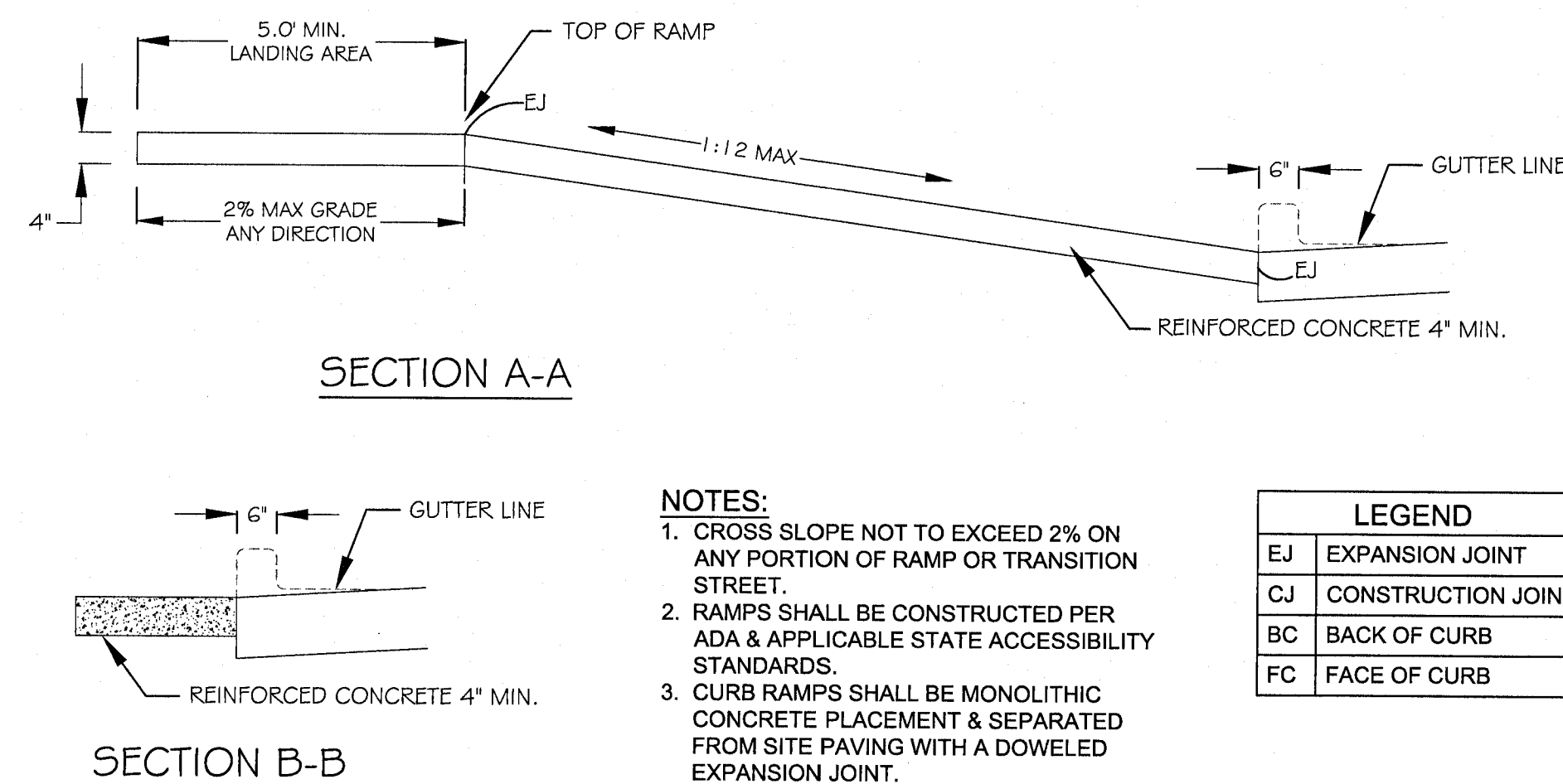
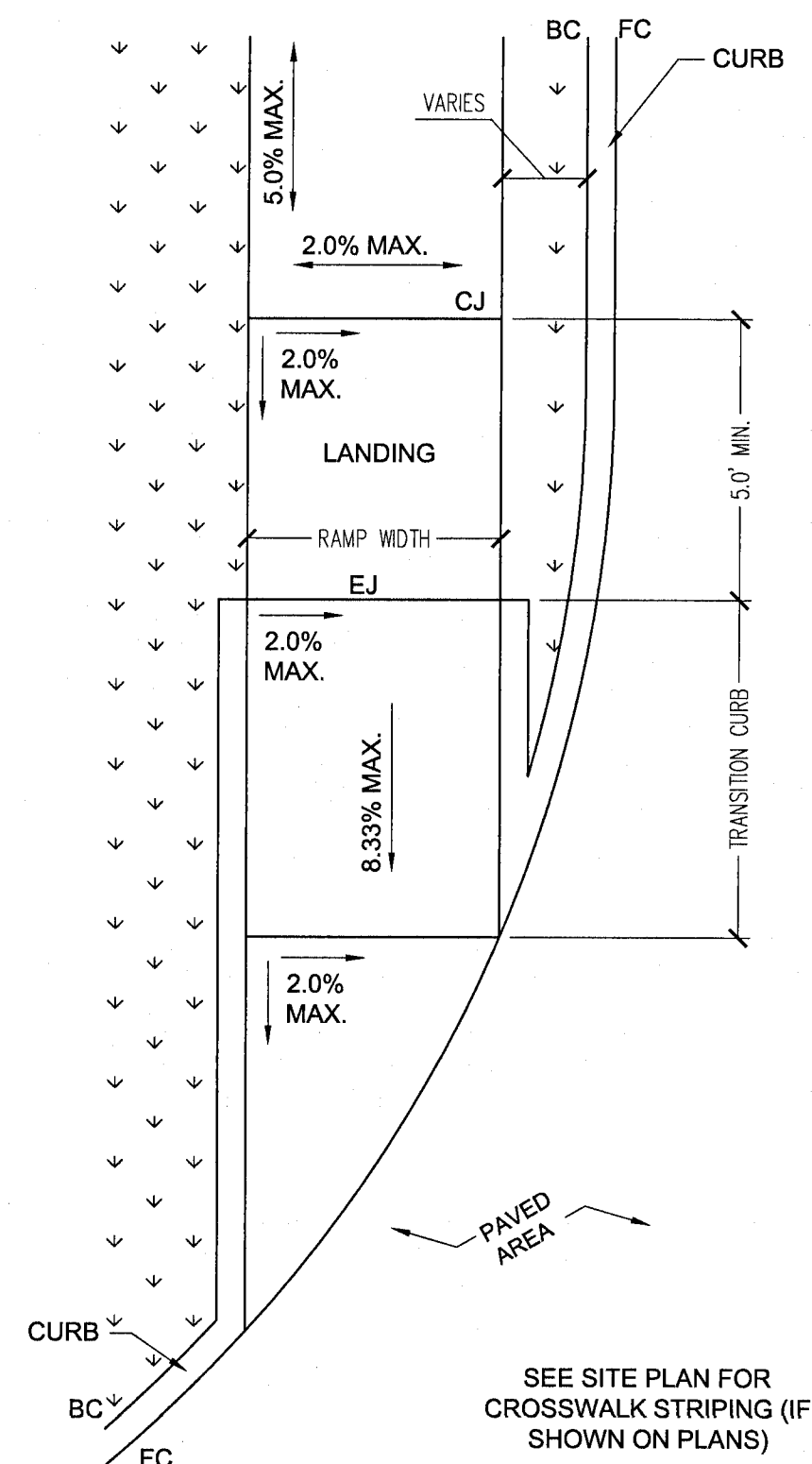
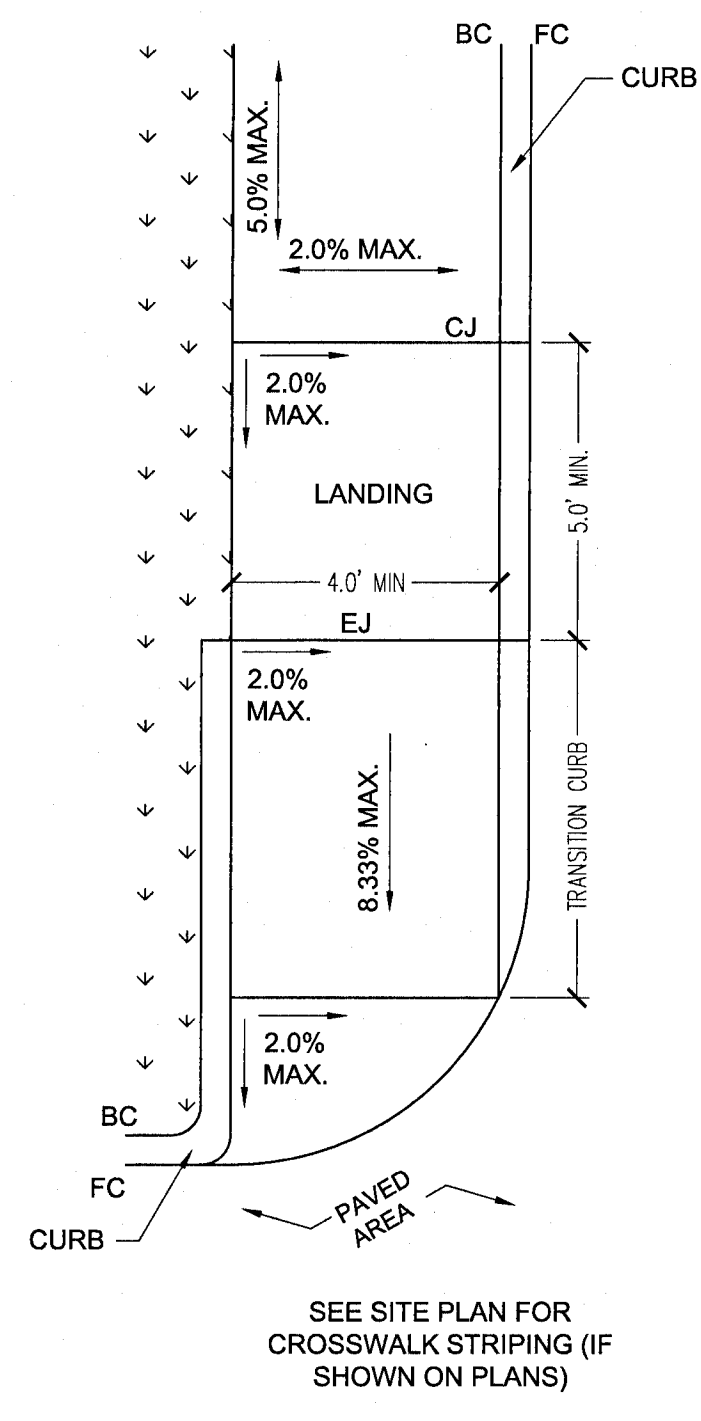
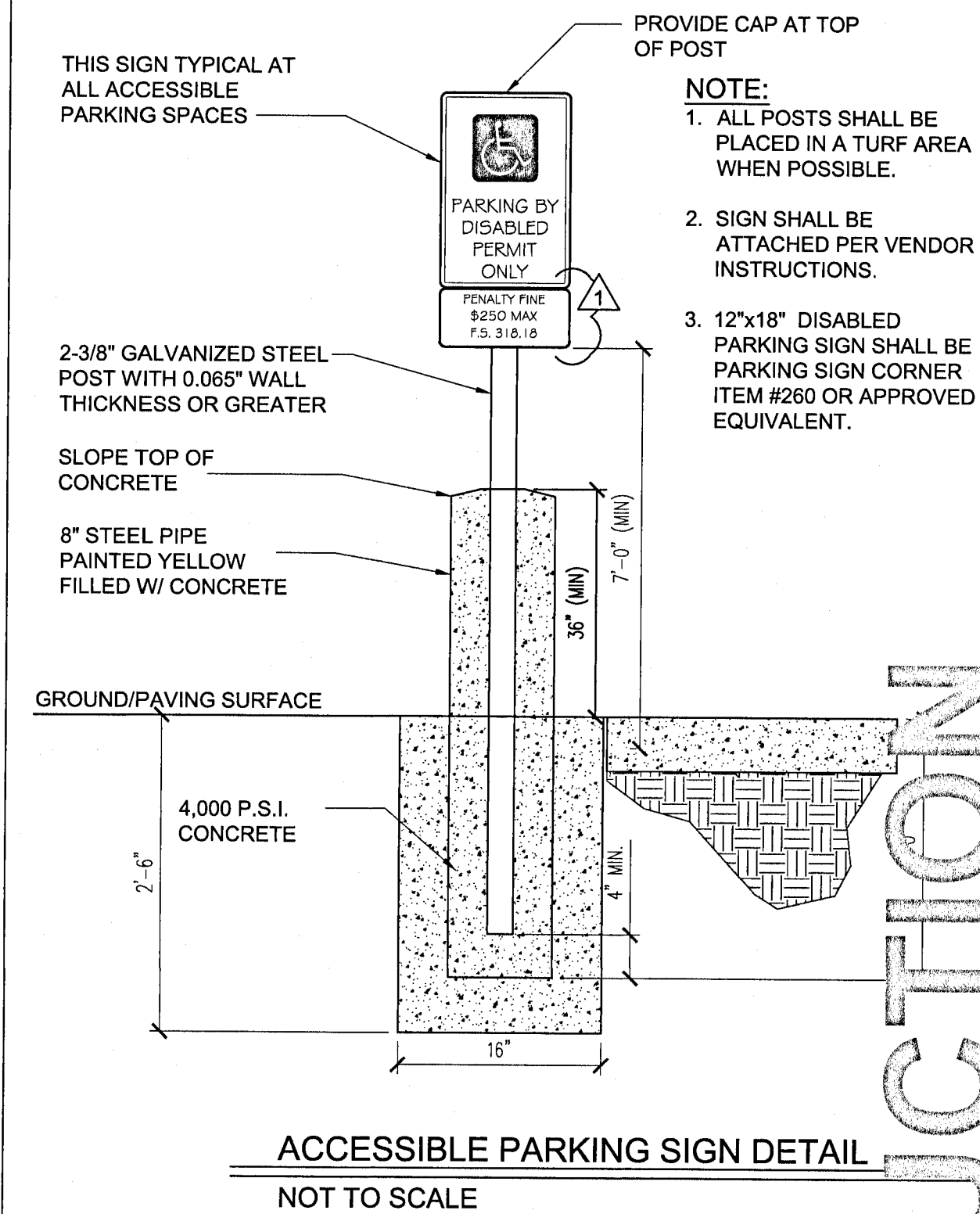
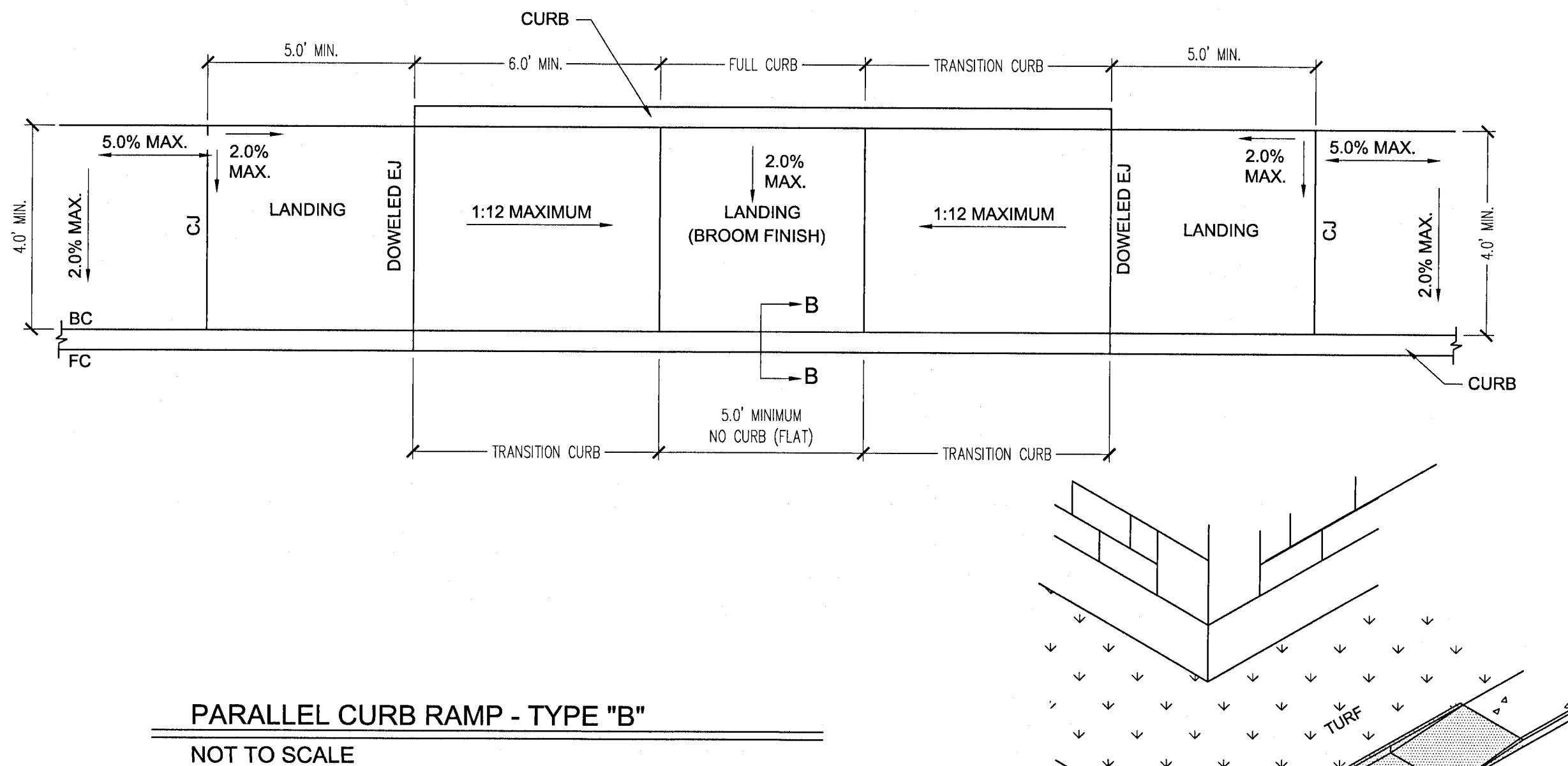
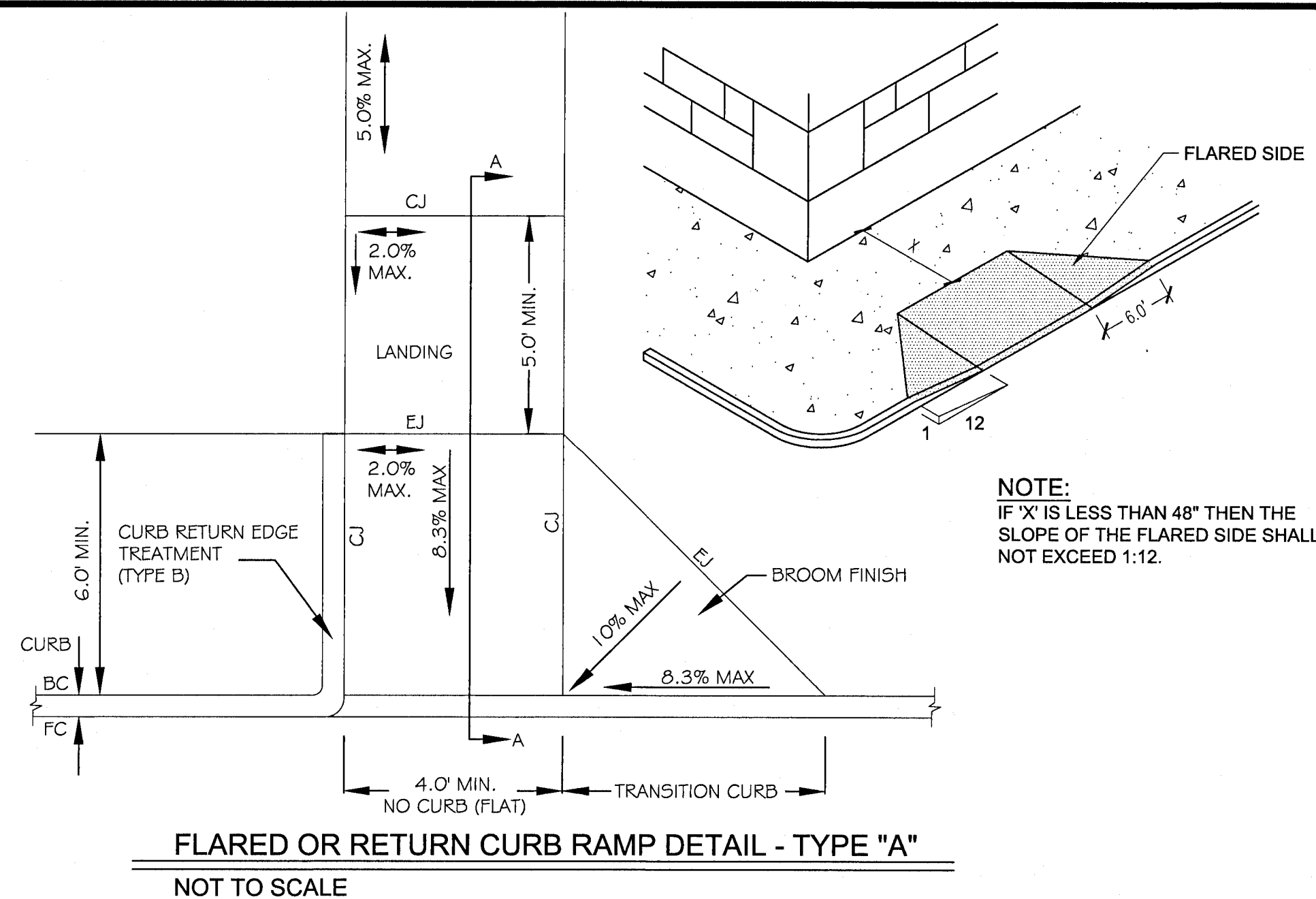
DESIGNED		JAN 2021	MEG
DRAWN		JAN 2021	MEG
CHECKED		APR 2021	MDK
AS-BUILT			

STANDARD DETAILS			
C10.0			


REV		DATE	DESCRIPTION	BY
---		04/15/2021	ISSUE FOR PERMIT	MEG
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ADAMS JOB NO.:  2020.037				
 No. 88322				Certificate of Authorization: #27614 8951 Cypress Waters Blvd., Suite 150 ■ Dallas, Texas 75019 ■ (817) 328-3300

MATTHEW DAVIS LICENSE No. 88322 FLORIDA PROFESSIONAL ENGINEER		05/05/2021
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REV	DATE	DESCRIPTION	BY
---	04/15/2021	ISSUE FOR PERMIT	MEG
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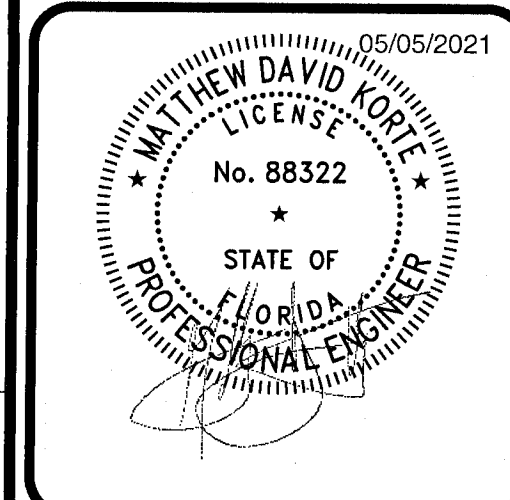



# Adams

ADAMS JOB NO.:  
2020\_037

Certificate Of Authorization: #27614

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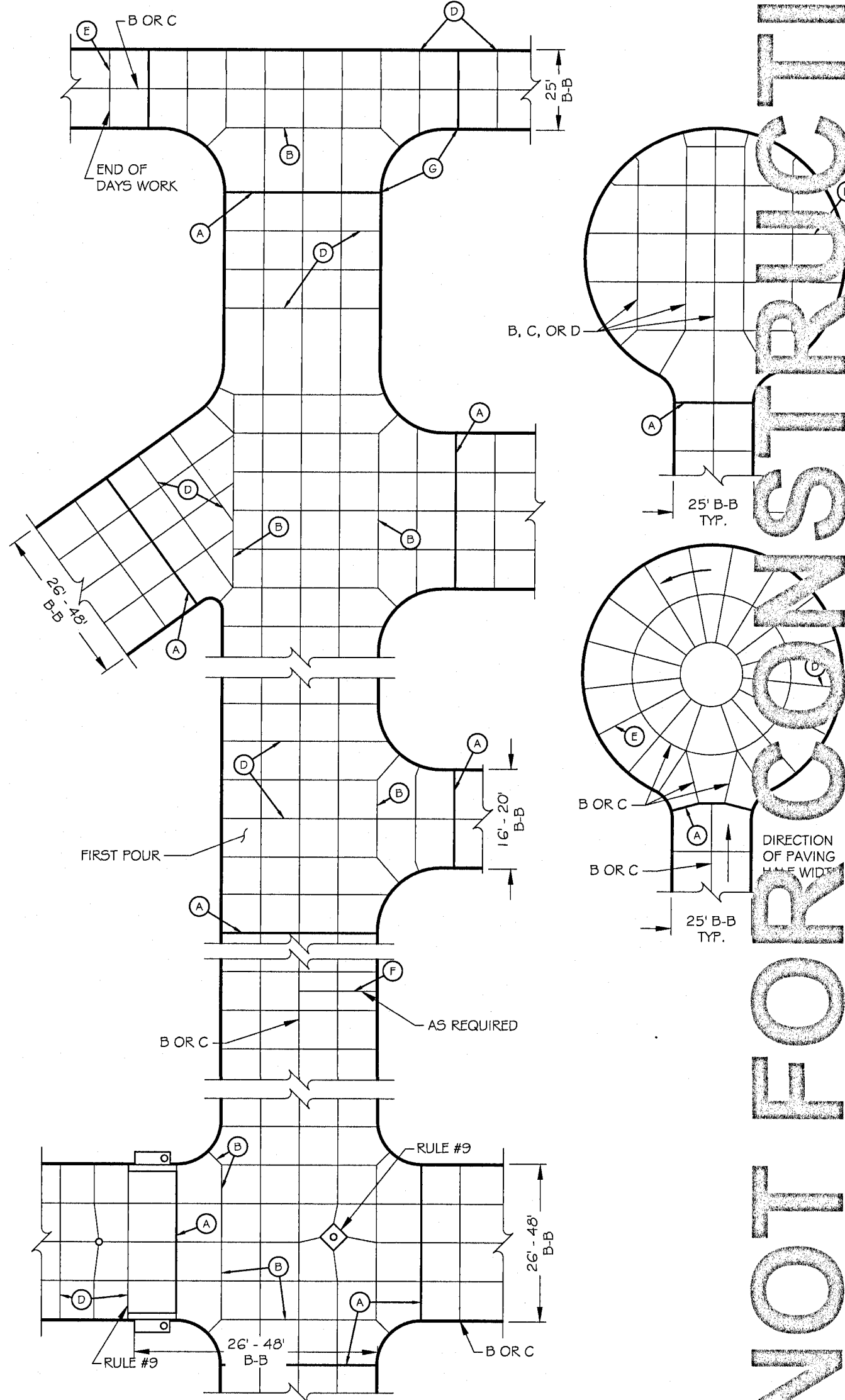
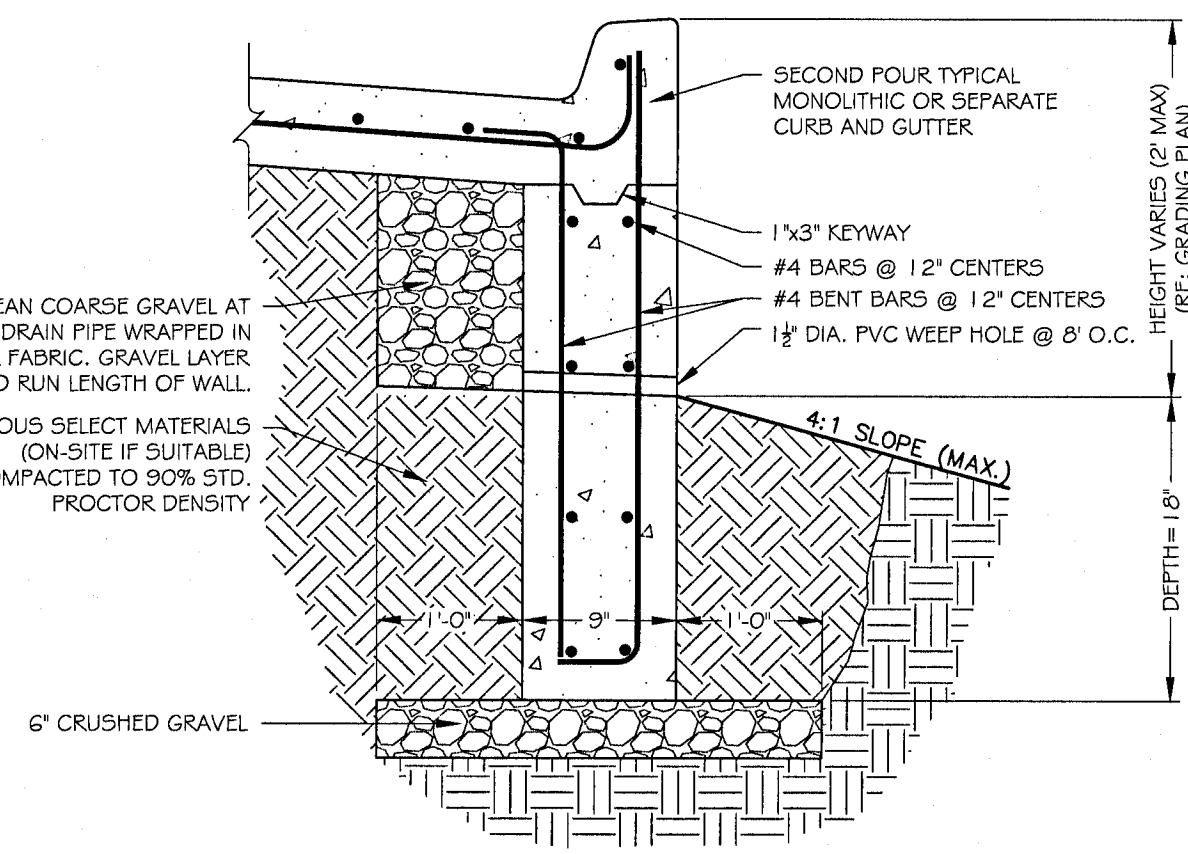
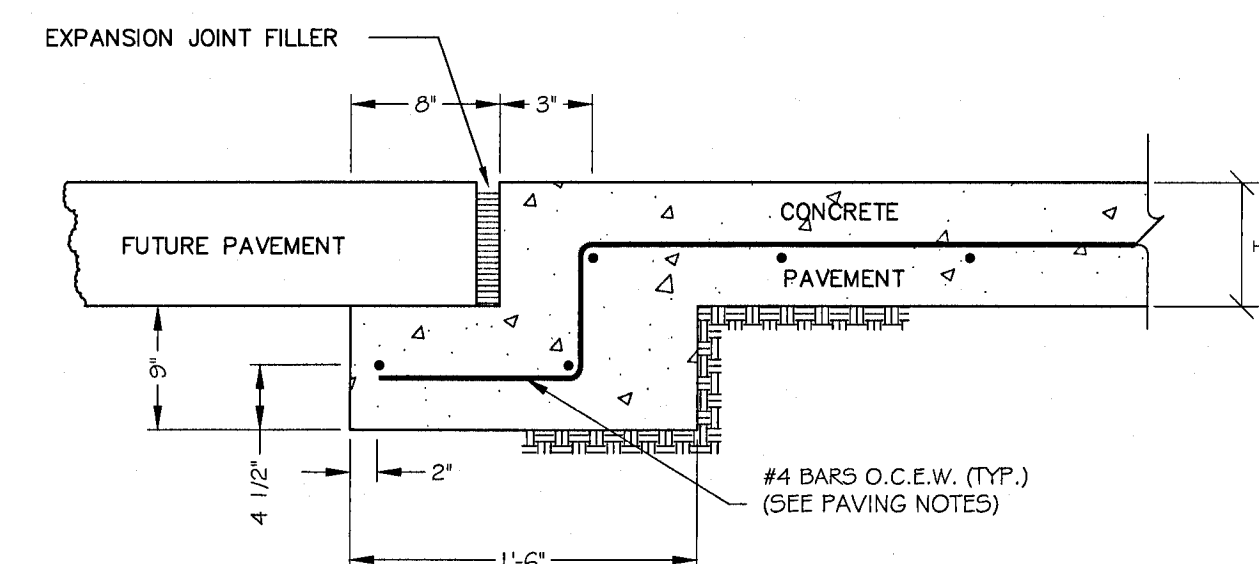
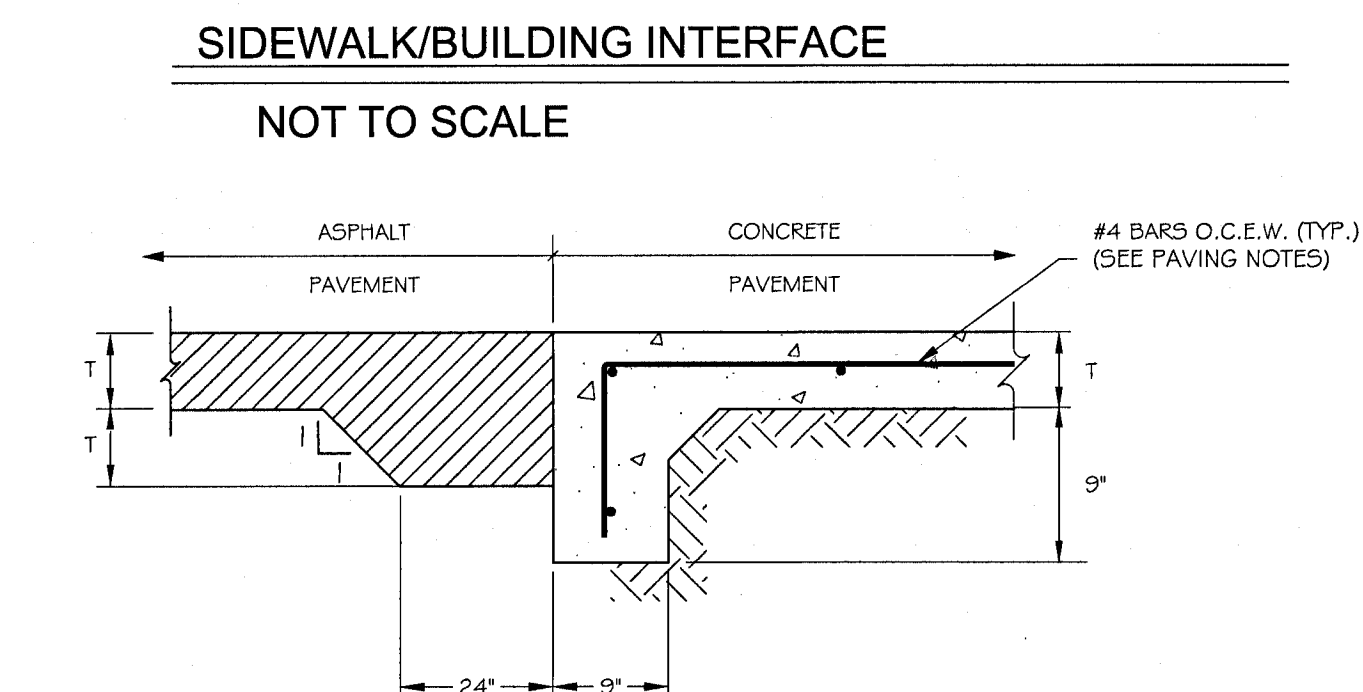
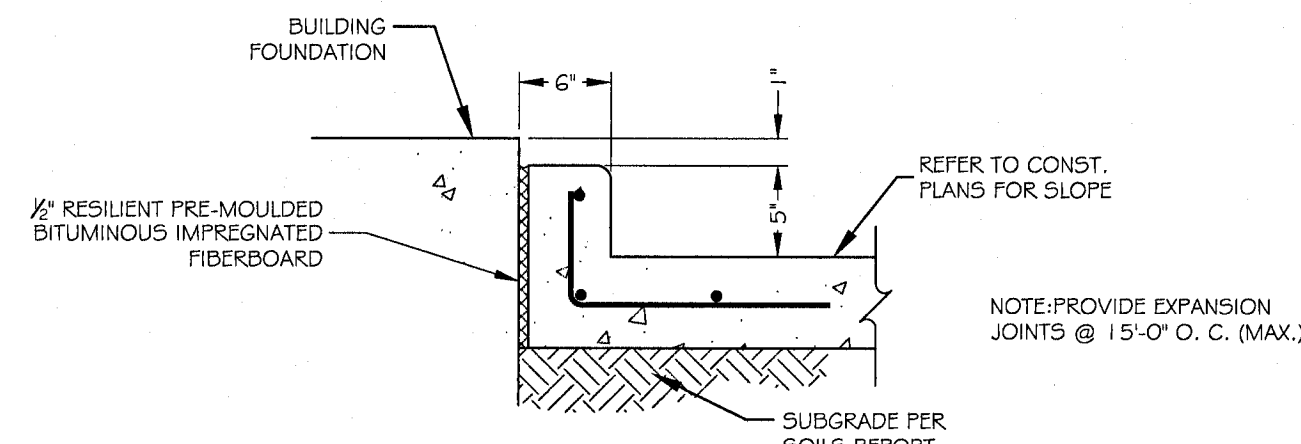
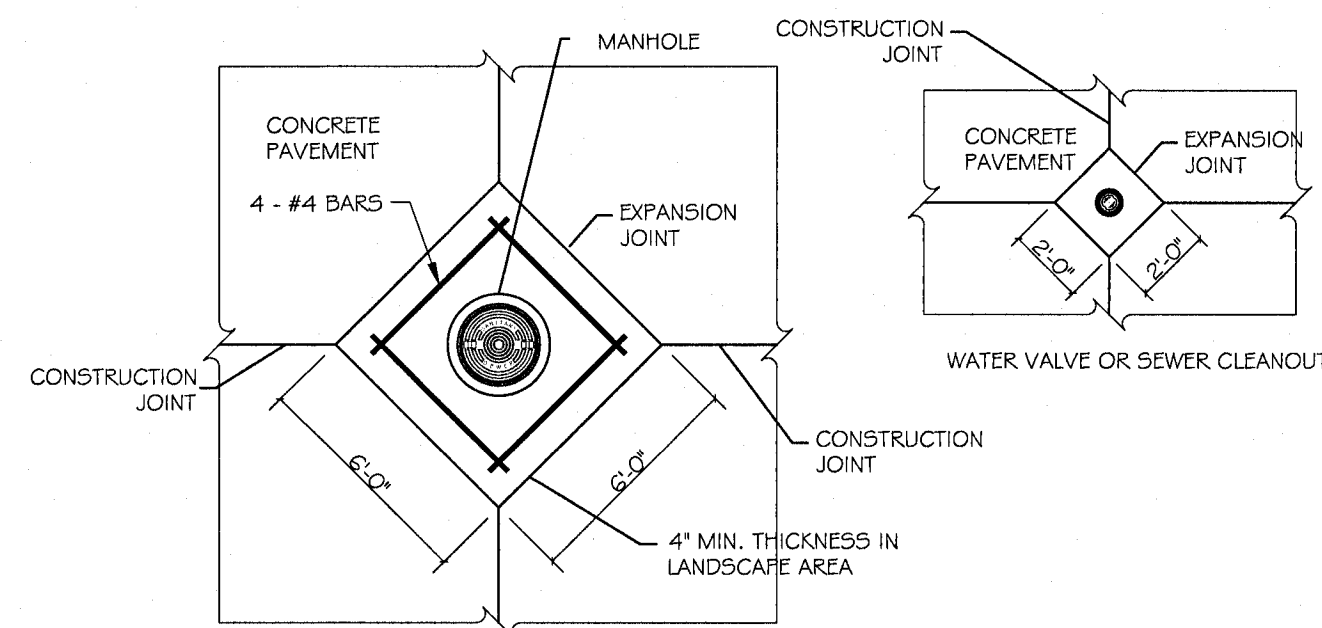
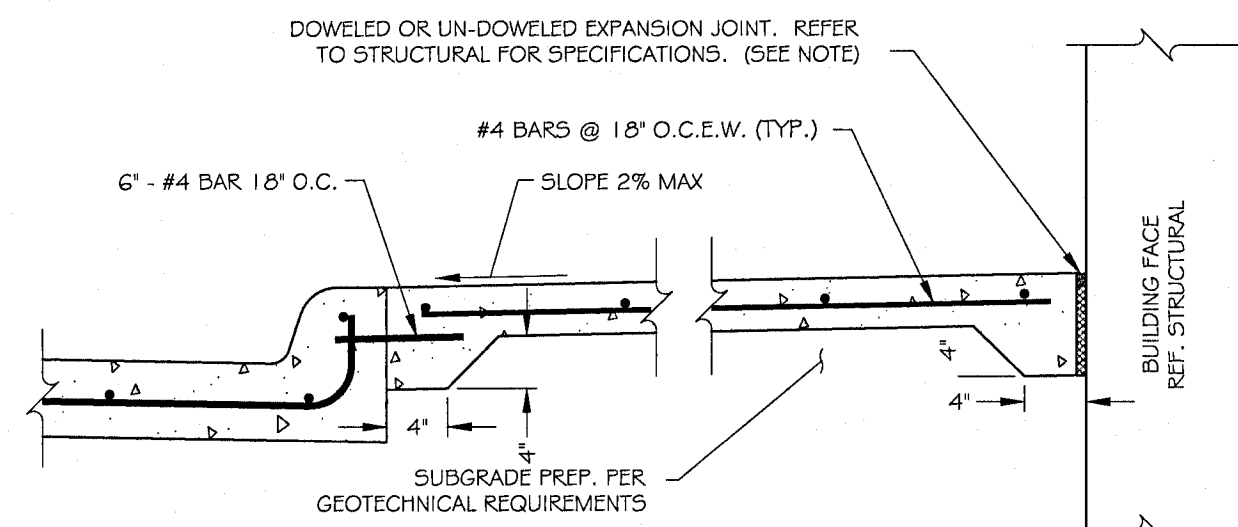
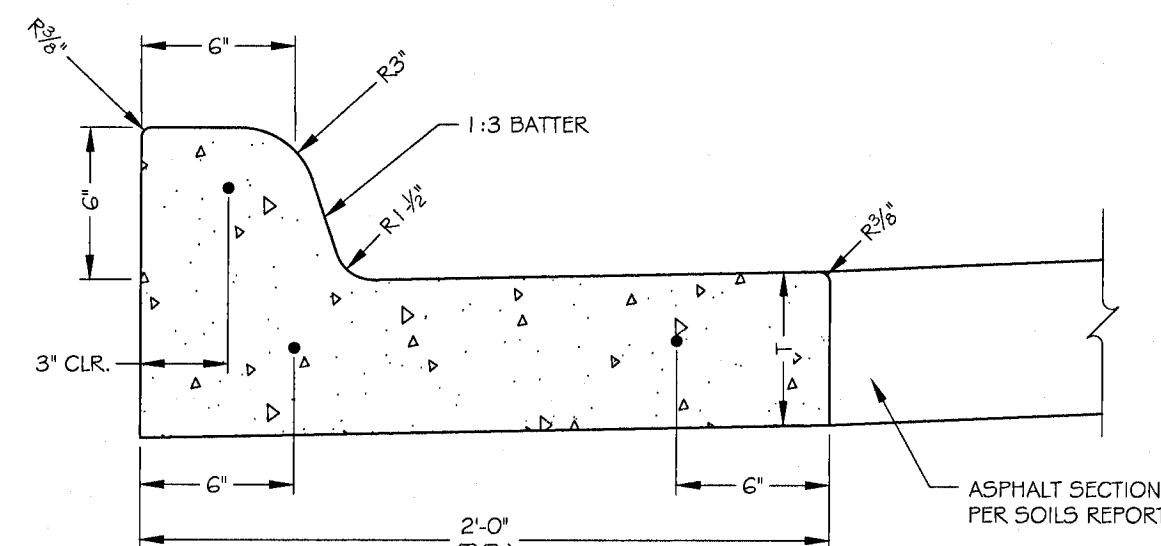
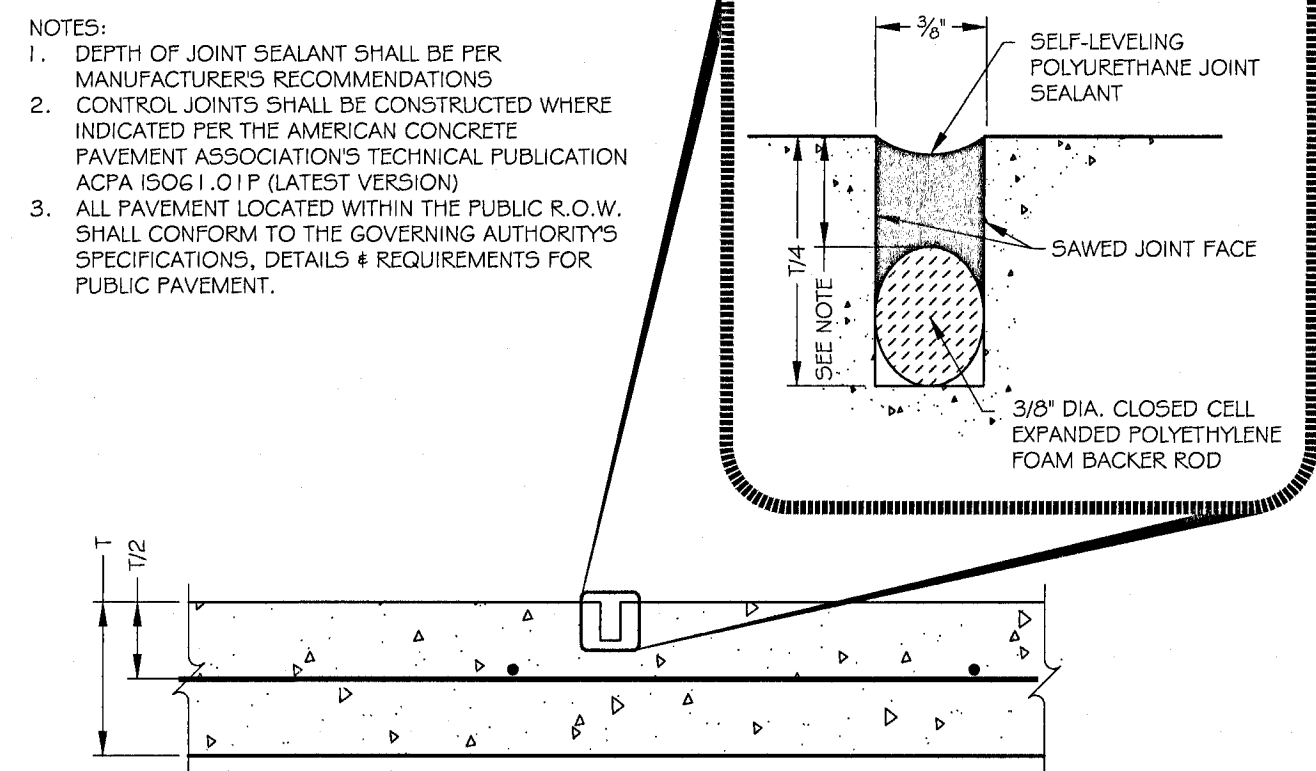
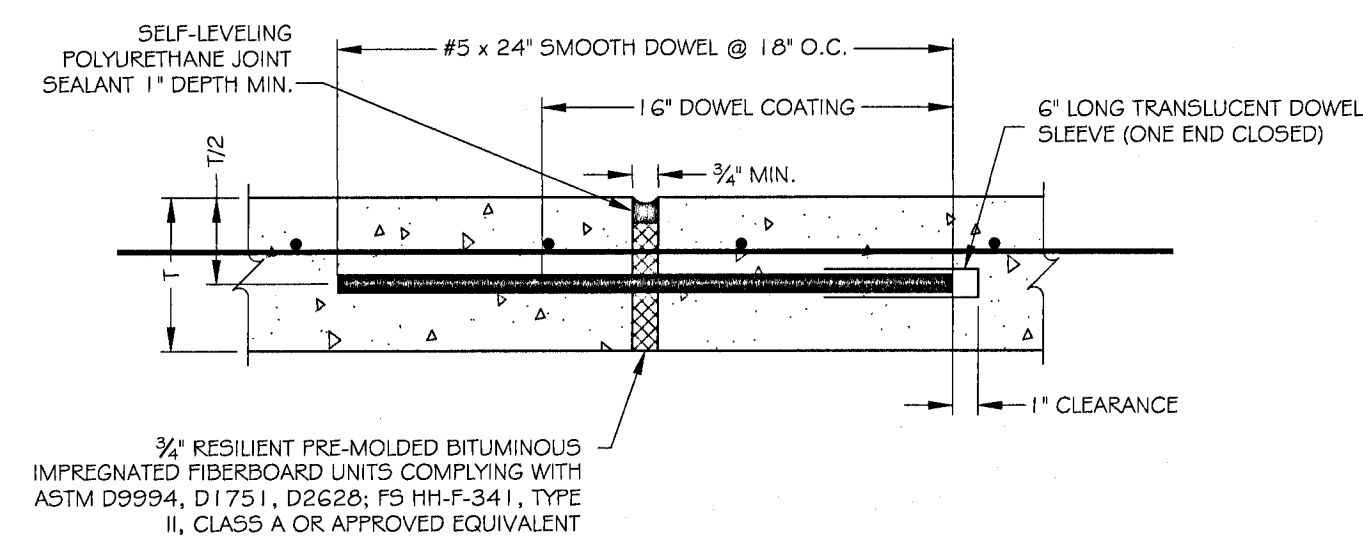
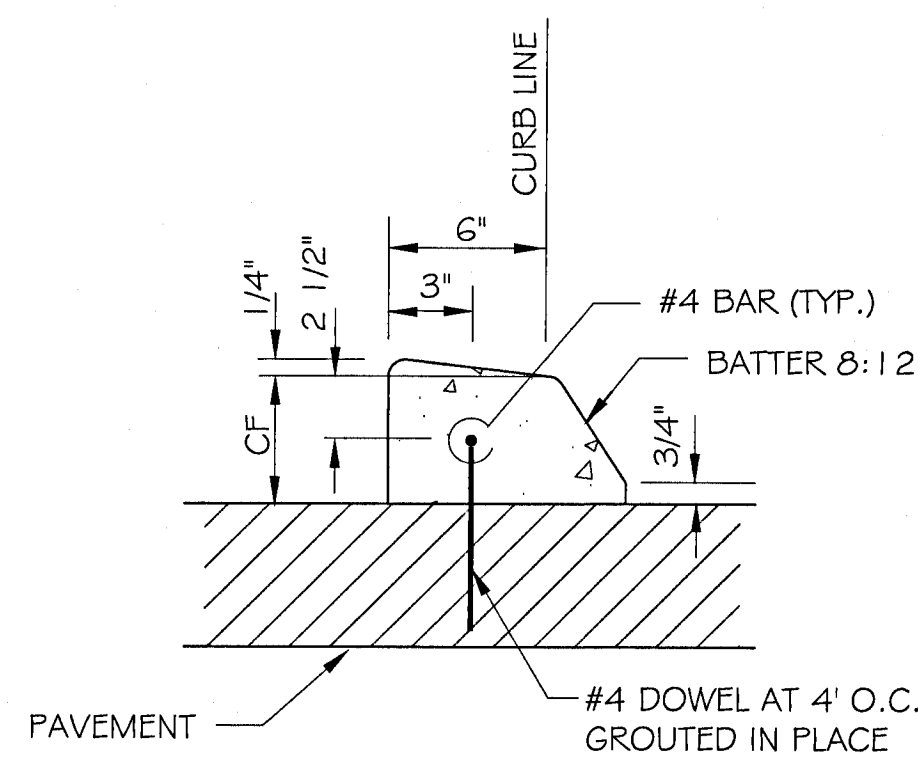
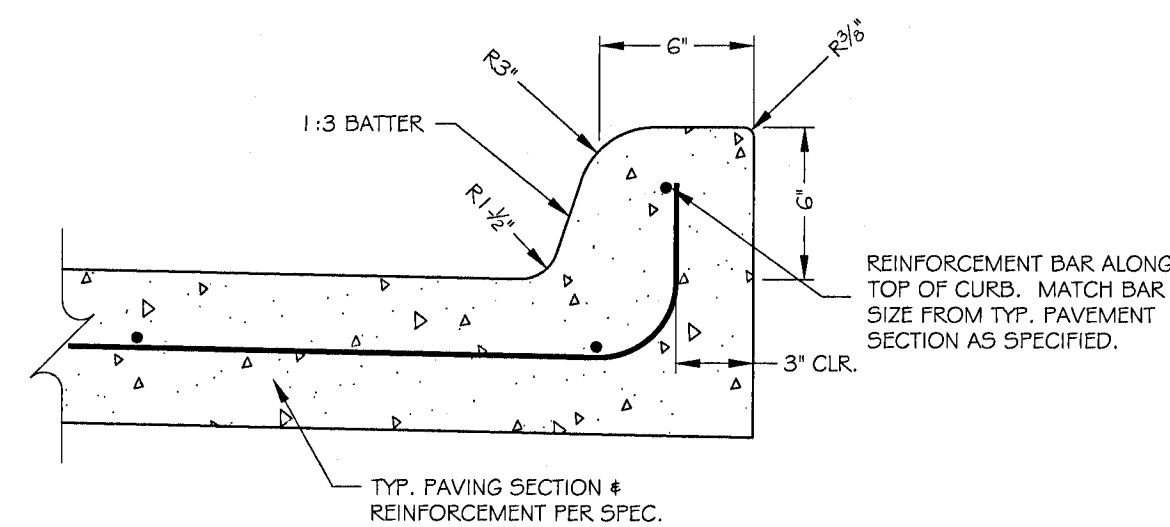
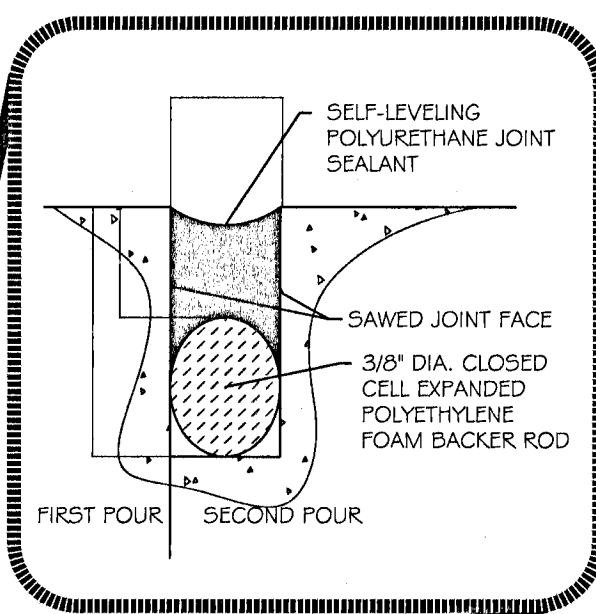
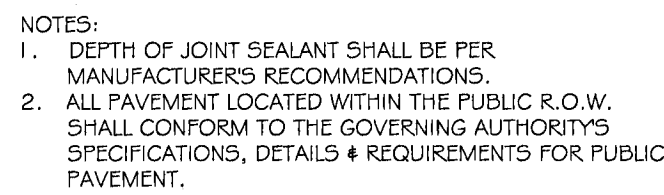
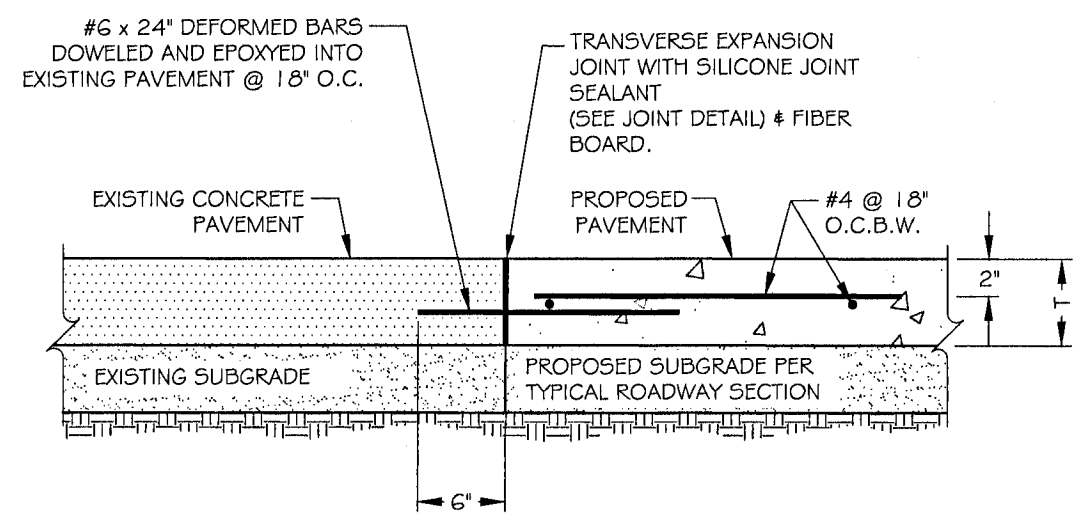
PLAN APPROVALS		OFFICE	NASHVILLE FIELD OFFICE	MCDONALD'S LLC 009-2972
SIGNATURE (2 REQUIRED)		ADDRESS	KROC DRIVE- OAK BROOK, ILLINOIS 60521	
REGIONAL MGR.		 <p>These drawings are the confidential and proprietary property of McDonald's USA, LLC and shall remain the confidential and proprietary property of McDonald's USA, LLC. No portion of these drawings, in whole or in part, shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. These drawings are for reference only and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>		
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.		5897 WEST NINE MILE ROAD PENSACOLA, FLORIDA		
CO-SIGN SIGNATURES				
CONTRACTOR				
OWNER				

	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	APR 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		


STANDARD  
DETAILS

**C10.1**





REV	DATE	DESCRIPTION	BY
0000	04/15/2021	ISSUE FOR PERMIT	MEG
0000	0000	0000	0000
0000	0000	0000	0000
0000	0000	0000	0000
0000	0000	0000	0000



# Adams


**ADAMS JOB NO.:**  
2020 037

**Certificate Of Authorization: #27614**

8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200

A circular professional engineer seal for the State of Florida. The outer ring contains the text "MATTHEW DAVID KORIE" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No. 88322" is in the center, and "STATE OF FLORIDA" is at the bottom, also separated by two stars. A date stamp "05/05/2021" is in the top right corner. A signature is written across the bottom of the seal.

OFFICE	NASHVILLE FIELD OFFICE	MCDONALD'S U.S. LLC 009-02972
ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	



# McDonald's USA, LLC

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## 5897 WEST NINE MILE ROAD

## PENSACOLA, FLORIDA

PLAN APPROVALS			DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

	DATE	BY
DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		

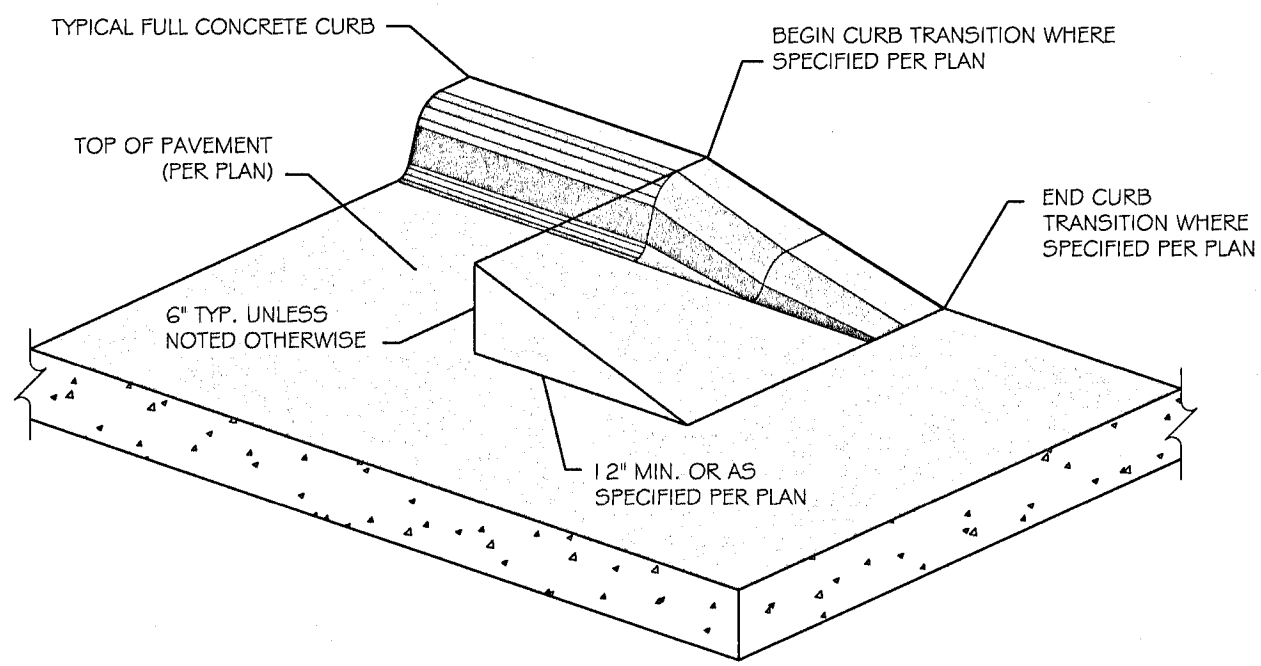
## STANDARD DETAILS

### C10.2

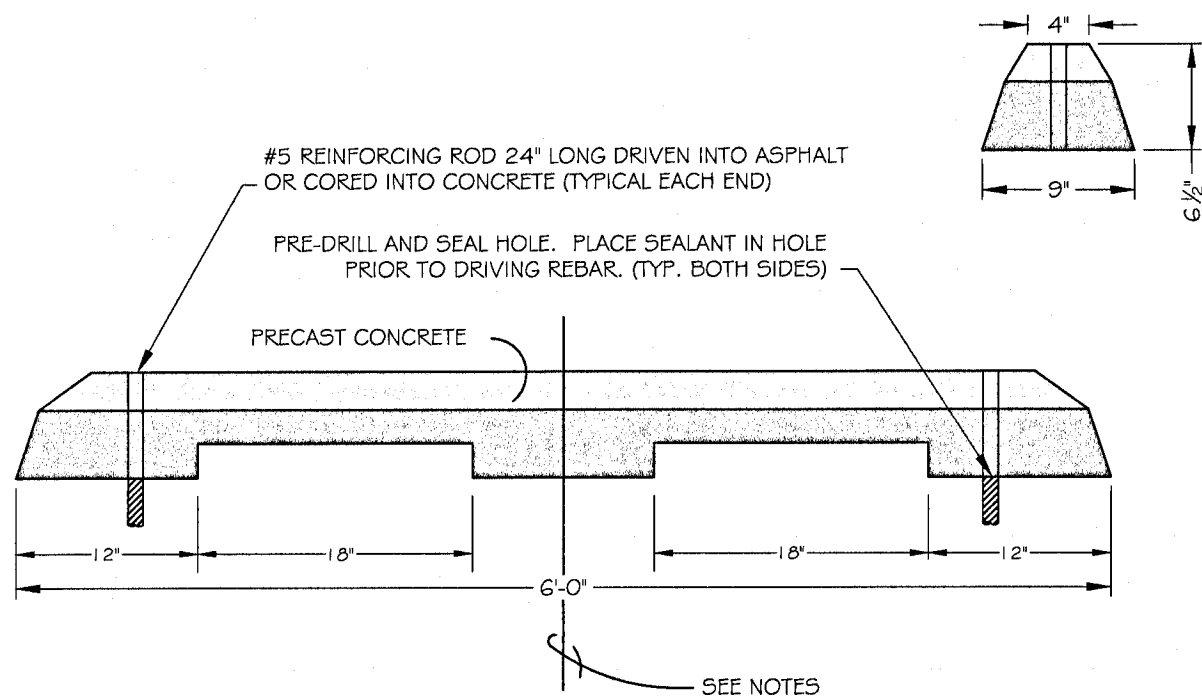


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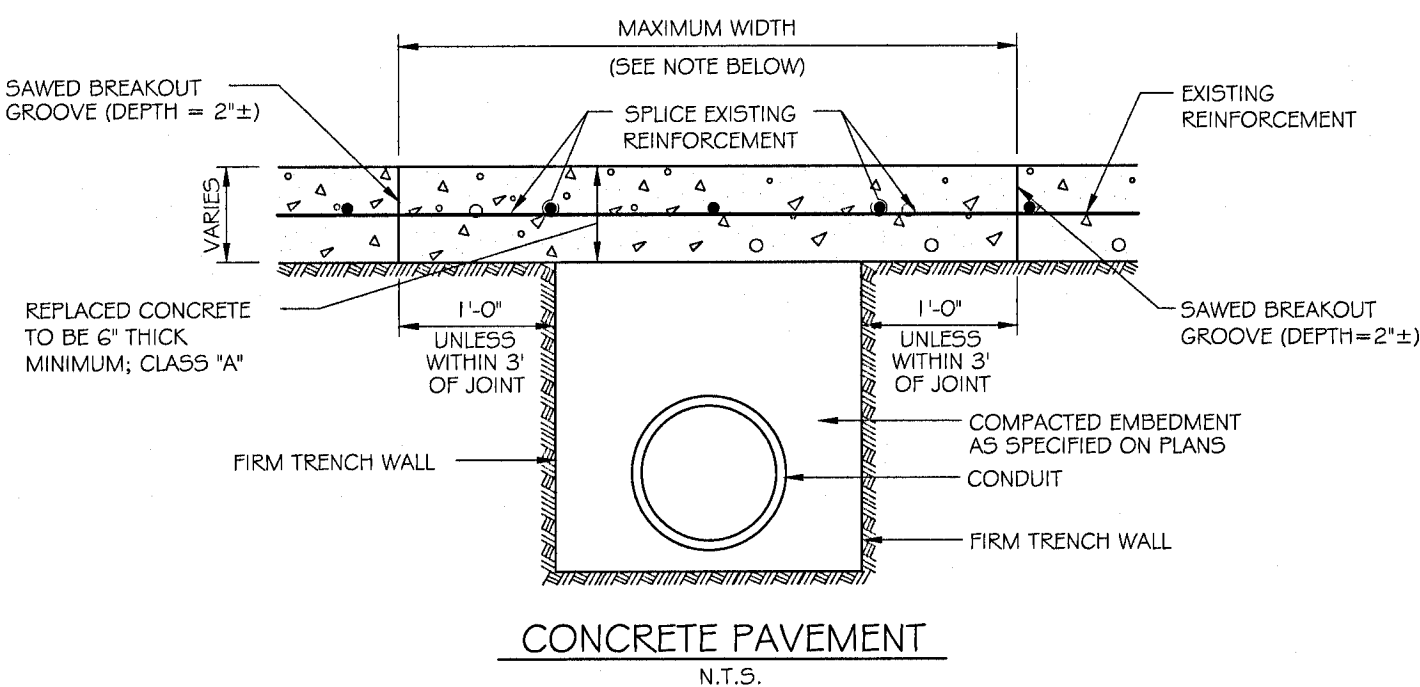
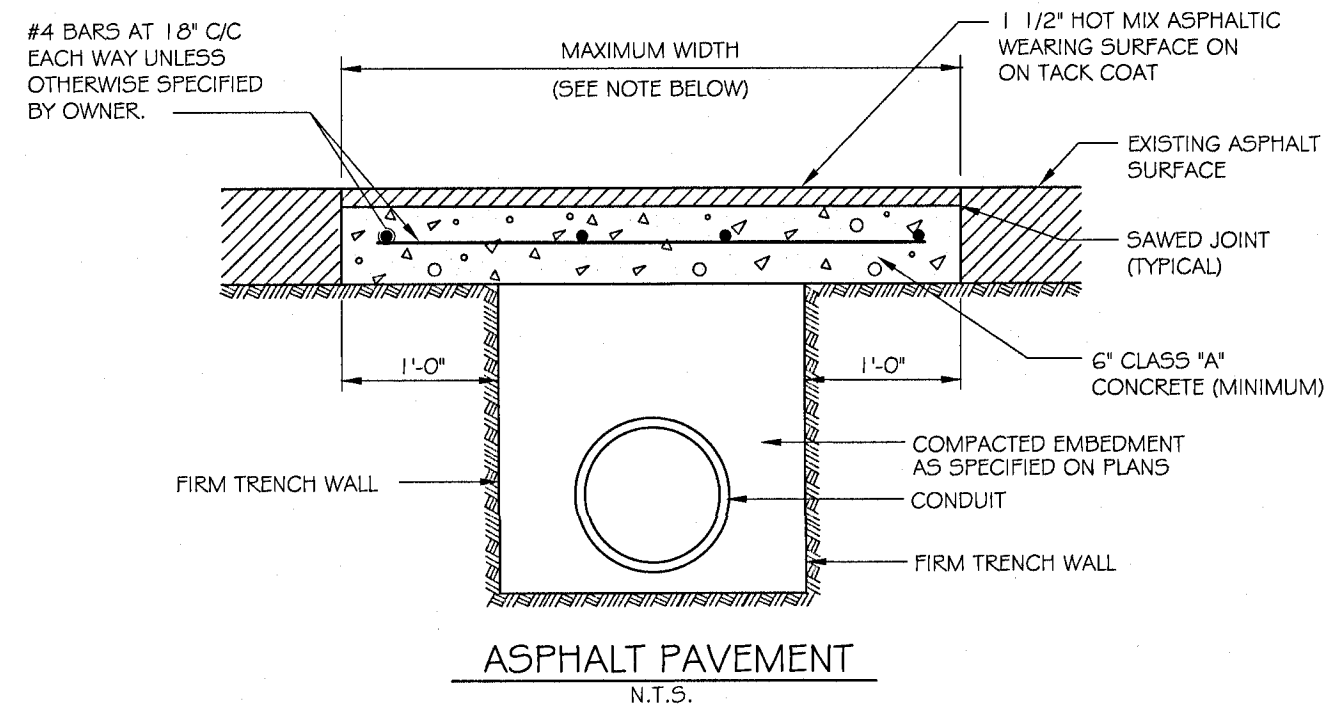


TURN DOWN CURB  
NOT TO SCALE



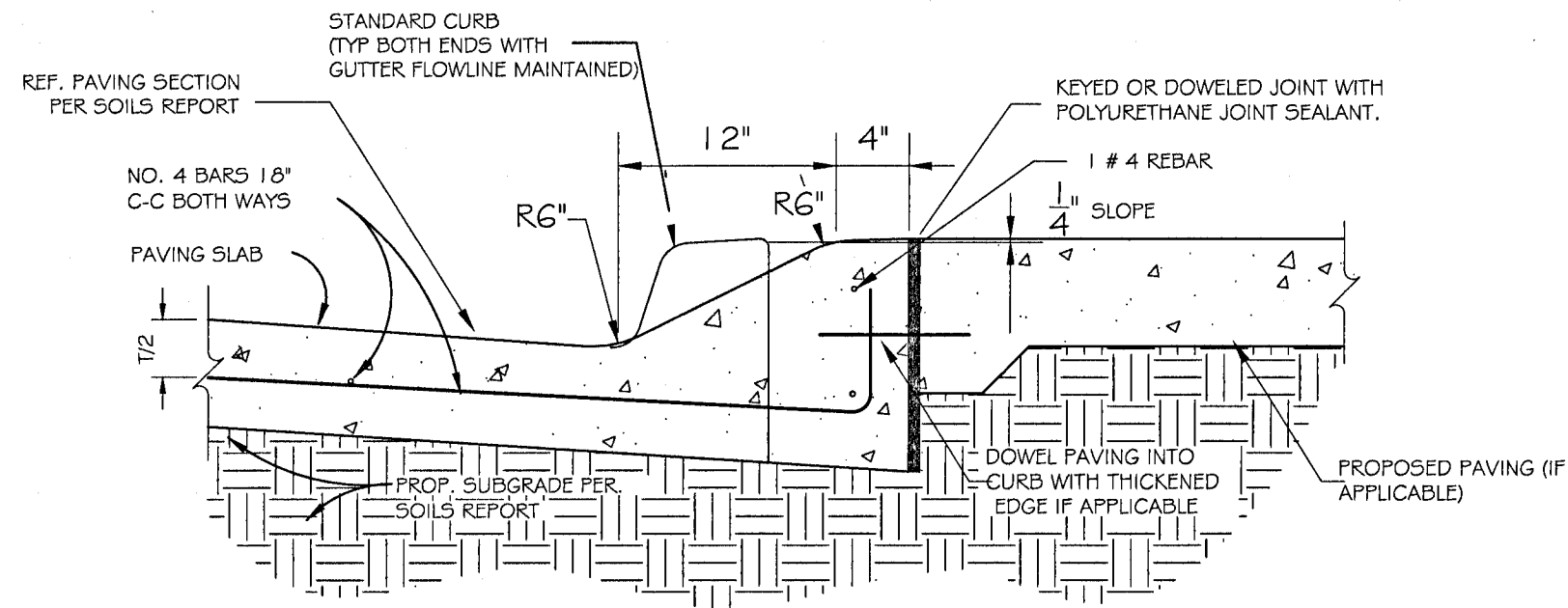
- NOTE:
1. DIMENSIONS MAY VARY AS APPROVED BY ENGINEER/OWNER.
  2. WHEEL STOP SHALL BE CENTERED IN PARKING SPACE AS SHOWN ON SITE PLAN UNLESS NOTED OTHERWISE.
  3. WHEELSTOP SHALL BE PLACED AT 3' FROM FACE OF CURB OR EDGE OF PAVEMENT IN 90° PARKING UNLESS NOTED OTHERWISE.

WHEEL STOP  
NOT TO SCALE

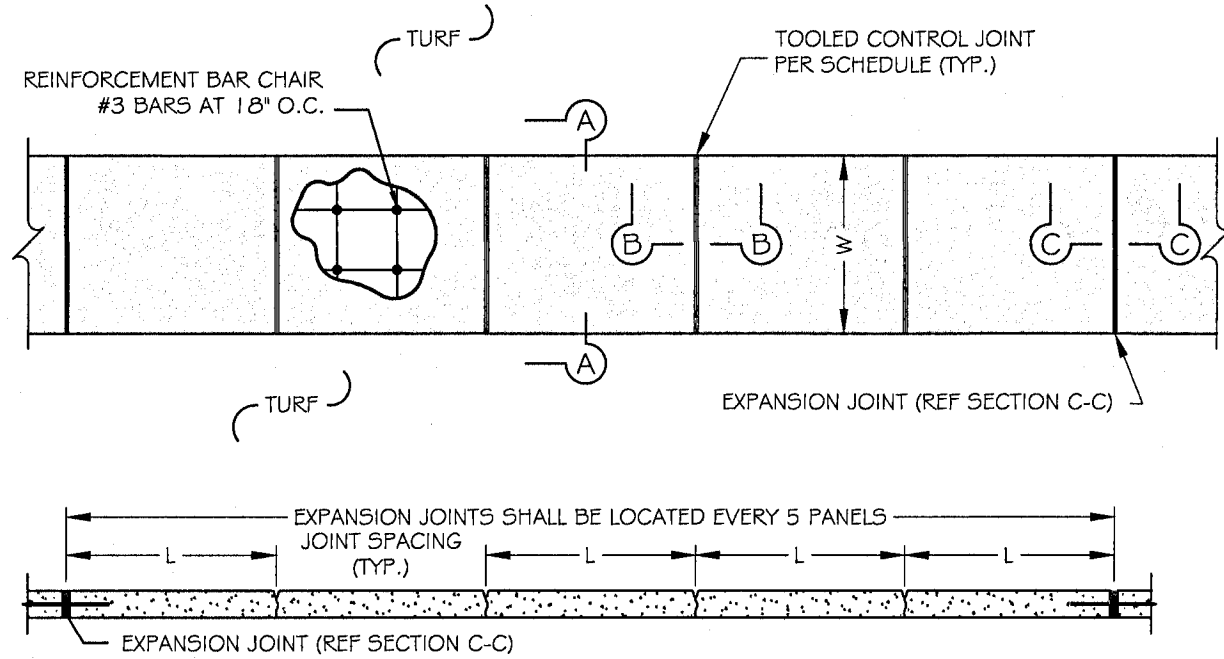


- NOTE:
1. WHEN REMOVING CONCRETE PAVEMENT THE CONTRACTOR SHALL ENDEAVOR TO LIMIT DAMAGE TO EXISTING REINFORCEMENT SO IT MAY BE EMPLOYED IN THE REPLACEMENT OPERATION. IF ORIGINAL REINFORCEMENT IS CUT OR BROKEN, REPLACEMENT BARS OF THE SAME SIZE SHALL BE INSTALLED BY DRILLING AND DOWELING AS DIRECTED BY THE OWNER.

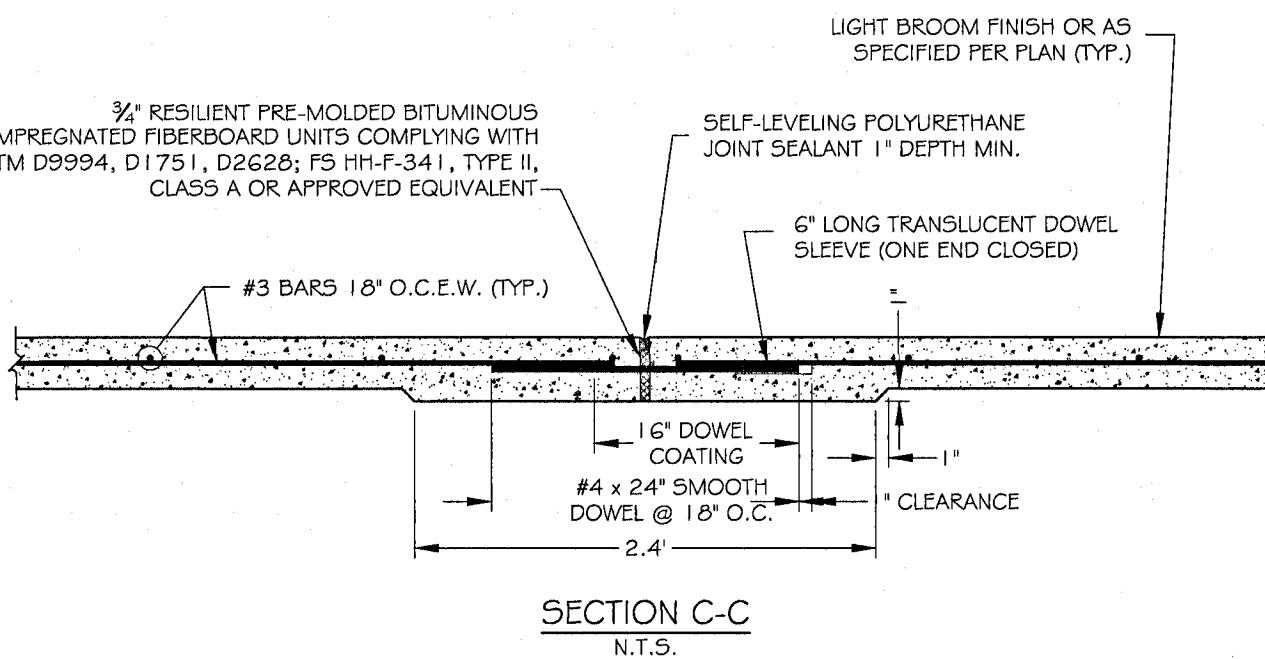
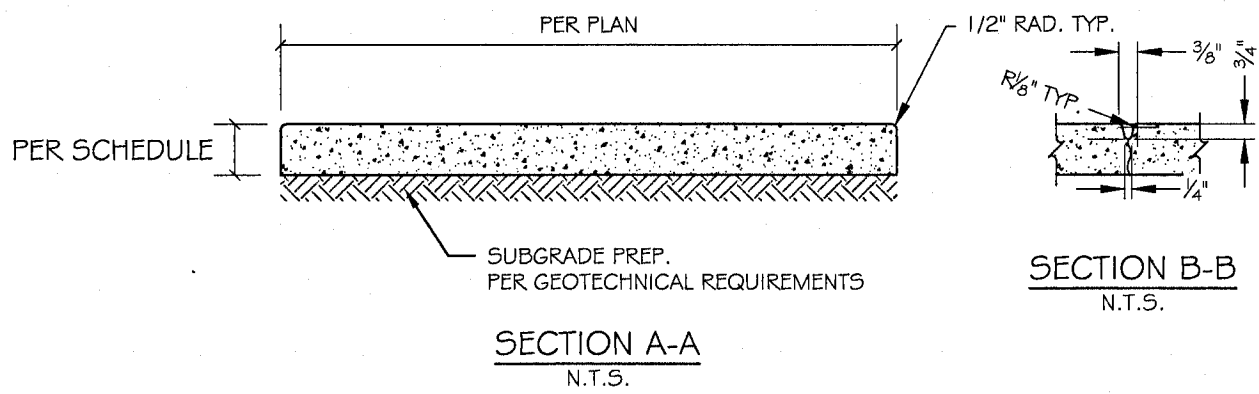
PAVEMENT CUT REMOVAL & REPLACEMENT  
NOT TO SCALE



MONOLITHIC MOUNTABLE CURB  
NOT TO SCALE



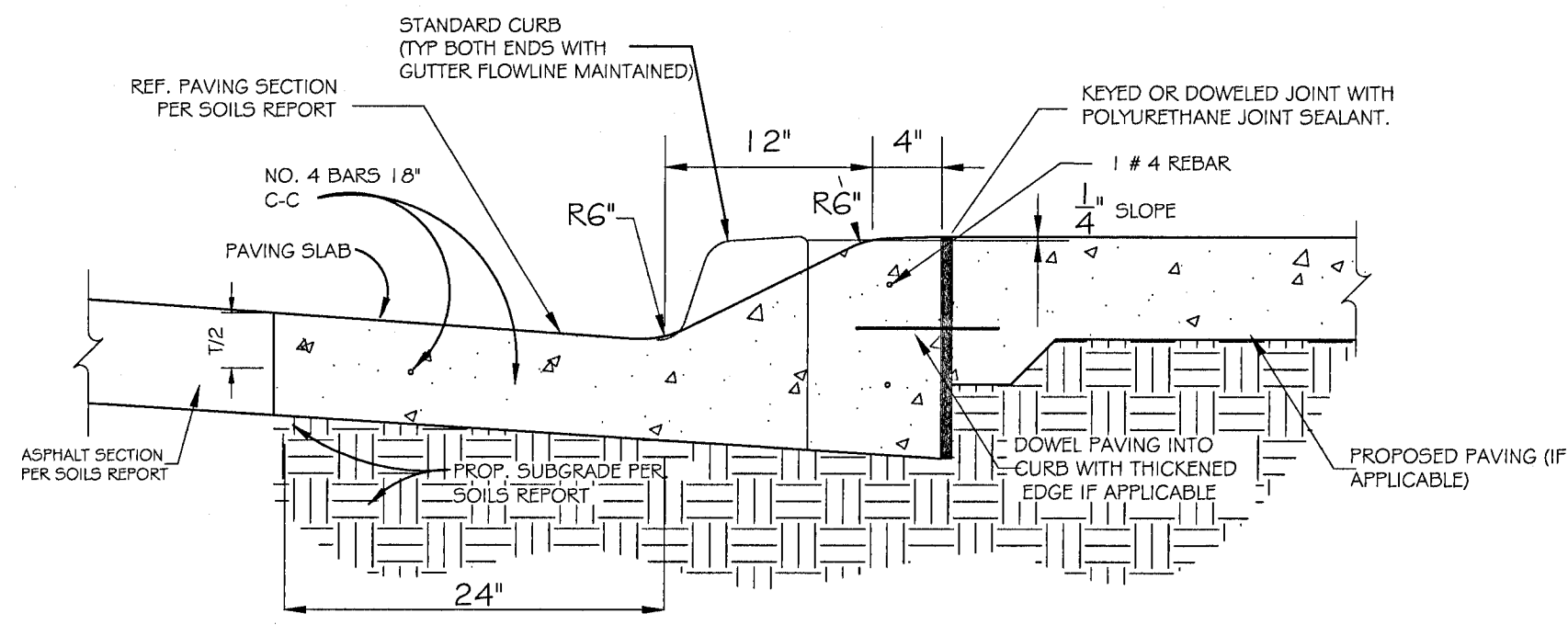
- SIDEWALK NOTES:
1. SAND CUSHION WILL NOT BE PERMITTED UNDER SIDEWALKS OR OTHER PAVEMENT.
  2. DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER.
  3. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS OR AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION, WHICHEVER IS GREATER.
  4. ALL JOINTS LOCATED WITHIN LARGE AREAS OF CONCRETE PLATWORK (PLAZA AREAS OR PAVEMENT BETWEEN BUILDINGS) SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT PER JOINT DETAILS THIS SHEET.
  5. CONTRACTOR SHALL SUBMIT FULL-SIZE SCALEABLE PLAZA AREAS JOINT LAYOUT FOR APPROVAL.
  6. JOINT SEALANT IS NOT REQUIRED ON SIDEWALKS LOCATED IN TURF AREAS.
  7. ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR SIDEWALKS.



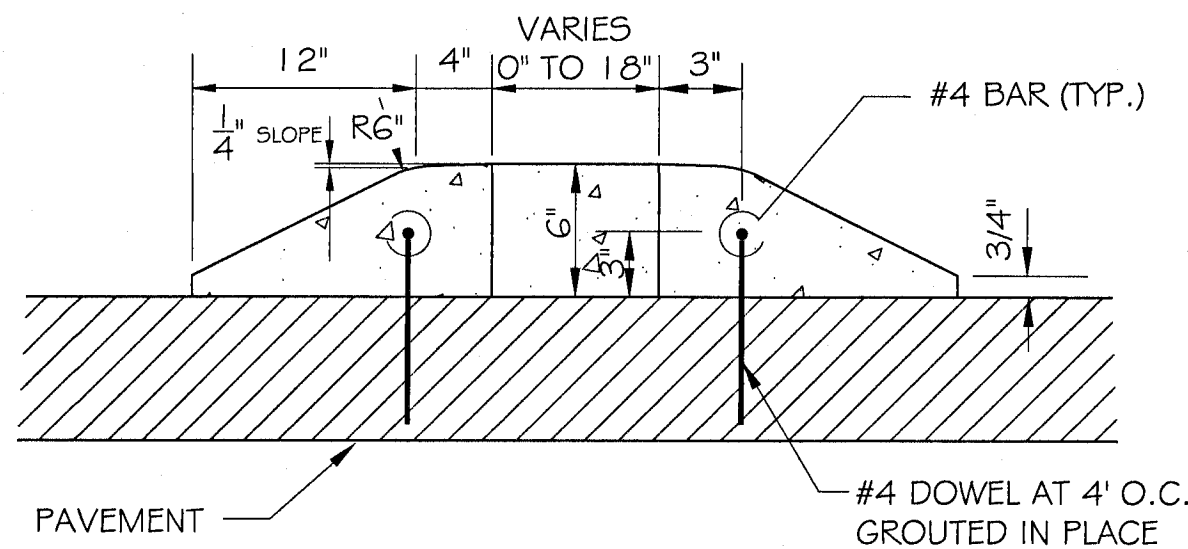
- NOTES:
1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF  $\frac{1}{8}$ " GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
  2. DOWEL COATING SHALL BE ASPHALTIC COATING.

SIDEWALK PANEL SCHEDULE		
SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)
4	4	4
5	4	5
6	4	5
7	5	7
8	5	8
9	5	9
10	5	10

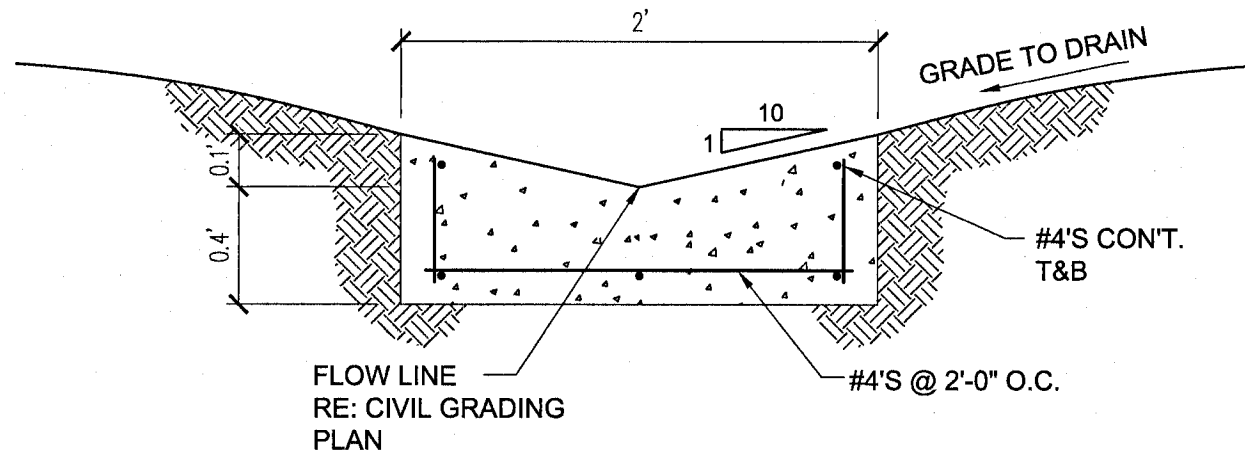
LANDSCAPE SIDEWALK  
NOT TO SCALE



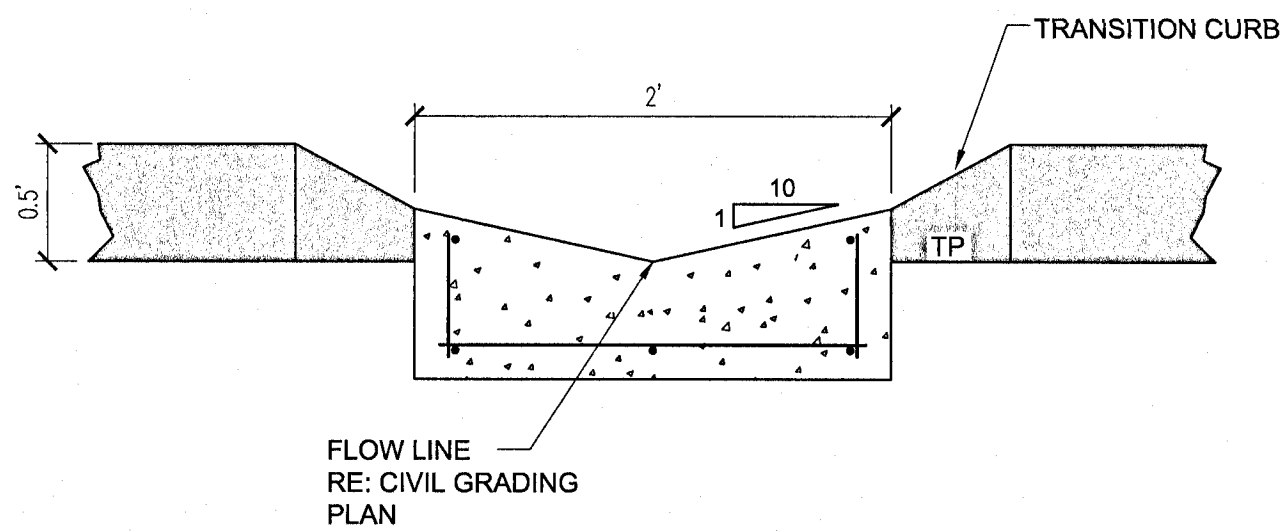
SEPARATE MOUNTABLE CURB & GUTTER  
NOT TO SCALE



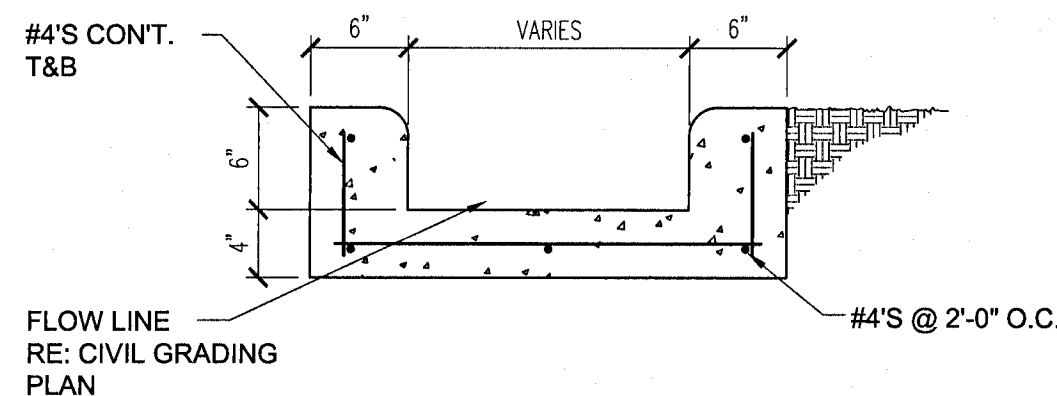
MOUNTABLE CURB RAISED ISLAND  
NOT TO SCALE



V-NOTCH CONCRETE SWALE IN GRASS AREA  
NOT TO SCALE



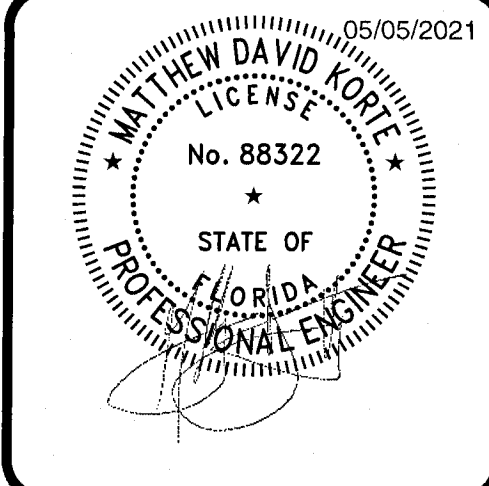
V-NOTCH CONCRETE SWALE & TRANSITION CURB  
NOT TO SCALE



CONCRETE FLUME  
NOT TO SCALE

NOT FOR CONSTRUCTION

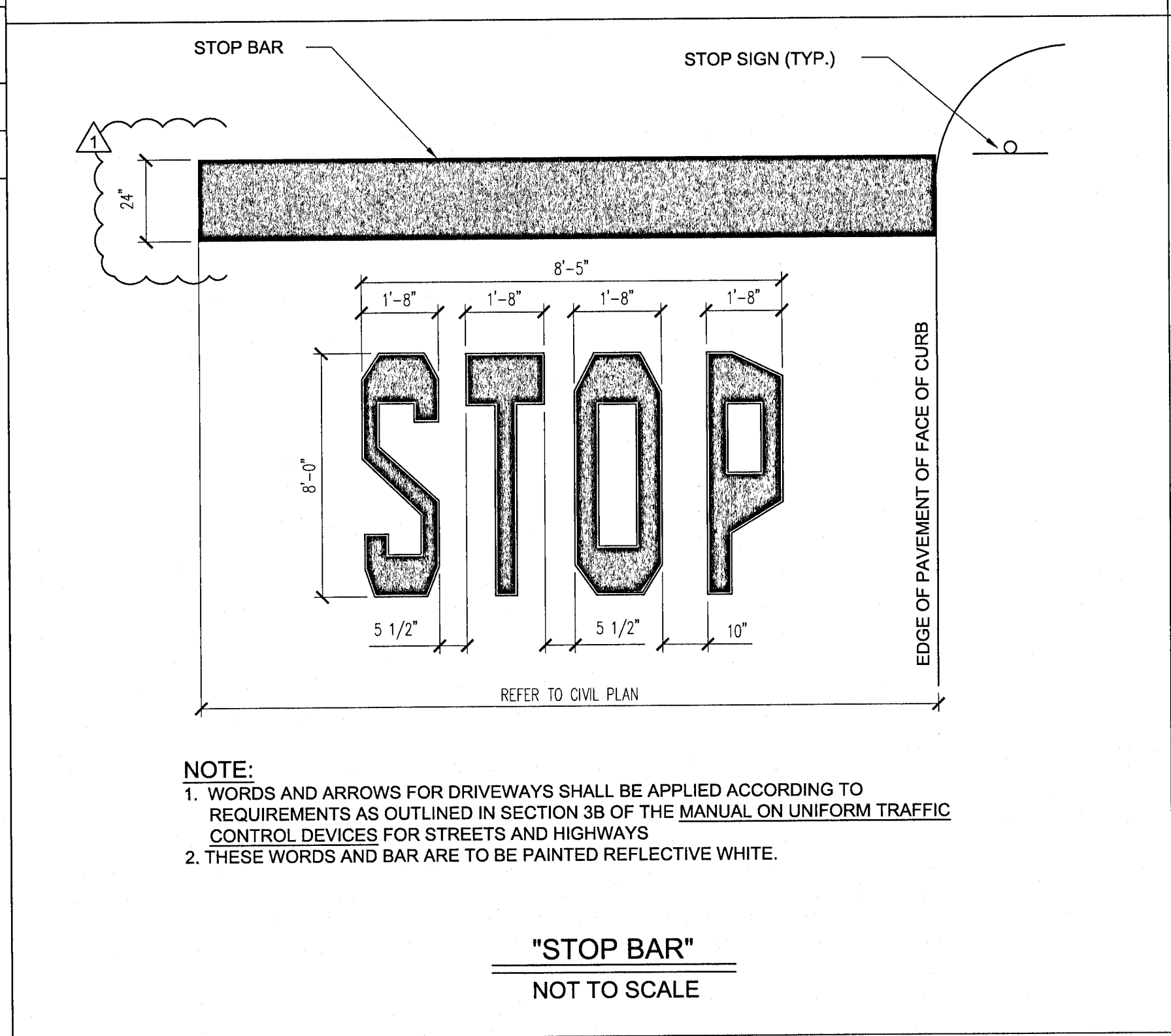
BY	MEG
DESCRIPTION	ISSUE FOR PERMIT
REV	DATE
04/15/2021	
ADAMS JOB NO:	2020.037
Certificate Of Authorization: #27614	




McDonald's USA, LLC	McDonald's USA, LLC and all other trademarks are the property of McDonald's USA, LLC and are not to be used without the written permission of McDonald's USA, LLC.
58897 WEST NINE MILE ROAD	PENSACOLA, FLORIDA


DESIGNED	JAN 2021	MEG
DRAWN	JAN 2021	MEG
CHECKED	APR 2021	MDK
AS-BUILT		
STANDARD DETAILS		
C10.3		





PLAN APPROVALS		OFFICE	NASHVILLE FIELD OFFICE	MCDONALD'S UC: 009-5872
SIGNATURE (2 REQUIRED)		ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	
REGIONAL MGR	DATE	<div><h2>McDonald's USA, LLC</h2><p>These drawings and specifications are the intellectual and proprietary property of McDonald's USA, LLC and shall remain the property of McDonald's USA, LLC. No contract documents were prepared for use on this specific site in conjunction with this issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for resale or transfer of project is not authorized.</p></div>		
CONST. MGR				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES				
CONTRACTOR		5897 WEST NINE MILE ROAD PENSACOLA, FLORIDA		
OWNER				
DESIGNED	JAN 2021	DATE	BY	
DRAWN	JAN 2021		MEG	
CHECKED	APR 2021		MDK	
AS-BUILT				
STANDARD DETAILS				
C10.4				


REV		DATE	DESCRIPTION	BY
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1		05/04/2021	REVISED PER ESCAMBIA COUNTY	MEG
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			ADAMS JOB NO.: 2020.037	
			Certificate Of Authorization: #27614	



# Adams

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05/05/2021

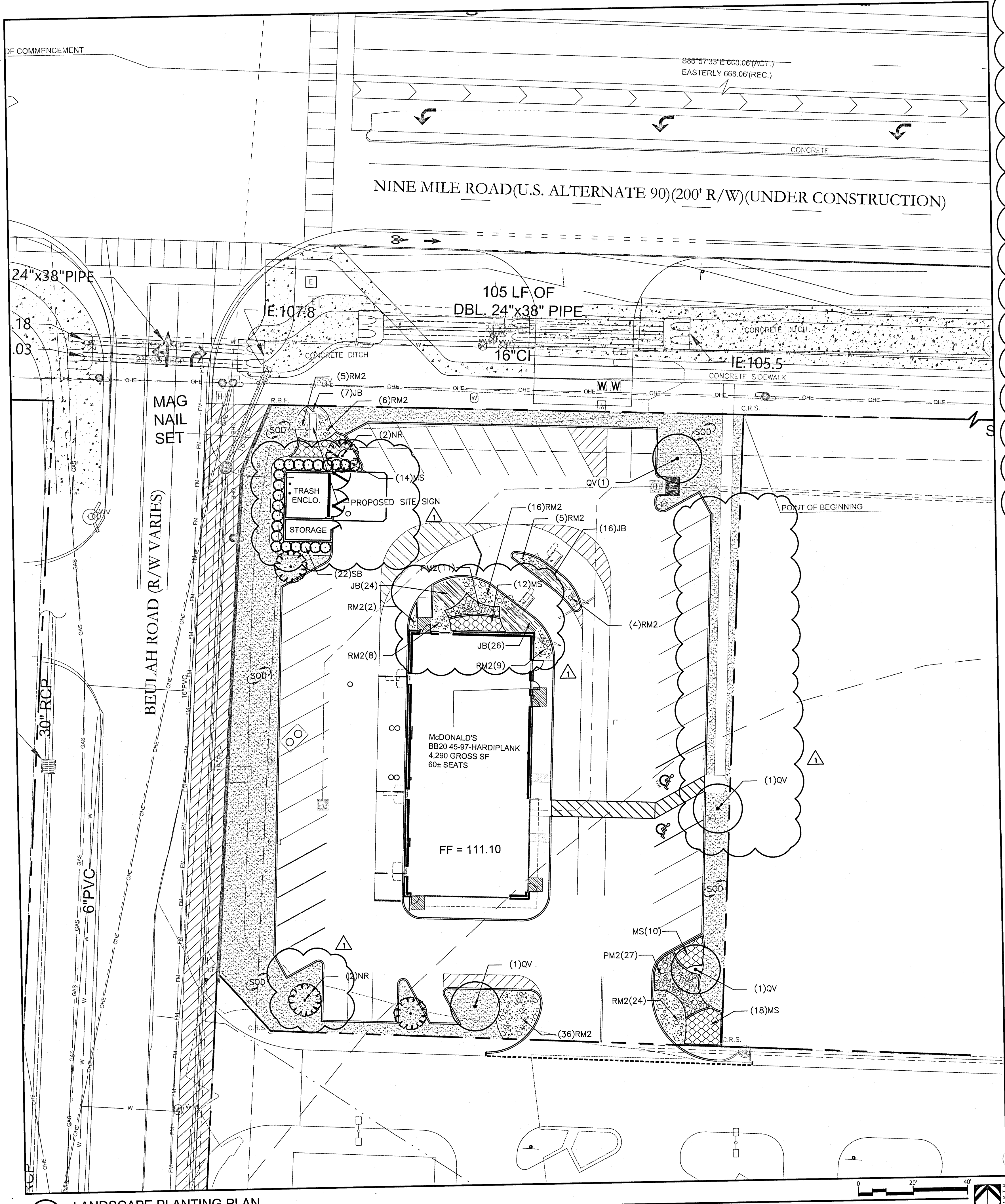


Matthew David Kori  
No. 88322  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER









ESCAMBIA COUNTY DSM COMPLIANCE

- QUALITY. ALL PLANTS ARE TO BE FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AS NOTED IN THE GENERAL PLANTING NOTES.
- SPECIES. ALL PLANTS ARE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING™ GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. ALL PROPOSED TREES WILL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING AS SPECIFIED IN THE PLANTING SCHEDULE. THESE TREES ALSO MEET THE FOLLOWING CRITERIA:
  - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
  - DIVERSITY. THE PROPOSED TREE DIVERSITY MEETS THE MINIMUM COUNTY REQUIREMENTS.
- INSTALLATION. WHENEVER LANDSCAPING IS REQUIRED OR ANY CONDITION OF COUNTY APPROVAL, IT SHALL BE INSTALLED IN A SOUND MANNER ACCORDING TO ESTABLISHED PROFESSIONAL STANDARDS, AND IN COMPLIANCE WITH THIS MANUAL.
- PLANT PLACEMENT. THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.
- SIGHT DISTANCES. LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 5 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE. THE TRUNKS OF MATURE TREES TRIMMED OF FOLIAGE TO NINE FEET, AND NEWLY PLANTED TREES WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS.
- MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.
- MINIMUM TREE SPACING. EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.
- OVERHEAD UTILITIES. WHERE OVERHEAD UTILITIES EXIST, PLANTS PROPOSED WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE INSTALLED. ALL TREES PLANTED DIRECTLY BELOW POWER LINES SHALL BE AN UNDERSTORY TREE. ALL CANOPY TREES PLANTED SHALL BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.

LANDSCAPE INSTALLATION NOTES

- ALL PROTECTED TREE REMOVAL, LAND CLEARING, FILLING/PLACEMENT OF ANY FILL MATERIALS, GRADING, EXCAVATIONS, BERMING, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.
- PROPOSED LANDSCAPE IS ASSUMED TO BE INSTALLED AFTER THE COMPLETION OF THE SITE WORK. SHOULD TREES BE INSTALLED PRIOR TO THE COMPLETION OF SITE WORK, TREE BARRICADES SHALL BE INSTALLED AROUND PLANTED TREES UNTIL ALL SITE WORK IS COMPLETE AND THE SITE BECOMES STABILIZED.

COMMERCIAL LANDSCAPE REQUIREMENTS (DSM-2.2.1)

Total Site Area:	42,277 s.f.
Required Landscape Area (15%):	6,342 s.f.
Provided Landscape Area:	10,026 s.f.

PLANT SCHEDULE

TREES		CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	
	NR	4	Ilex 'Nellie R. Stevens' / Nellie R. Stevens Holly	FG	2.5" Cal	8'		⚠
	QV	4	Quercus virginiana / Southern Live Oak	FG	2.5" Cal	12'		
SHRUBS		CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	W	SPACING
	SB	22	Viburnum odoratissimum / Sweet Viburnum	3 gal				48" o.c.
	MS	54	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	3 gal				36" o.c.
SHRUB AREAS		CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	W	SPACING
	PM2	38	Pittosporum tobira 'Mojo' / Mojo Japanese Pittosporum	3 gal				36" o.c.
	JB	73	Juniperus conferta 'Blue Pacific' / Blue Pacific Shore Juniper	1 gal				24" o.c.
GROUND COVERS		CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT		SPACING
	RM2	115	Rosa x 'Meisortland' / Å® Rose White Drift	3 gal				30" o.c.
	SOD	7,685 sf	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	sod				
SOD/SEED		CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT		SPACING

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A Landscape Development Plan for  
**McDonalds 5901 West 9 Mile Rd**  
Escambia County, Florida

Revisions		Revisions / Submissions
No.	Date	
02.23.21	02.23.21	DRAFT FOR CLIENT REVIEW
04.29.21	04.29.21	PERMIT SUBMITTAL

YJ  
Drawn  
DM  
Checked  
202044-003  
Project No.  
02.22.21  
Date

Registration

Digitally signed by  
Lester C Watkins  
Date: 2021.04.28  
21:05:34 -05'00'  
Drawings not valid without seal

LANDSCAPE  
PLANTING PLAN

Sheet No.  
**LP100**



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A Landscape Development Plan for  
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Escambia County, Florida

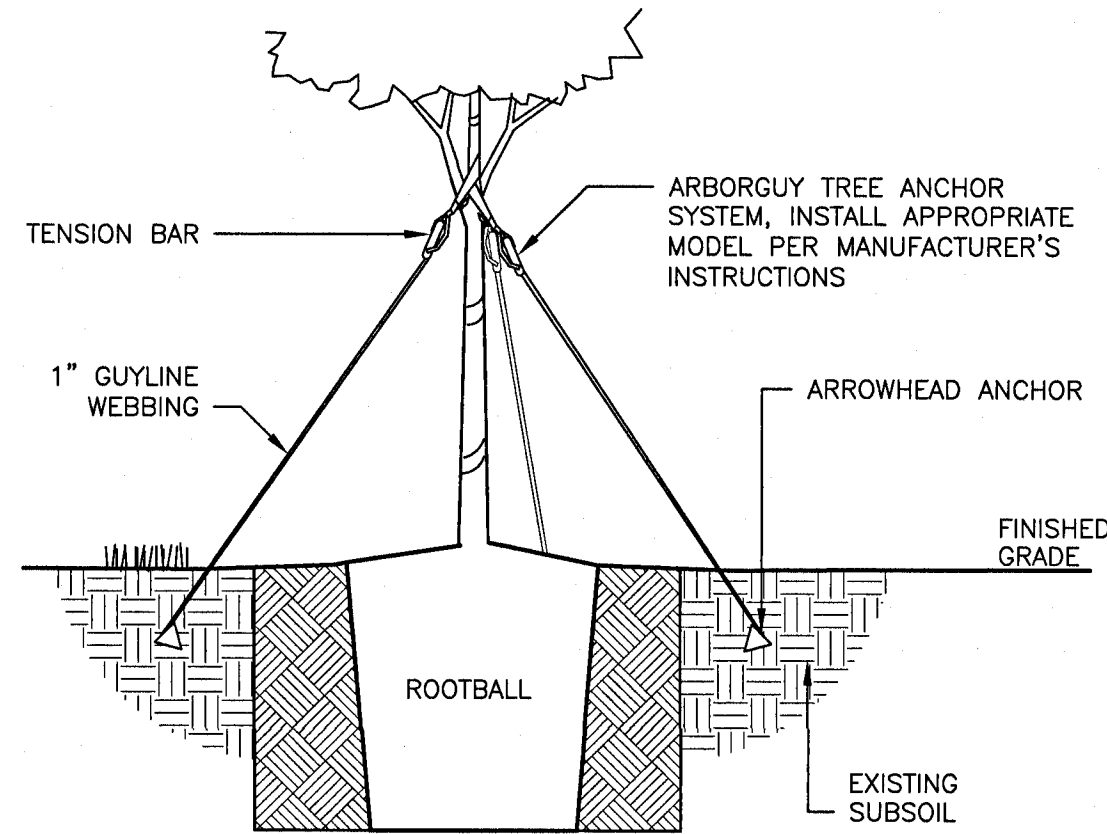
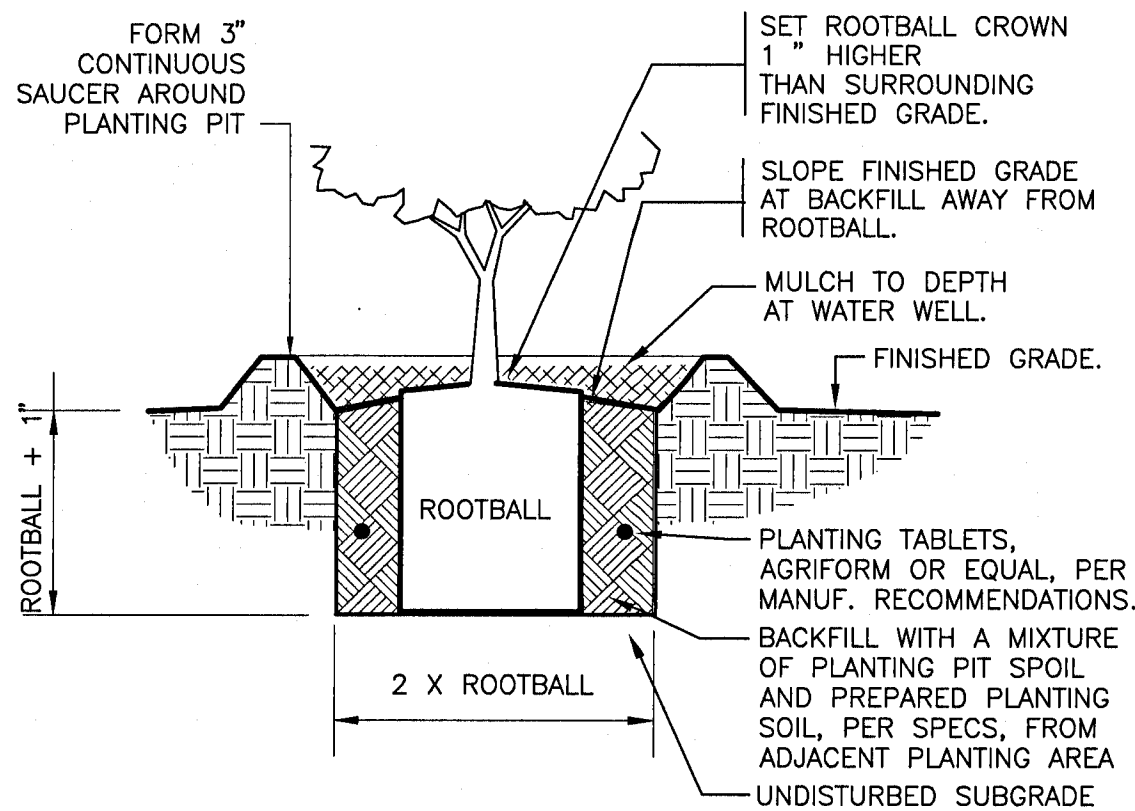
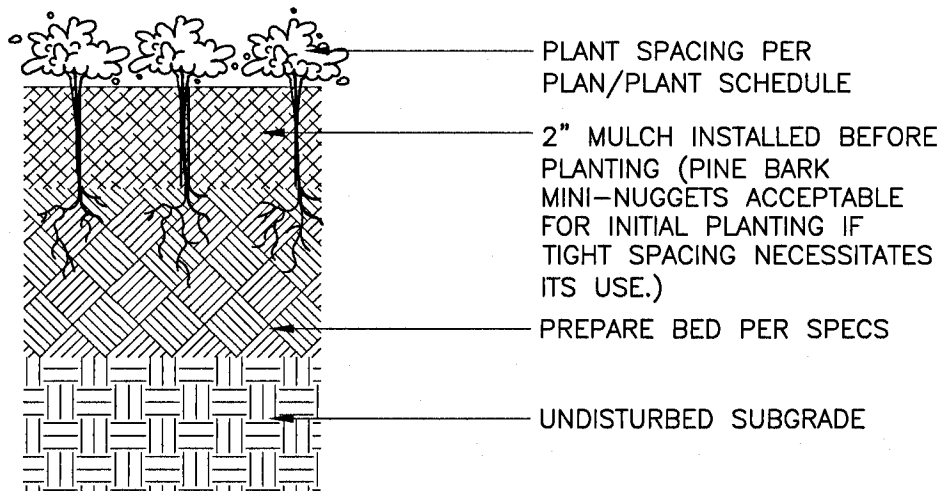
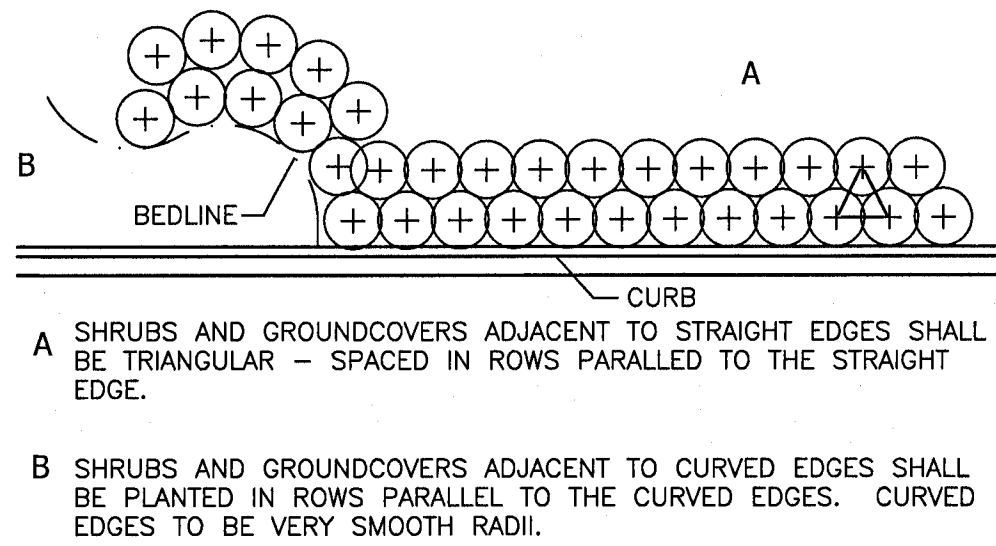
Revisions		
No.	Date	Revisions / Submissions
02.23.21		DRAFT FOR CLIENT REVIEW
04.29.21		PERMIT SUBMITTAL

YJ	Registration	21-0555-05'00'
Drawn		
DM		
Checked		
202044-003		
Project No.		
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Date		
Digitally signed by Lester C Watkins Date: 2021.04.28 Drawings not valid without seal		

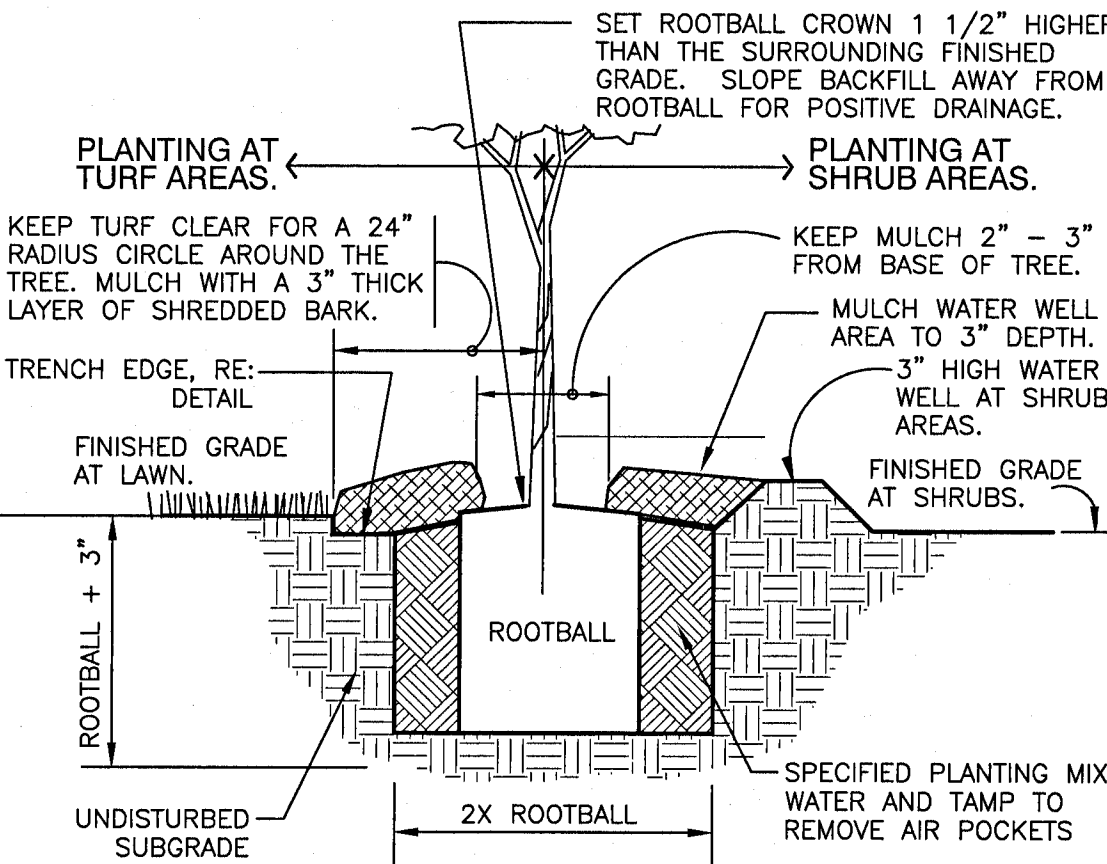
Sheet Title

**LANDSCAPE  
PLANTING DETAILS**

Sheet No.  
**LP500**



STAKING DETAIL



PLANT PIT DETAIL

**GENERAL CONDITIONS**

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR ONE FULL YEAR FROM DATE OF INSTALLATION.
- ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.

**PLANTING BED PREPARATION**

- COMPOST SHALL BE ADDED TO ALL PLANTING AREAS. COMPOST TYPE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 1 TO 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 TO 1 INCH. INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 TO 8 INCHES AND IN SOD AREAS TO A DEPTH OF 4 TO 6 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS NECESSARY.
- RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
- THE SOIL SURFACE SHALL BE REASONABLY FREE OF LARGE CLODS, ROOTS, STONES GREATER THAN 2 INCHES, AND OTHER MATERIAL WHICH WILL INTERFERE WITH PLANTING AND SUBSEQUENT SITE MAINTENANCE.
- WATER THOROUGHLY AFTER PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

**PLANT MATERIAL AND PLANTING**

- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT THE JOB SITE. PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "GRADES AND STANDARDS FOR NURSERY PLANTS", PART I, CURRENT EDITION, AND PART II, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA.
- UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:

- ☐ 3" DEPTH PINE BARK
- ☐ 4" DEPTH SHREDDED HARDWOOD MULCH
- ☒ 3" DEPTH PINESTRAW

- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
- TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

**GENERAL PLANTING NOTES**

**1 TYPICAL PLANT SPACING**

NOT TO SCALE

**2 GROUNDCOVER PLANTING**

3" = 1'-0"

**3 SHRUB PLANTING**

1" = 1'-0"

**4 TREE PLANTING - GUY STRAP**

1" = 1'-0"

**5 GENERAL PLANTING NOTES**

1" = 1"

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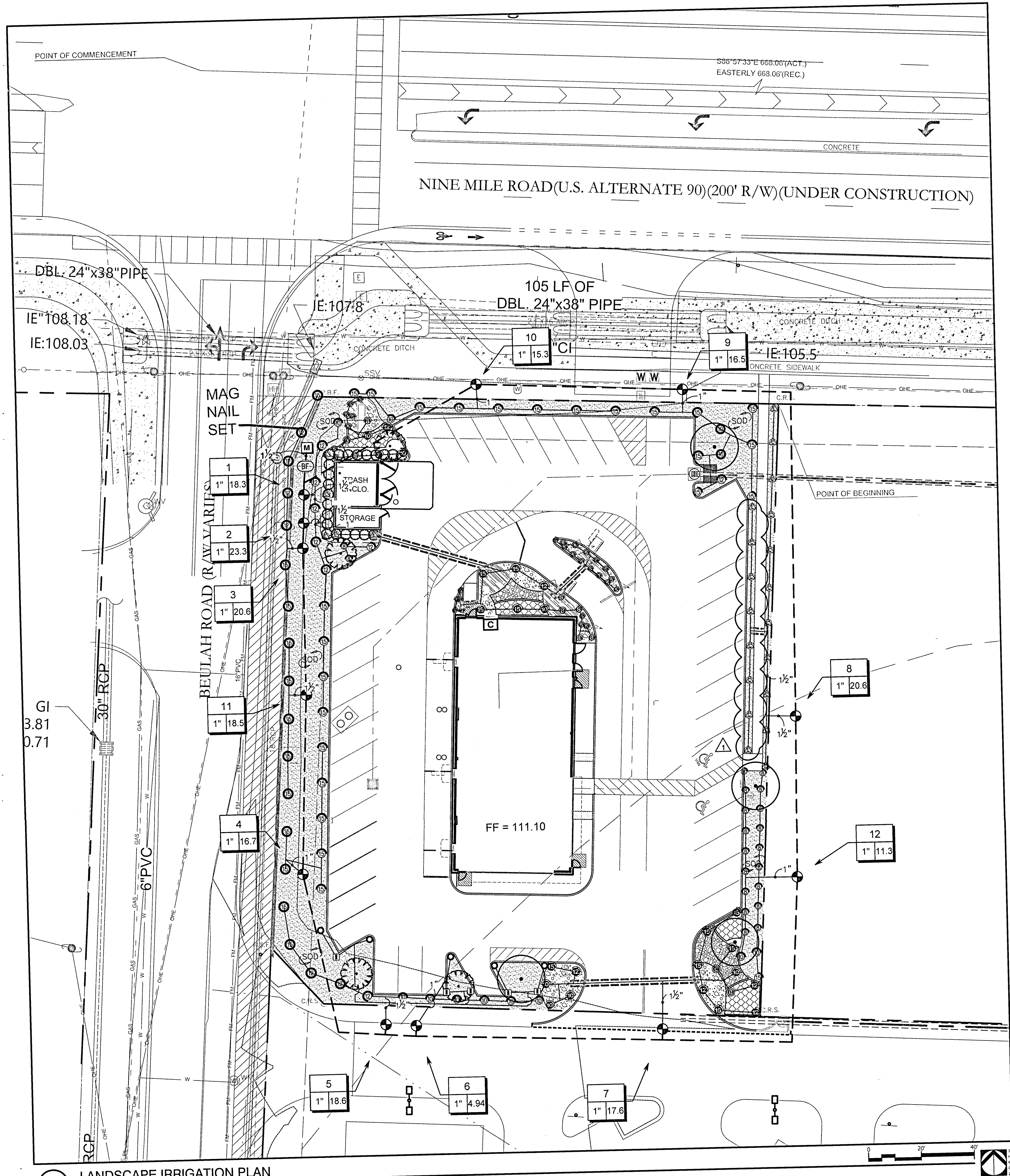
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DETAIL-FILE

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**IRRIGATION GRAPHICS NOTES**

IRRIGATION SYSTEM DESIGN GRAPHICS ARE DIAGRAMMATIC IN NATURE, AND INTENDED TO INDICATE GENERAL LOCATION AND PROXIMITY TO OTHER ELEMENTS OF THE DRAWING. AS SUCH, MAINLINE AND/OR VALVES ARE OFTEN SHOWN OUTSIDE OF TRENCH FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS OTHERWISE NOTED. SLEEVE SIZES TO BE DETERMINED BY CONTRACTOR UNLESS NOTED ON THE DRAWINGS.

IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1806-SAM-PRS 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	24	30
	Rain Bird 1806-SAM-PRS 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	20	30
	Rain Bird 1806-SAM-PRS 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	12	30
	Rain Bird 1806-SAM-PRS 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	14	30
	Rain Bird 1806-SAM-PRS 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating.	37	30
	Rain Bird 1806-SAM-PRS 5 Series MPR Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	29	30
	Rain Bird 1806-SAM-PRS 8 Series MPR Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	10	30
	Rain Bird 1806-SAM-PRS 10 Series MPR Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	8	30
	Rain Bird 1806-SAM-PRS 12 Series MPR Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	6	30
	Rain Bird 1806-SAM-PRS 15 Series MPR Shrub Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve, and Pressure Regulating Device.	10	30
	Rain Bird R-VAN-1724 1806-SAM-P45 Turf Rotator, 17'-24" Hand Adjustable Rotary Stream, w/1800 turf spray body, 6.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	10	40
	Rain Bird PGA Globe 1" 1", 1-1/2", 2" Electric Remote Control Valve, Globe.	12	
	Apollo Valves 4A107A4F 1-1/2" Dual check valve backflow preventer, inlet size 1-1/2", union end ball valves, SAE testcocks	1	
	Rain Bird ESP4ME with (3) ESP-SM3 13 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1	
	Water Meter 1-1/2" Design Criteria, 75 GPM @ 60 PSI, Contractor to verify	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21 Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	0.1 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1" Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	1,959 l.f.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2" Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	86.4 l.f.	
	Irrigation Mainline: PVC Class 200 SDR 21 1 1/2"	846.4 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	128.3 l.f.	
	Valve Callout		
	Valve Number		
	Valve Flow		
	Valve Size		

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No.	Date		
	02.23.21	DRAFT FOR CLIENT REVIEW	
	04.29.21	PERMIT SUBMITTAL	

YJ  
Drawn  
DM  
Checked  
202044-003  
Project No.  
02.22.21  
Date

Registration  
FL 14669898  
Digitally signed by  
Lester C Watkins  
Date: 2021.04.28  
21:06:11 -0500  
Drawing is void without seal

**LANDSCAPE  
IRRIGATION PLAN**

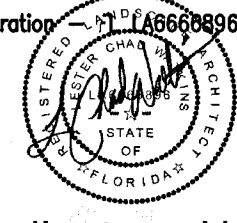
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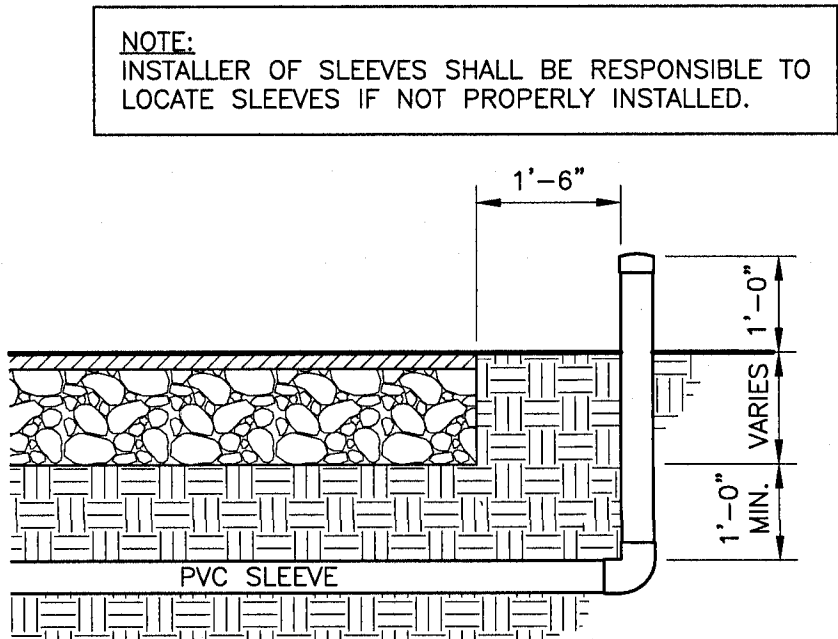
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02.22.21	Lester C Watkins	
Date	Date: 2021.04.28	
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Sheet Title

**LANDSCAPE  
IRRIGATION DETAILS**

Sheet No.

**LI500**



**7 SLEEVING DETAIL**

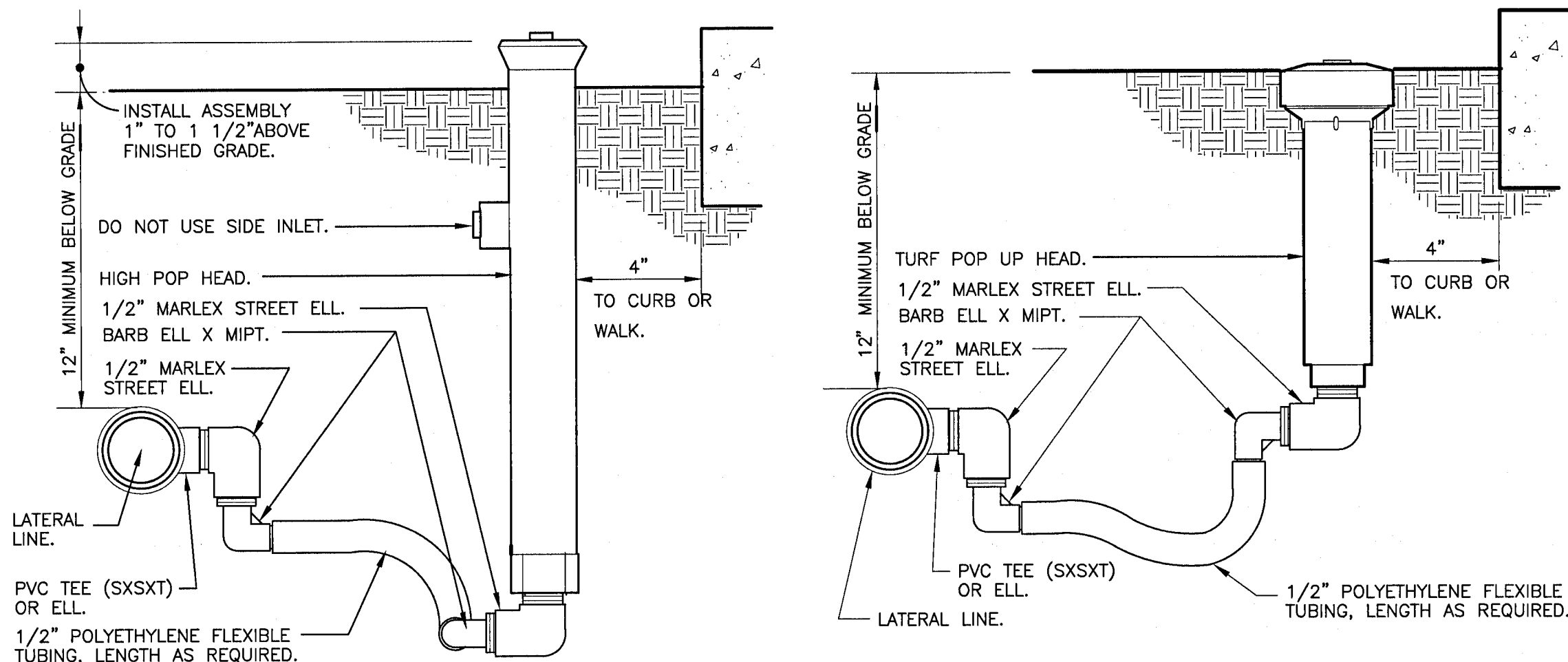
1/2" = 1'-0"

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**6 GENERAL IRRIGATION NOTES**

1" = 1"

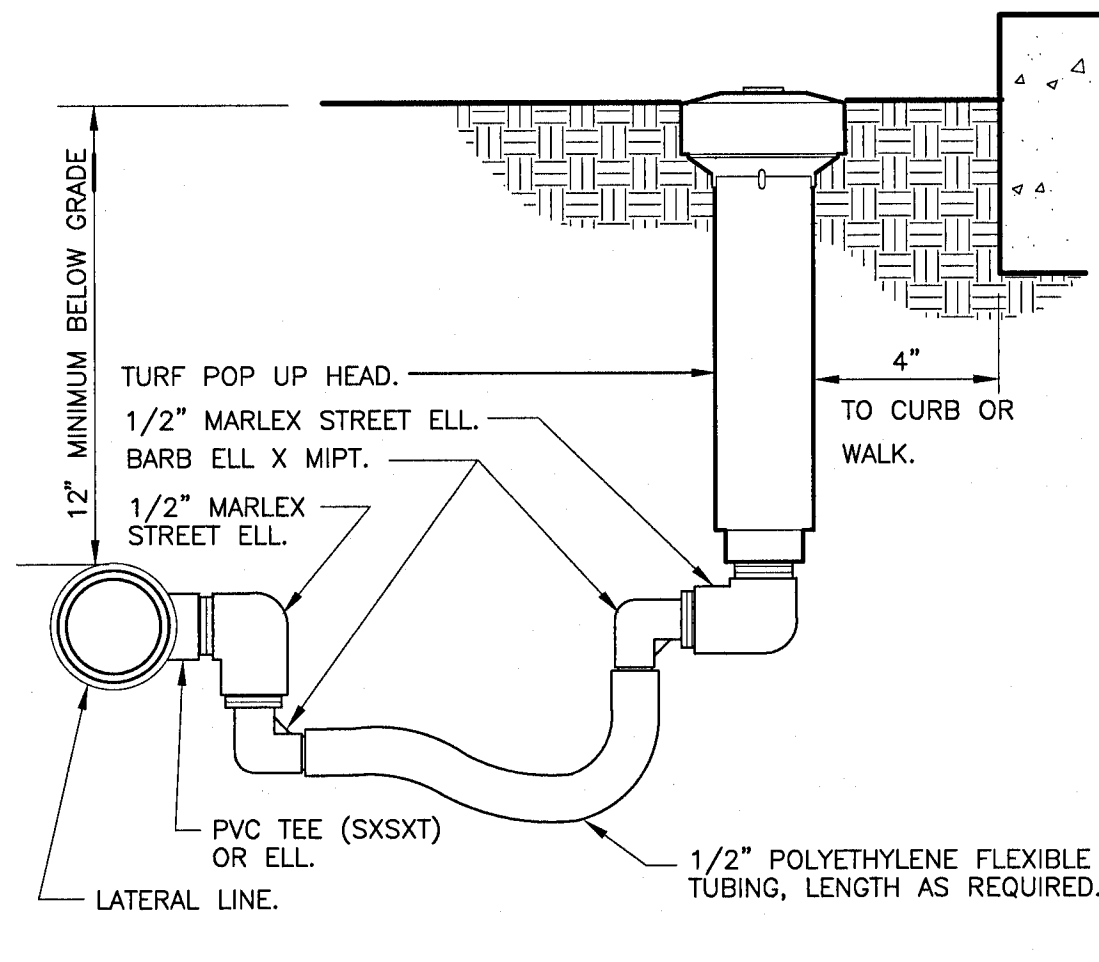
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**1 SHRUB SPRAY HIGHPOP W/ FLEX ASSEMBLY**

3" = 12"

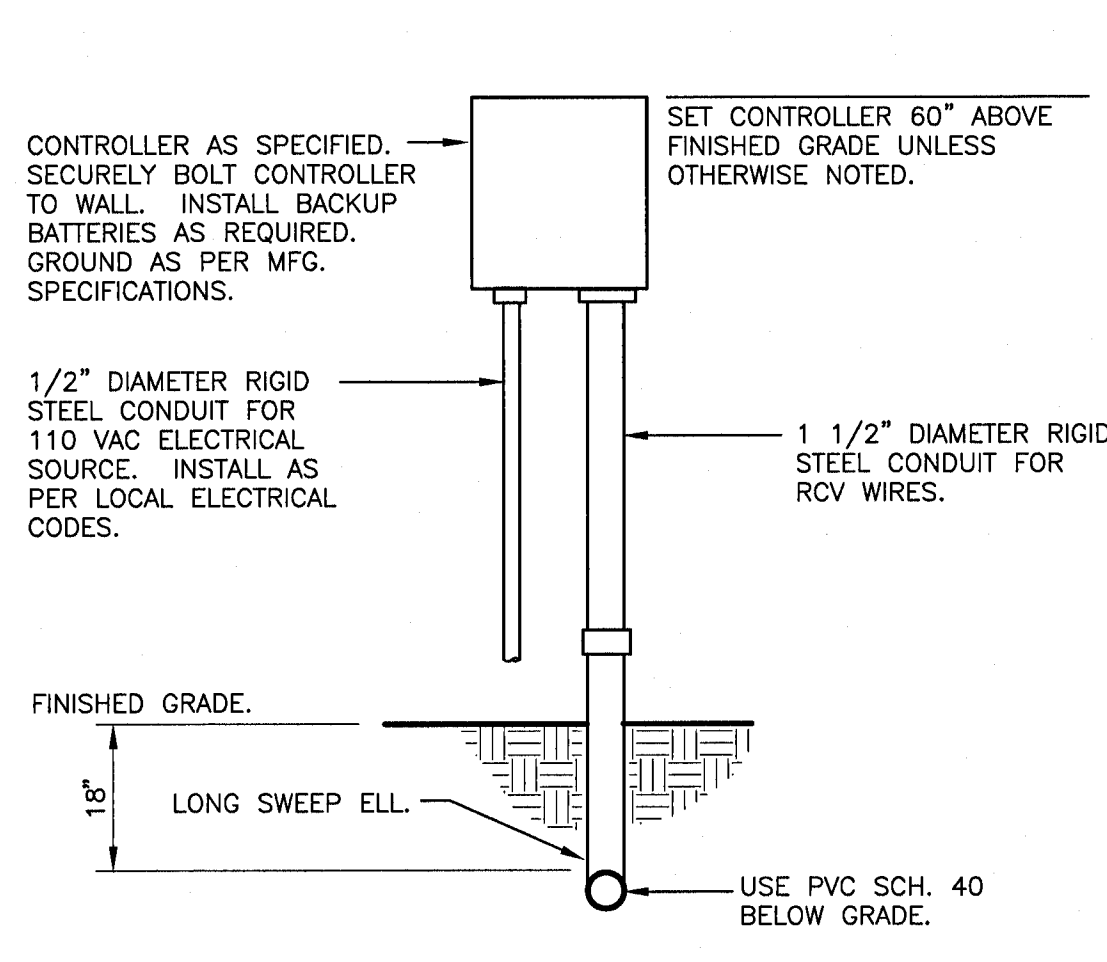
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**2 TURF SPRAY FLEX ASSEMBLY**

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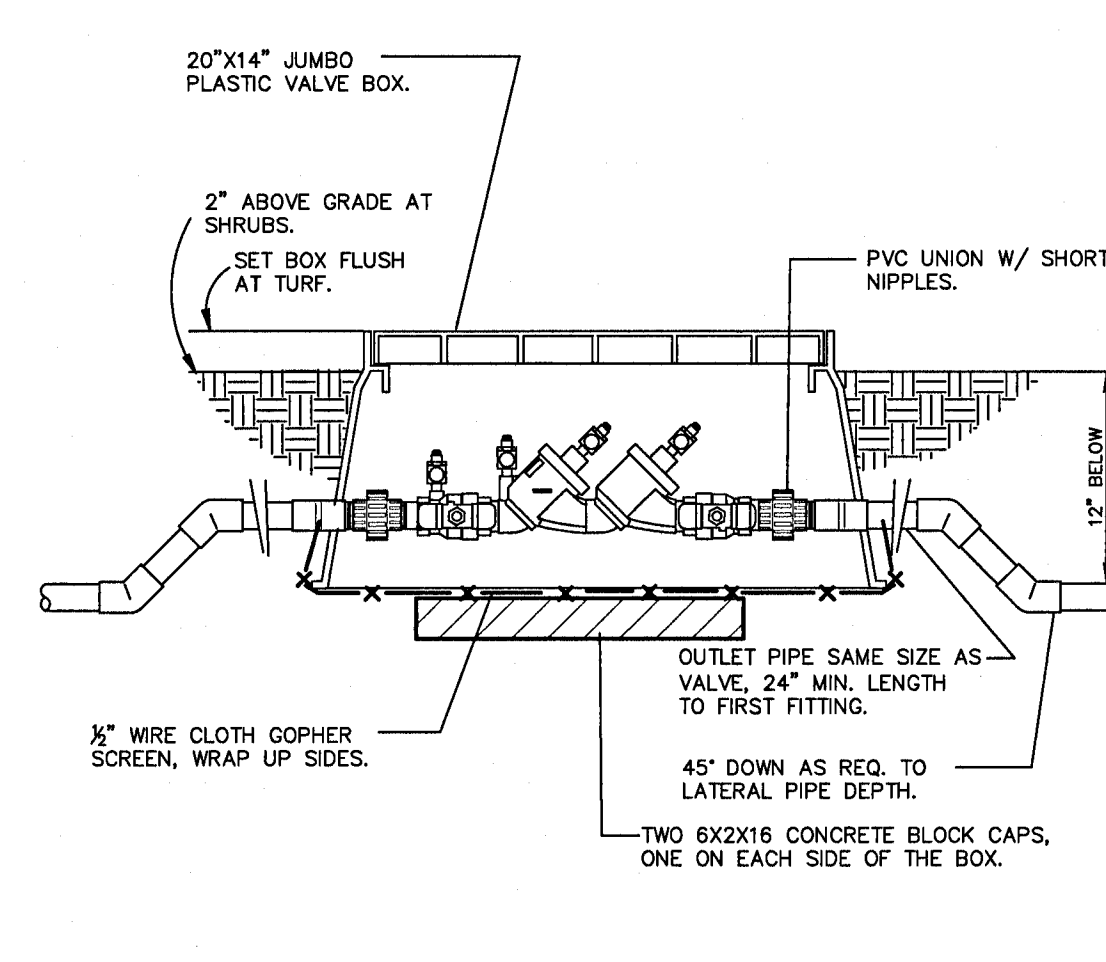
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**3 WALL MOUNT CONTROLLER**

1" = 12"

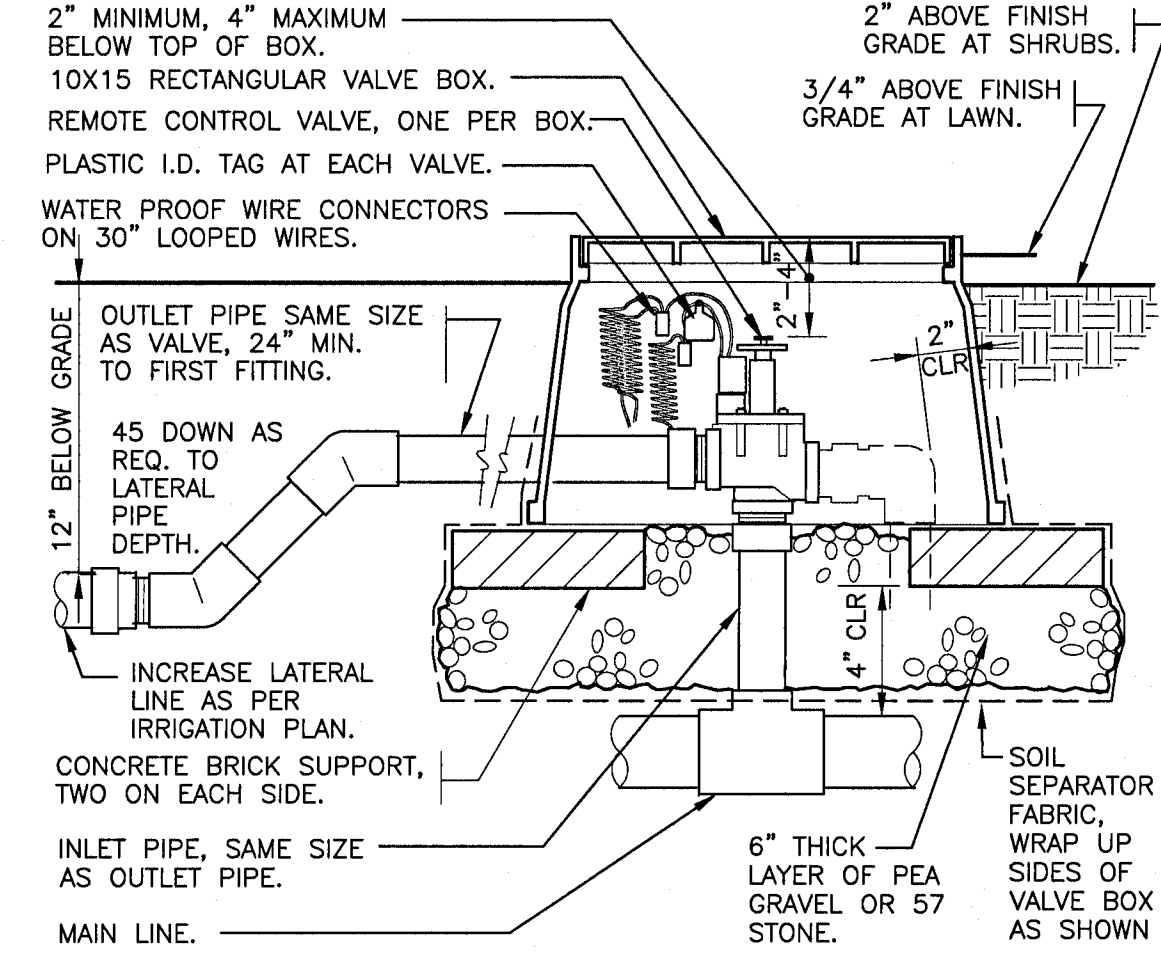
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**4 DUAL CHECK VALVE IN BOX**

1/2" = 1'-0"

32 8409.46-06



**5 ELECTRIC REMOTE CONTROL VALVE**

1 1/2" = 12"

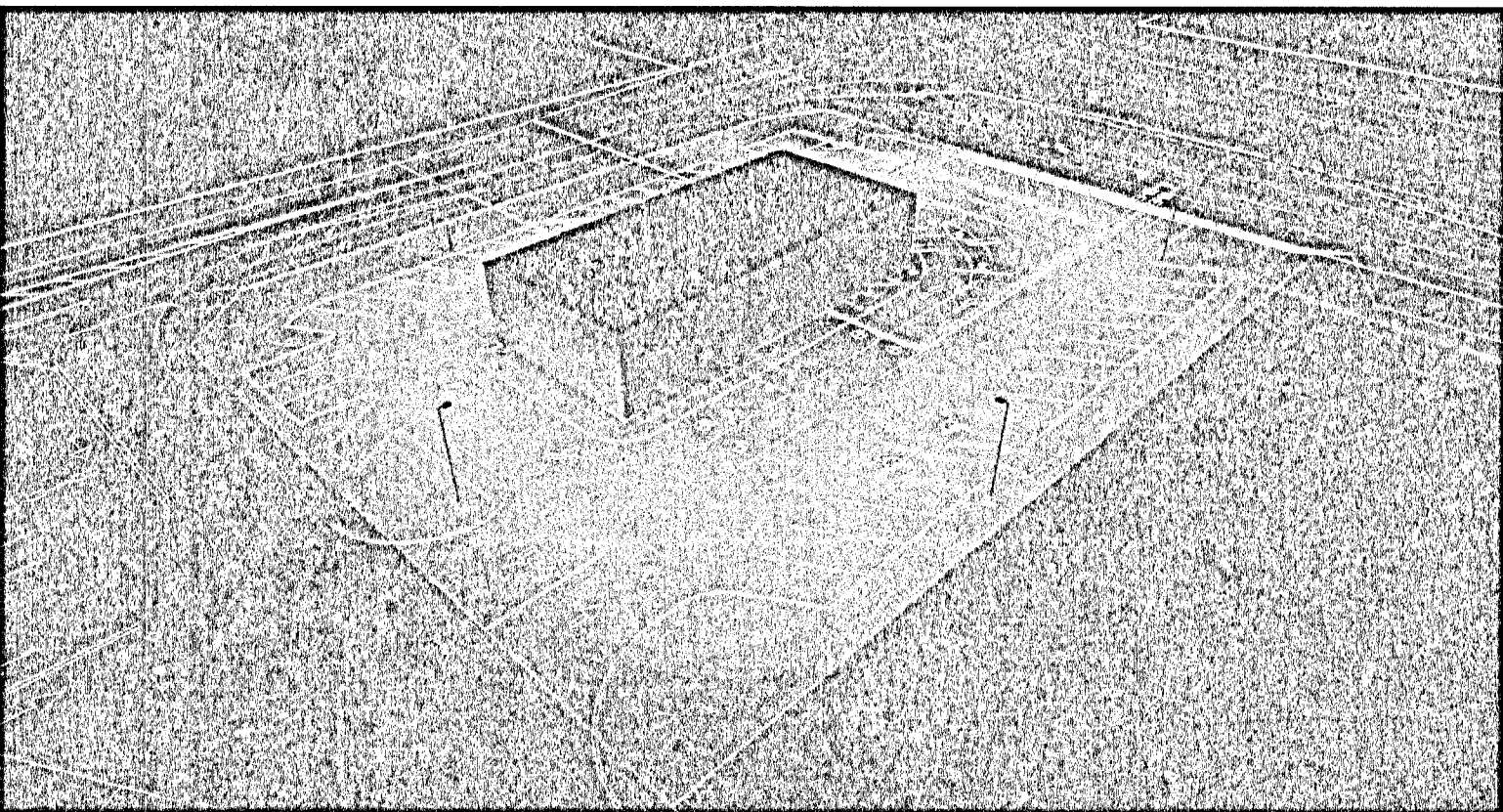
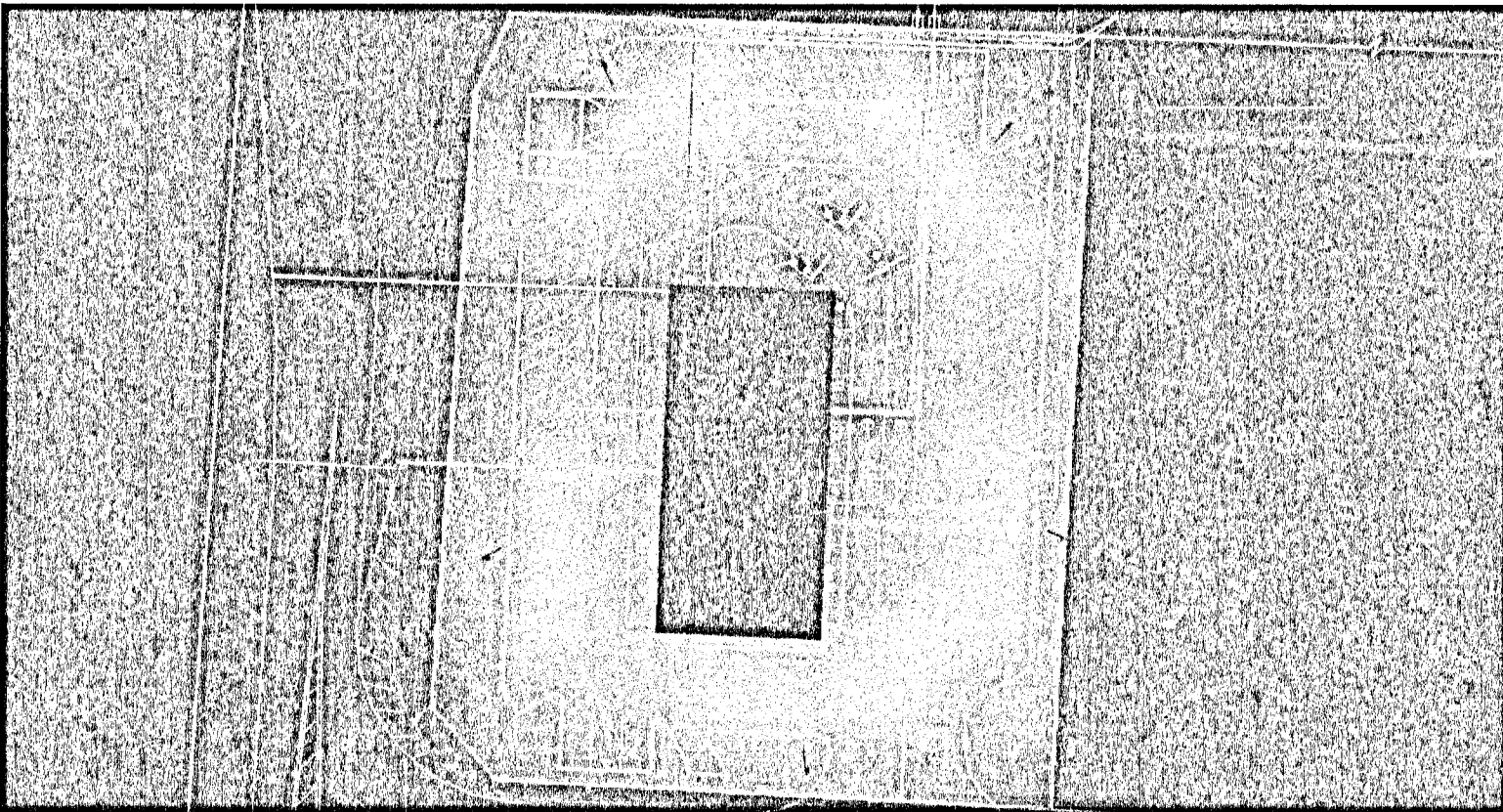
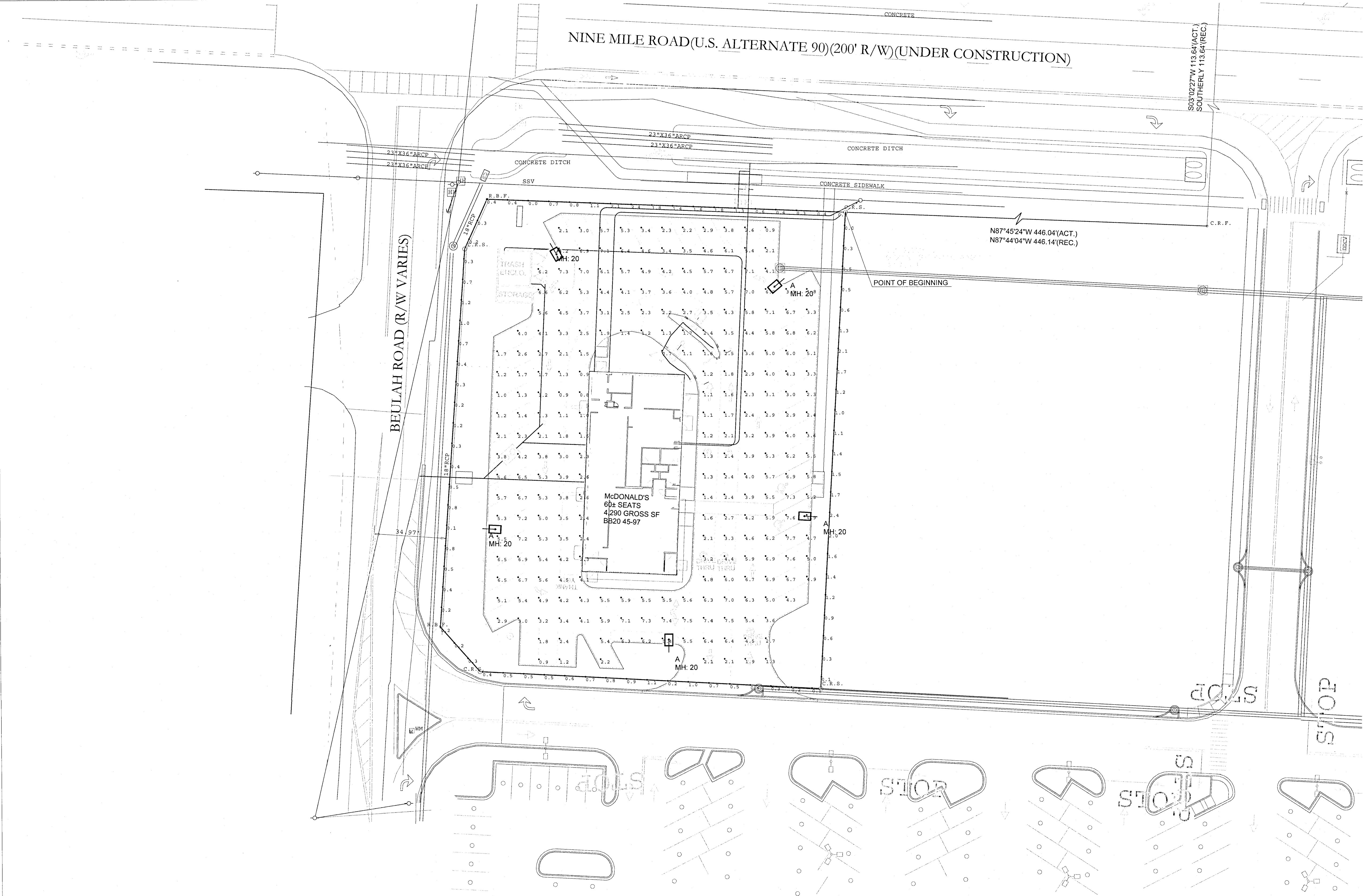
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NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

2. DISTANCE BETWEEN READINGS 10'



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.06	7.7	0.7	5.80	11.00
PROPERTY LINE READINGS	Illuminance	Fc	0.77	2.4	0.0	N.A.	N.A.

\*\* - SPECIFY COLOR

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height
☐	5	A	SINGLE	0.900	RAR2-480L-240-5K7-4W	226.9	.55	20
						BY OTHERS		

\* PROJECT WIND LOAD CRITERIA BASED ON:  
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
50 YEAR MEAN RECURRENCE INTERVAL

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

Regional Drawing  
# 009-2672

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

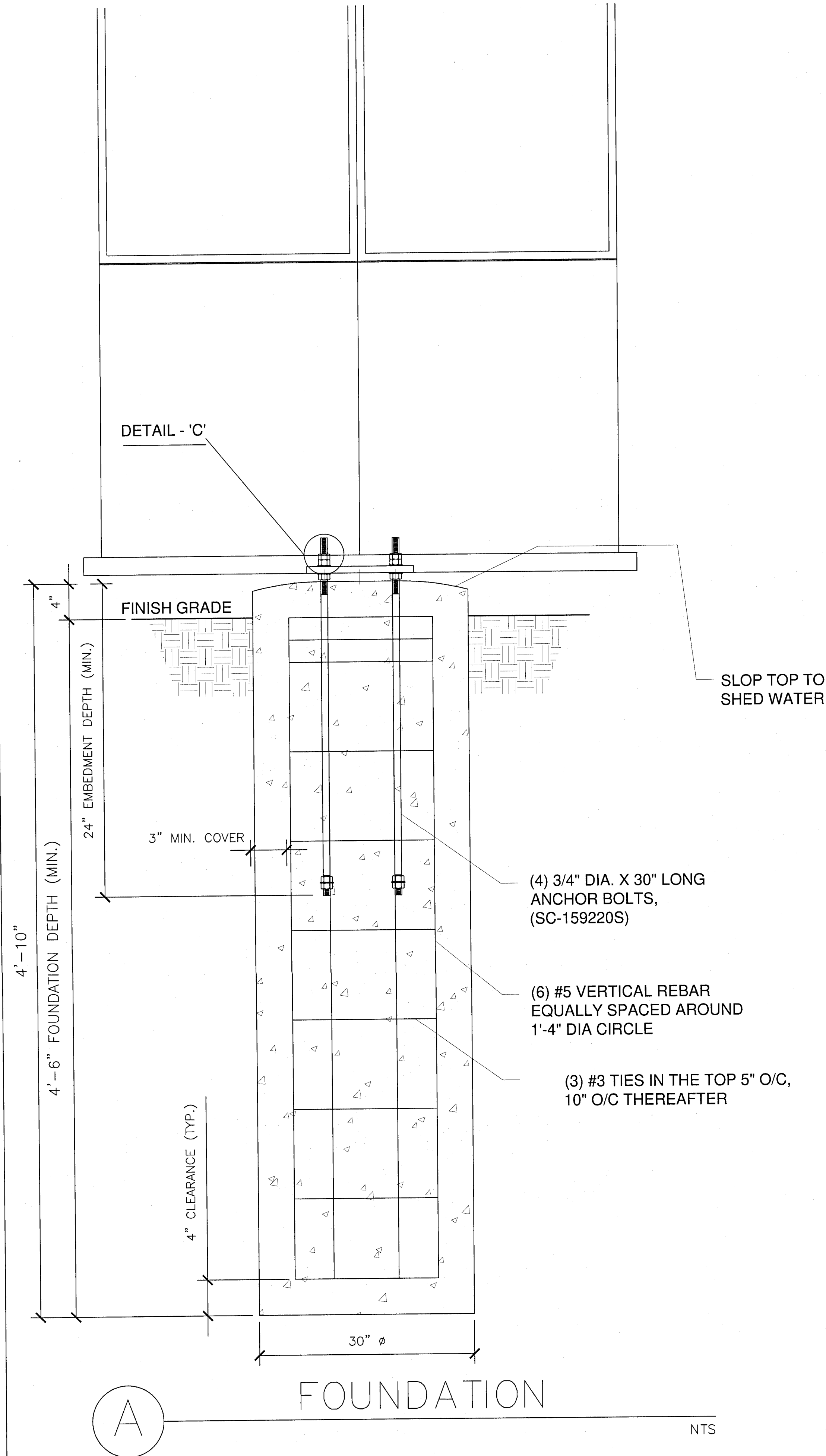
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

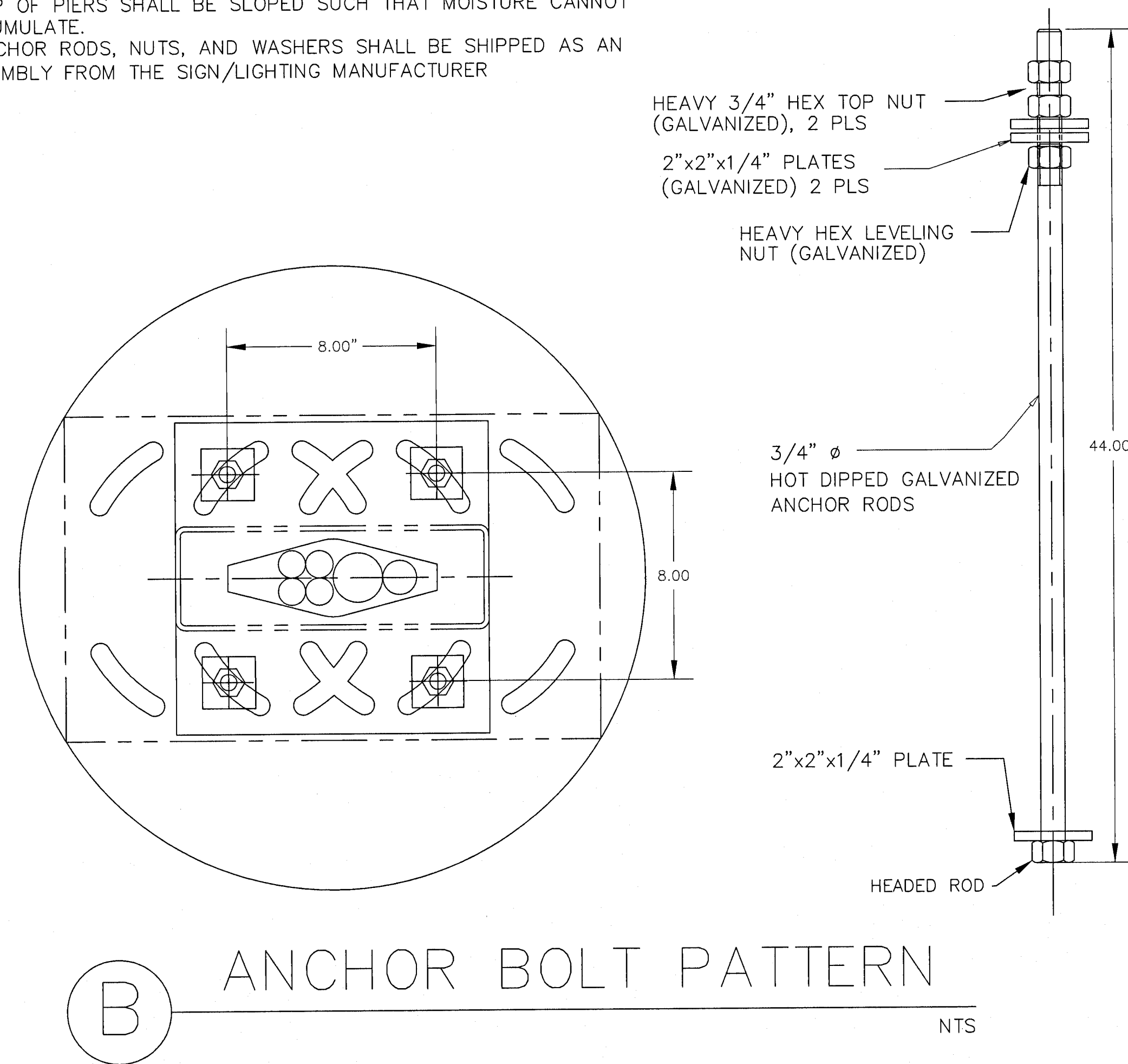
4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008 1-800-544-4242	
UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES	
SCALE 1"=25' 0"	
DRAWN BY BV	
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALD'S 5897 W NINE MILE RD PENSACOLA, FL	
NATIONAL STORE NUMBER	
DATE 3/29/2021	DRAWING NUMBER SL2103032.AGI

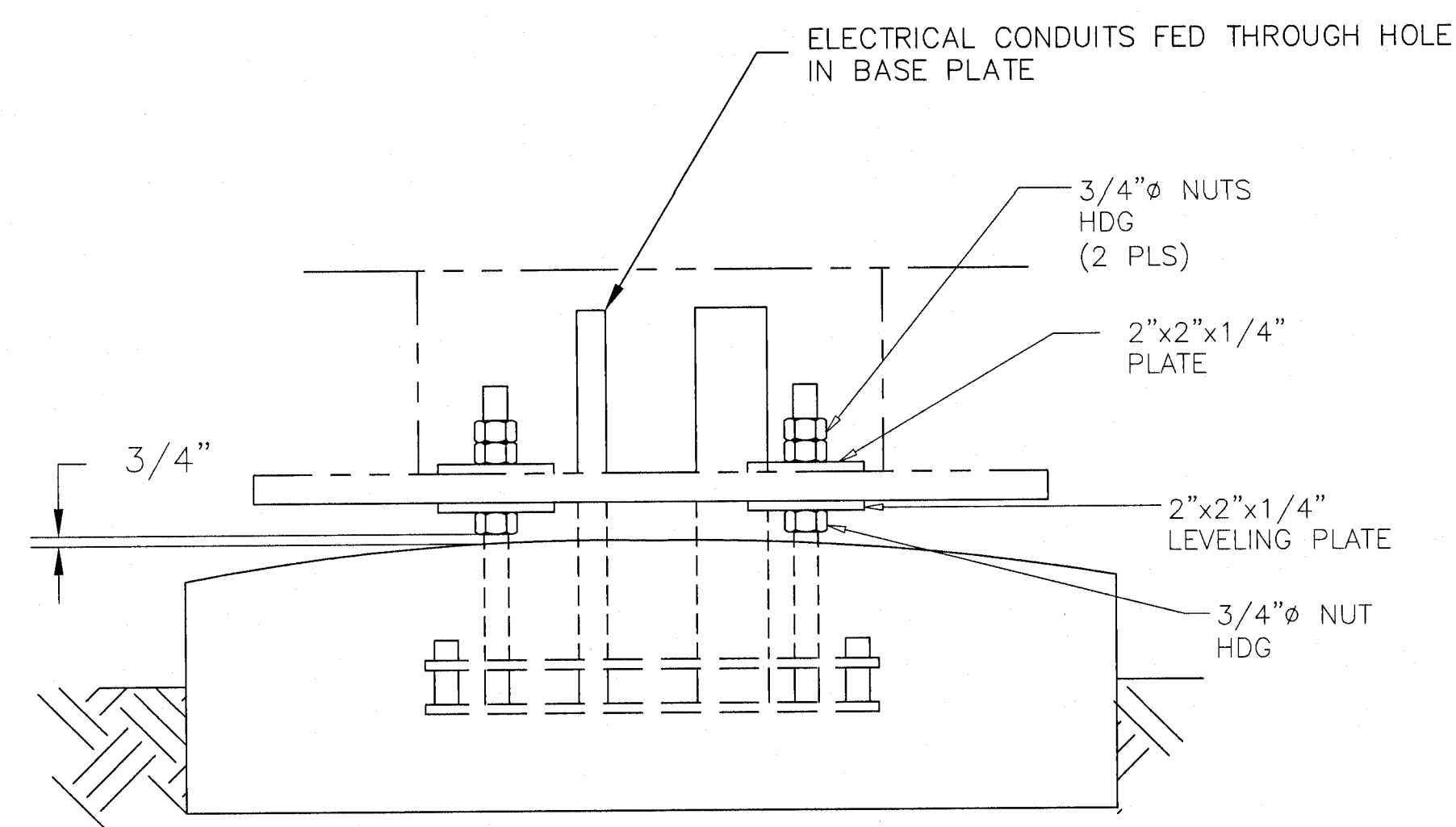




NOTES:  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



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## GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:  
 -2020 FLORIDA BUILDING CODE, SEVENTH EDITION  
 -ASCE 7-10  
 -ACI 318-08  
 -AISC 13th EDITION  
 -AWS D1.1  
 -ULTIMATE WIND SPEED - VULT = 150 MPH, RISK CATEGORY II  
 -EXPOSURE C

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM CONCRETE STRENGTH ( $f'_c=3000$  PSI) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
 -USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A  
 -WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
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 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.  
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.  
 -ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
 -DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

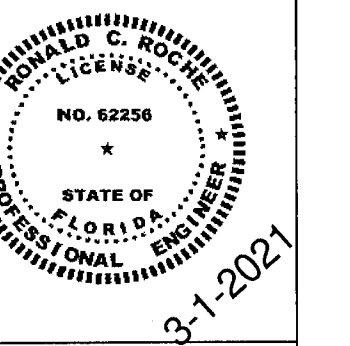
STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ( $F_y = 35$ ksi)  
 -HSS ROUND SECTION: ASTM A500 GRADE B ( $F_y = 42$ ksi)  
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ( $F_y = 46$ ksi)  
 -CONNECTION BOLTS A325  
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
 -REINFORCEMENT: GRADE 60  
 -NUTS: A563DH OR A194-2H  
 -WASHERS: ASTM F-436  
 -USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
 -NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE  
 -AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.  
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.  
 -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
 -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS  
 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT NO: 10116-2019052  
 BY: NOVA ENGINEERING AND ENVIRONMENTAL, LLC  
 DATED: JUNE 5, 2019

2 PANEL MENU BOARD  
 FOUNDATION



ISSUES AND REVISIONS	
NO	DATE
0	3-1-2021

McDonald's Restaurant - 5897 W Nine Mile Road  
 Pensacola, Florida

SHEET

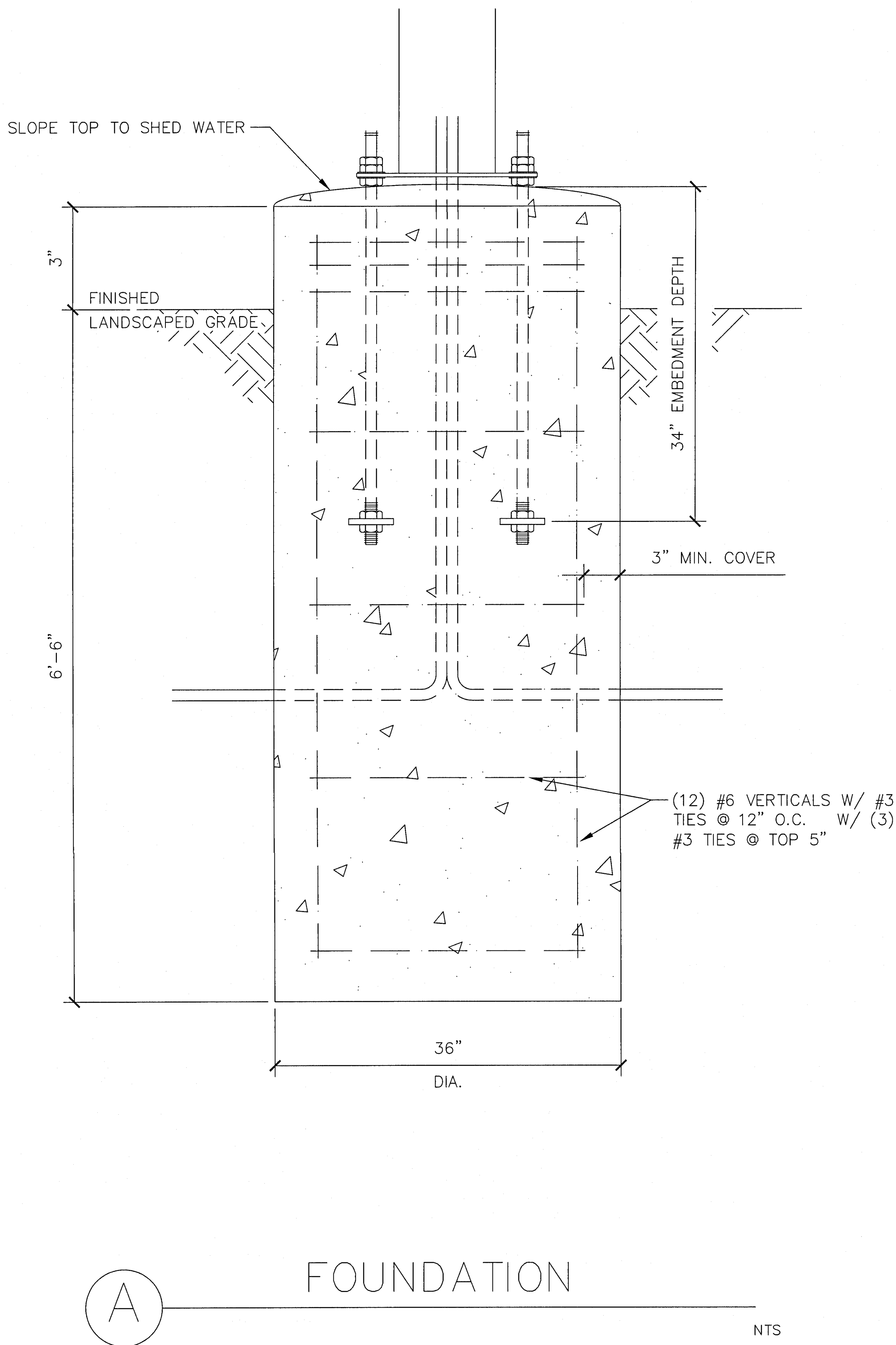
SD-1

PROJ. NO.: 21-1055-0006



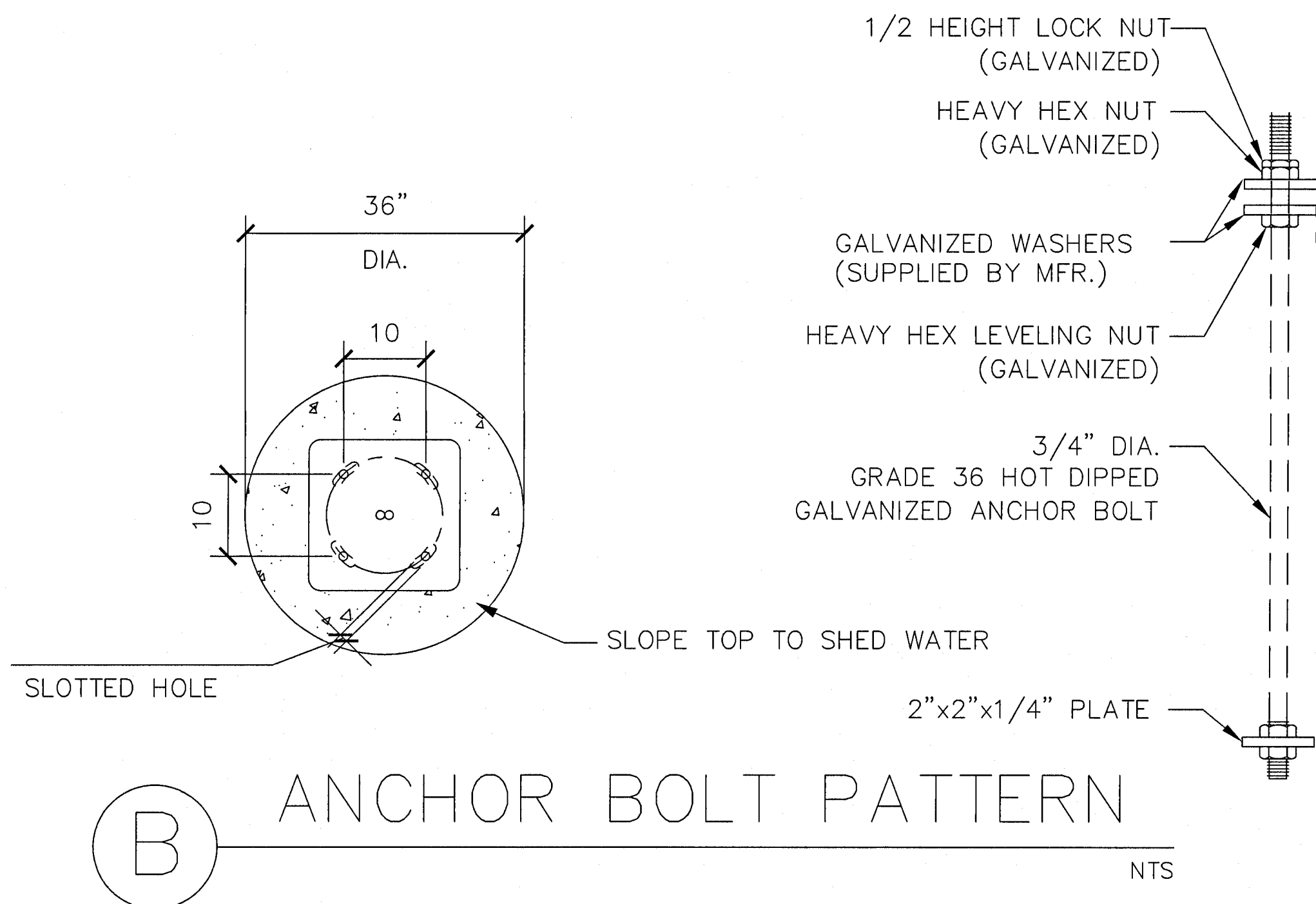






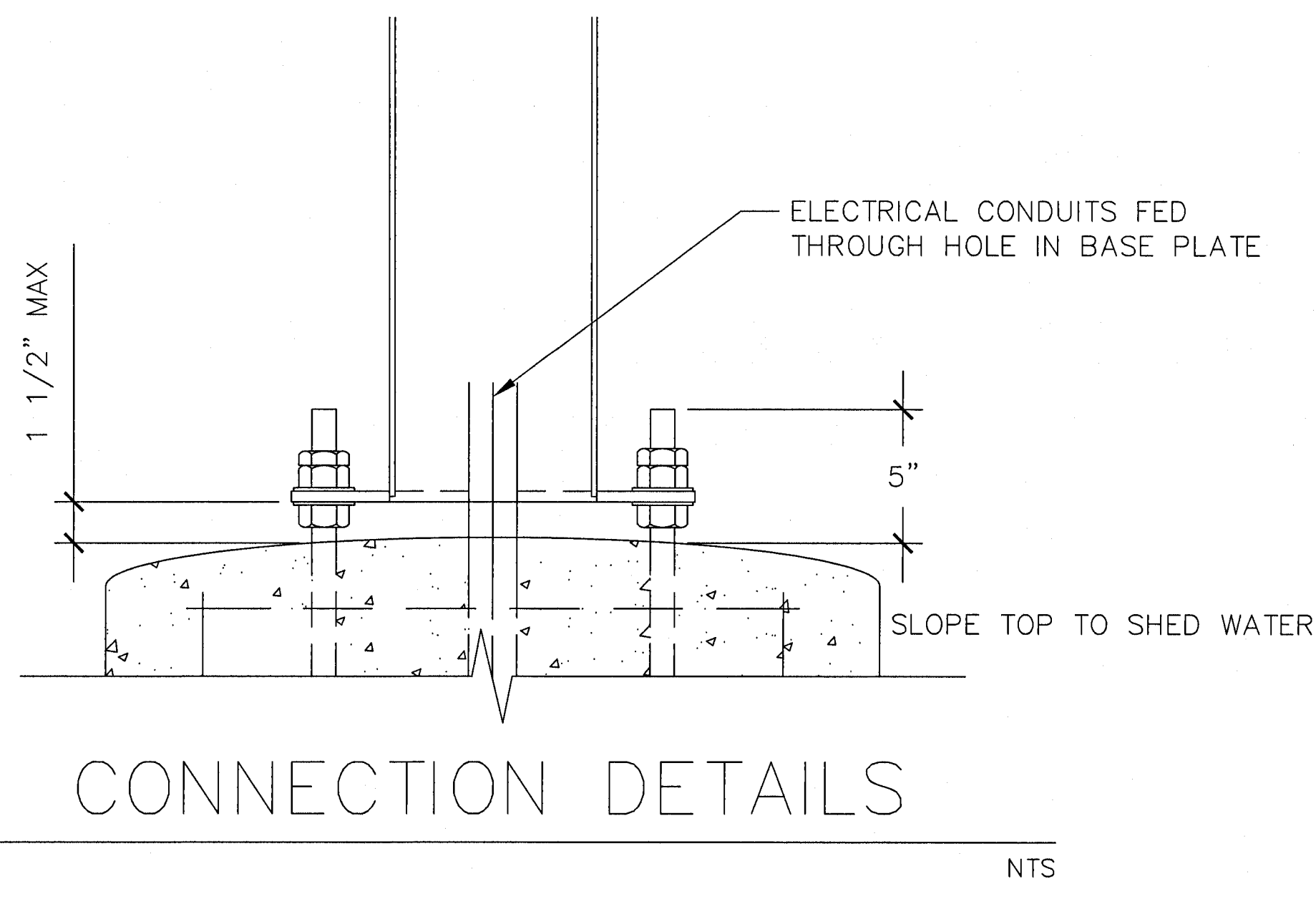
#### NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- HOT DIPPED GALVANIZED BOLTS
- F1554 GRADE 36 ANCHOR BOLTS
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  - ACI 318-08
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  - AWS D1.1
- ULTIMATE WIND SPEED - VULT = 150 MPH, RISK CATEGORY II
- EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- CONTRACTOR MAY NEED TO UTILIZE CAISSON OR SLURRY METHOD TO DRILL PIERS FOR SIGN FOUNDATIONS
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

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#### CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
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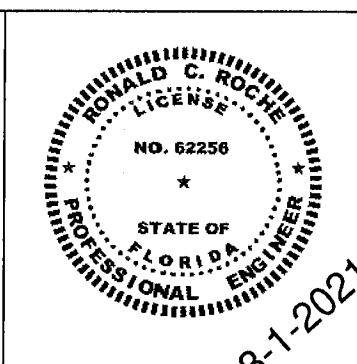
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SOIL REPORT NO: 10116-2019052  
 BY: NOVA ENGINEERING AND ENVIRONMENTAL, LLC  
 DATED: JUNE 5, 2019

DOUBLE GATEWAY FOUNDATION



3-1-2021

ISSUES AND REVISIONS	DATE	NO
ISSUED FOR PERMIT	3-1-2021	0

DATE	NO
3-1-2021	0

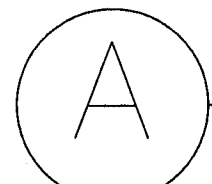
McDonald's Restaurant - 5897 W Nine Mile Road  
 Pensacola, Florida

SHEET

SD-3

PROJ. NO. : 21-1055-0006

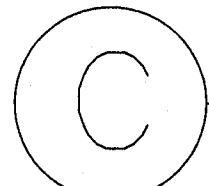




NTS

(B)

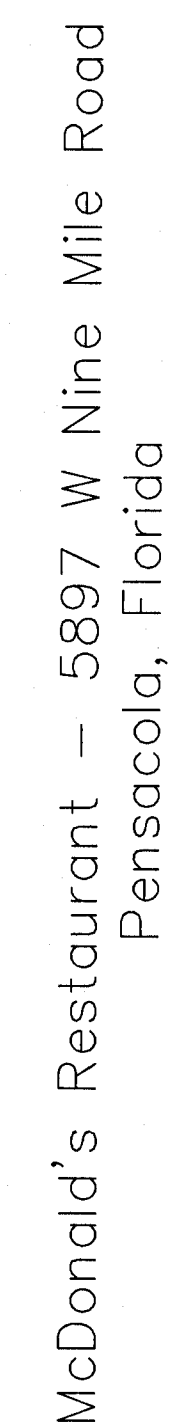
## NTS



## NTS

SLOPE TOP TO SHED WATER

ORDER HERE CANOPY FOUNDATION



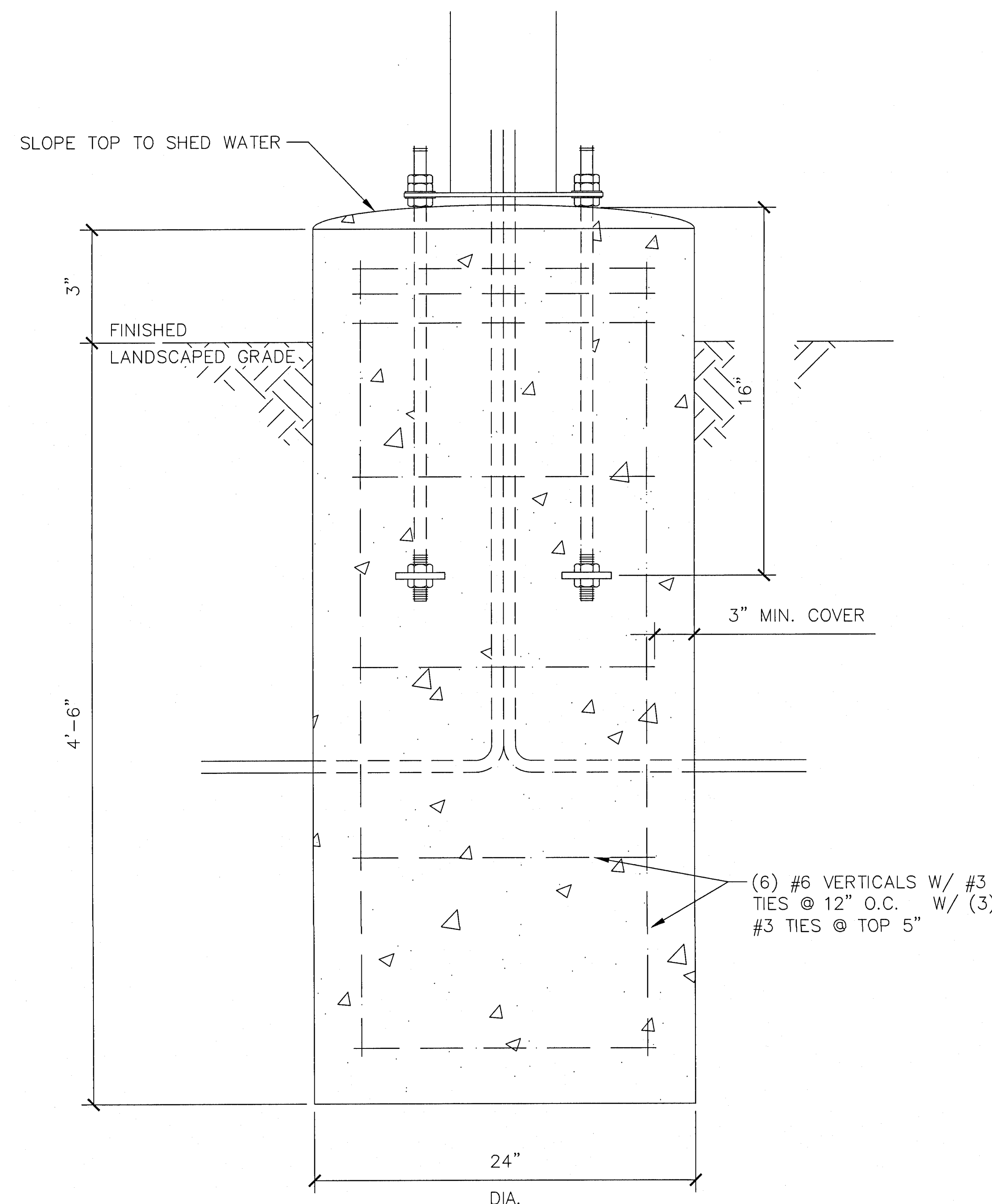
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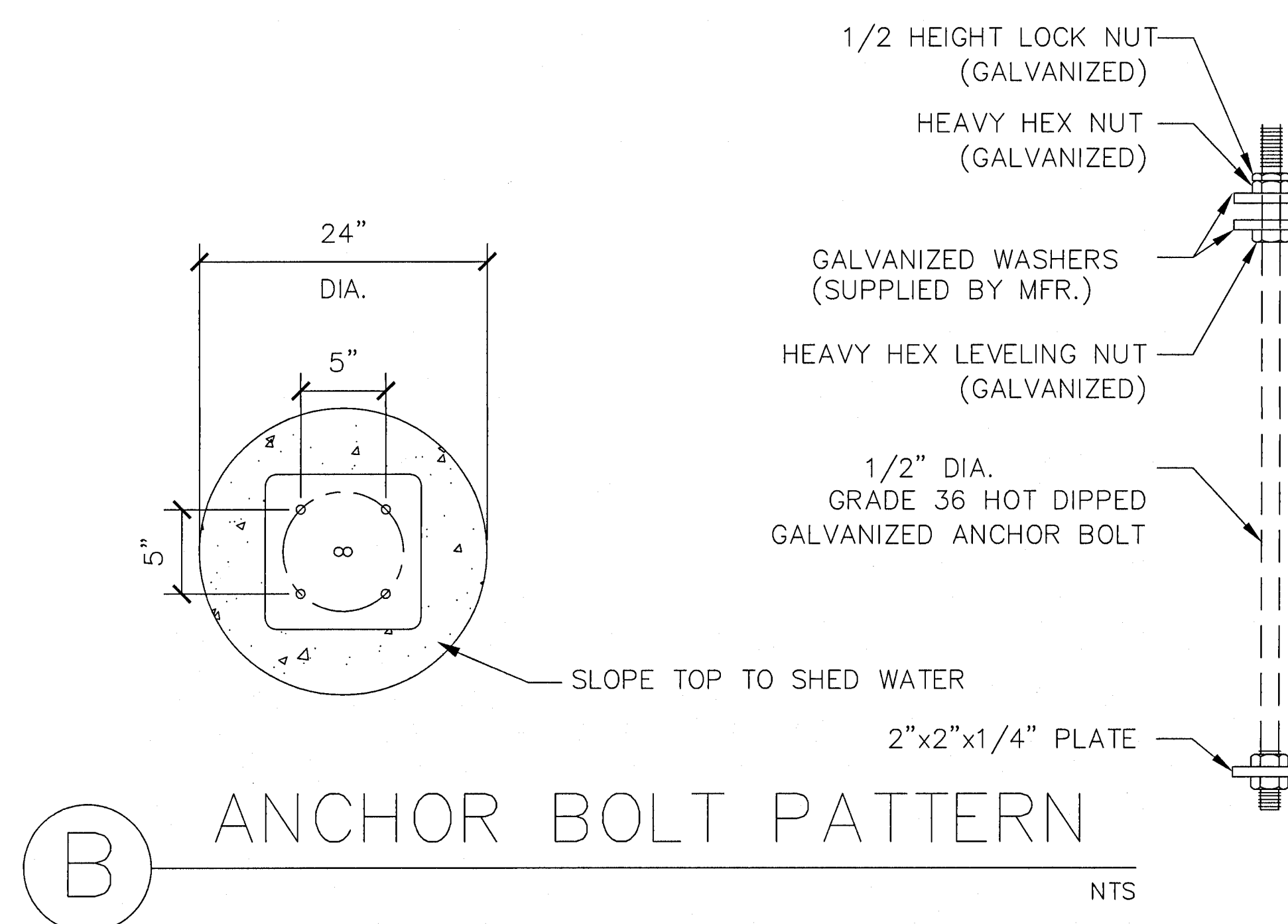
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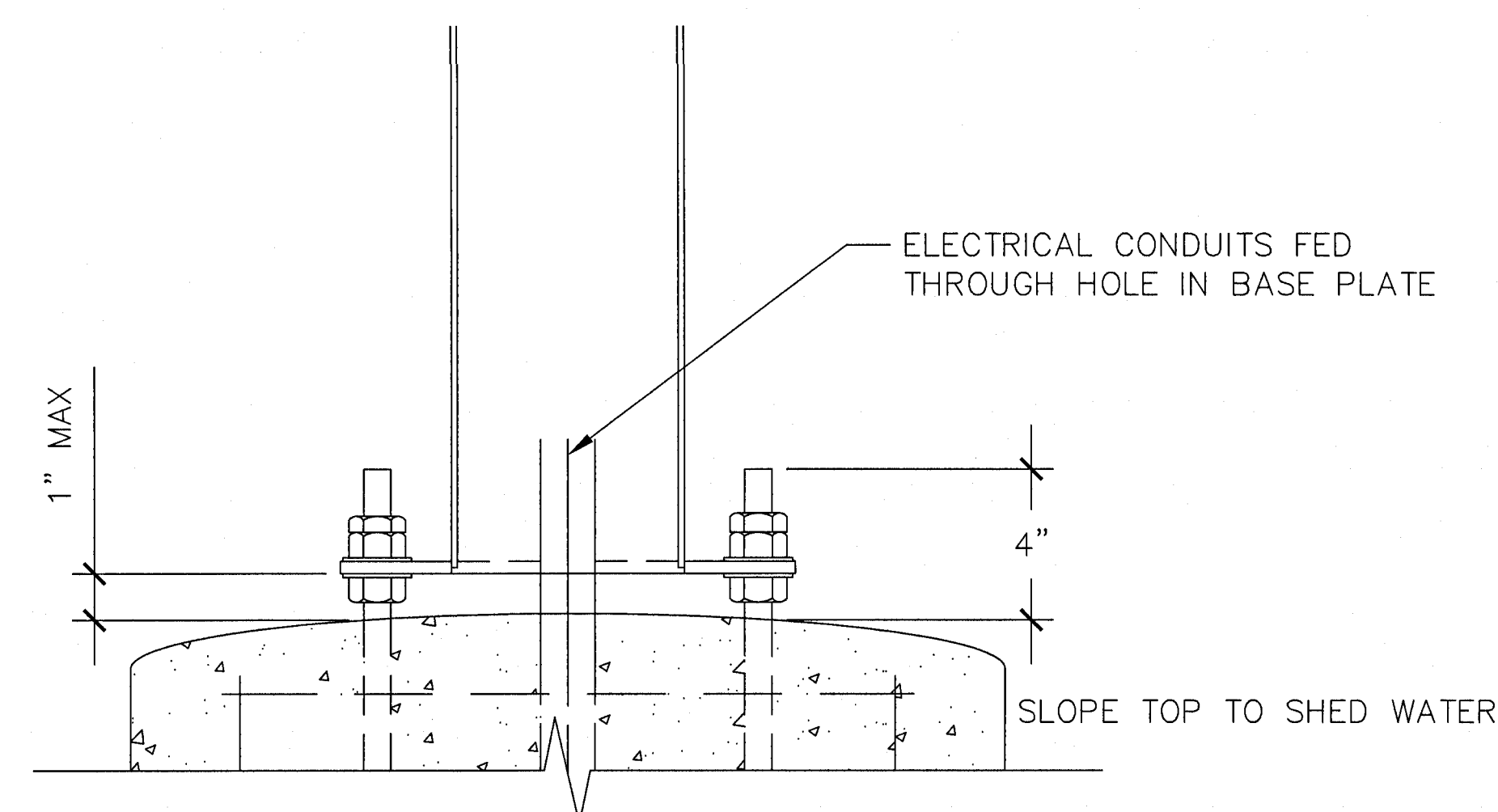
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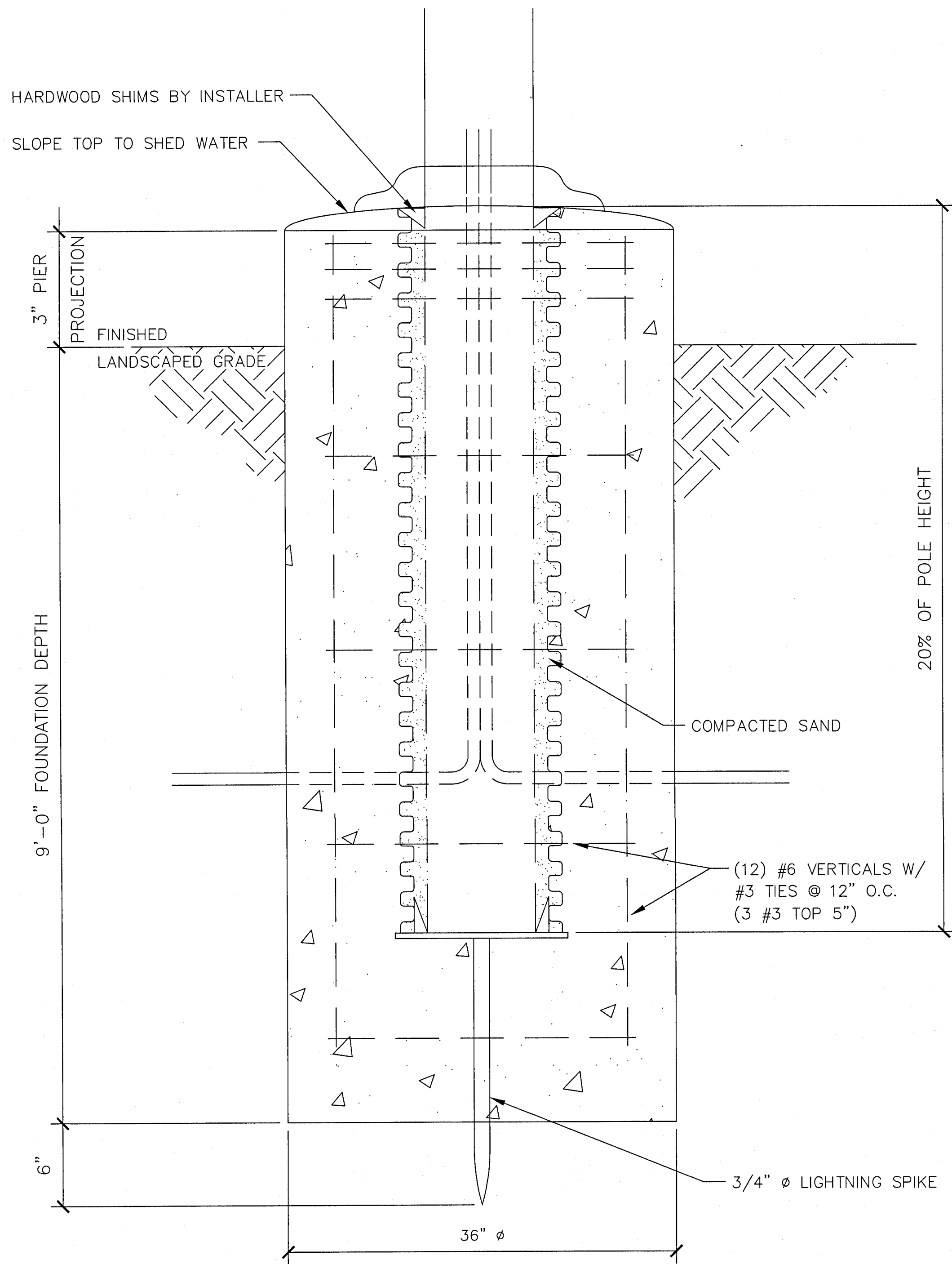
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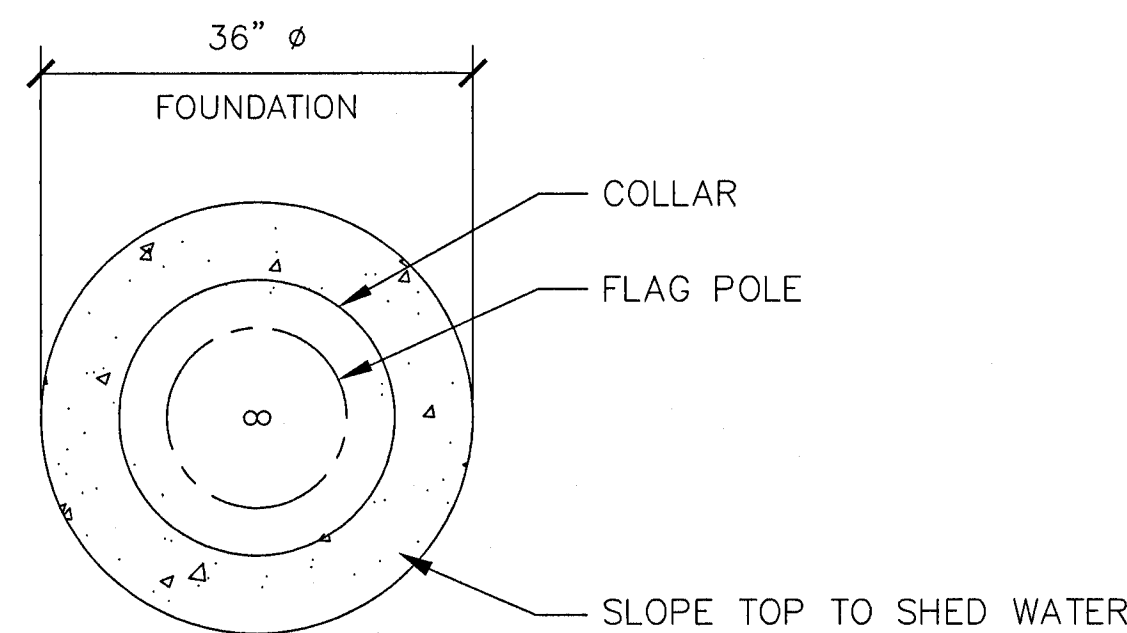
SOIL REPORT NO: 10116-2019052  
BY: NOVA ENGINEERING AND ENVIRONMENTAL, LLC  
DATED: JUNE 5, 2019





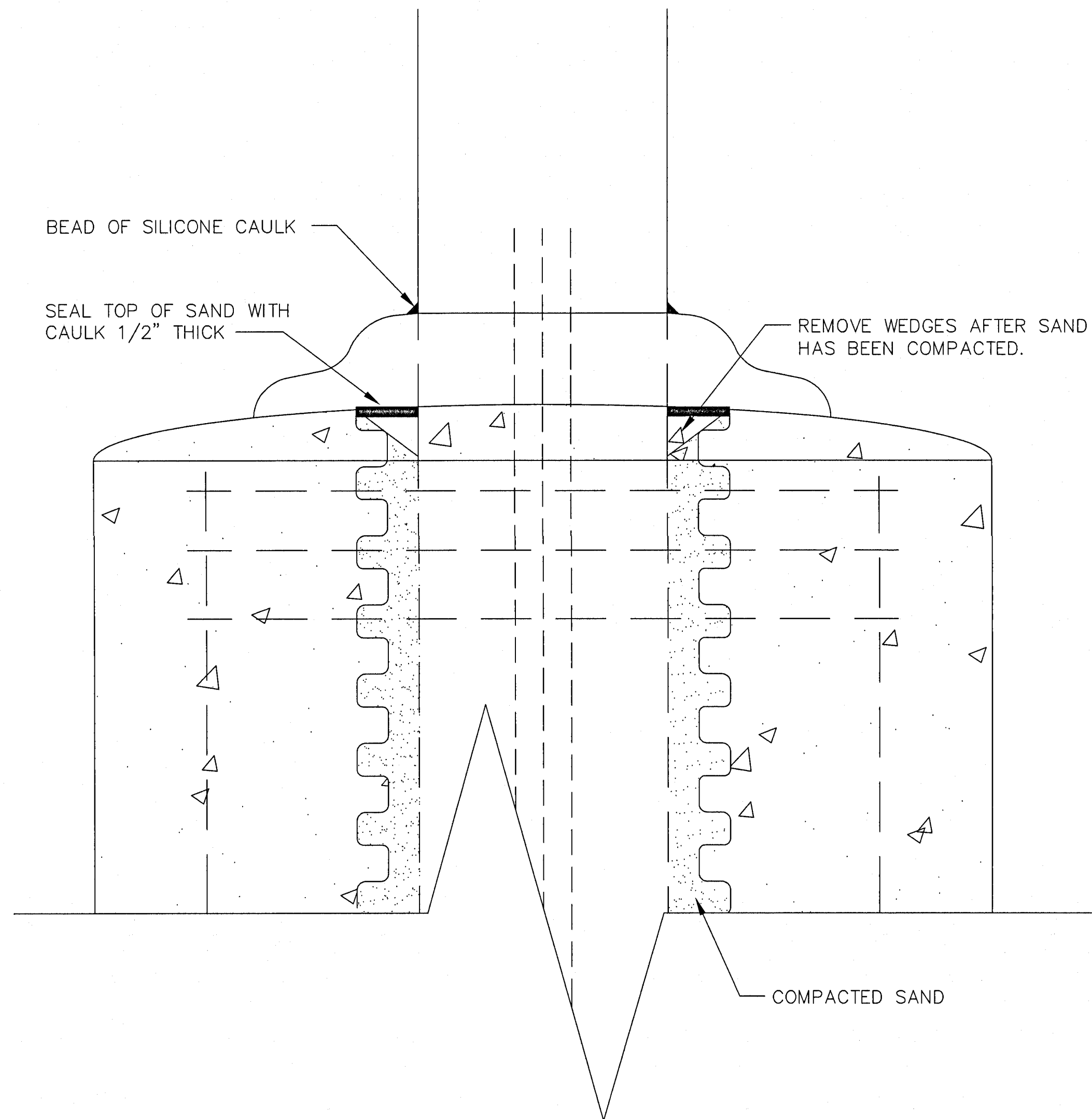
**A** FOUNDATION NTS

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.



**B** NTS

NOTES:  
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**C** NTS

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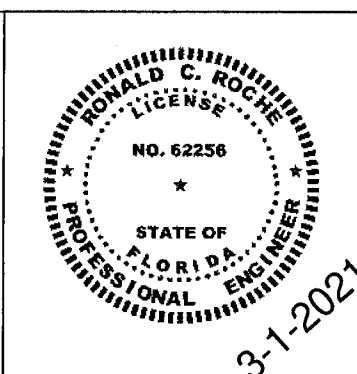
### -FLAG SIZES SHALL NOT EXCEED THE FOLLOWING AREA LIMITATIONS:

- 25'-0" POLE --> 5'-0" x 8'-0" FLAG
- 30'-0" POLE --> 6'-0" x 10'-0" FLAG
- 40'-0" POLE --> 8'-0" x 12'-0" FLAG
- 50'-0" POLE --> 10'-0" x 15'-0" FLAG

- REFER TO FLAG MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION INCLUDING INSTALLATION INSTRUCTIONS.
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SOIL REPORT NO: 10116-2019052  
BY: NOVA ENGINEERING AND ENVIRONMENTAL, LLC  
DATED: JUNE 5, 2019

25' & 30' FLAG POLE FOUNDATION



3-1-2021

NO	DATE	ISSUES AND REVISIONS
0	3-1-2021	ISSUED FOR PERMIT
1		
2		
3		
4		
5		
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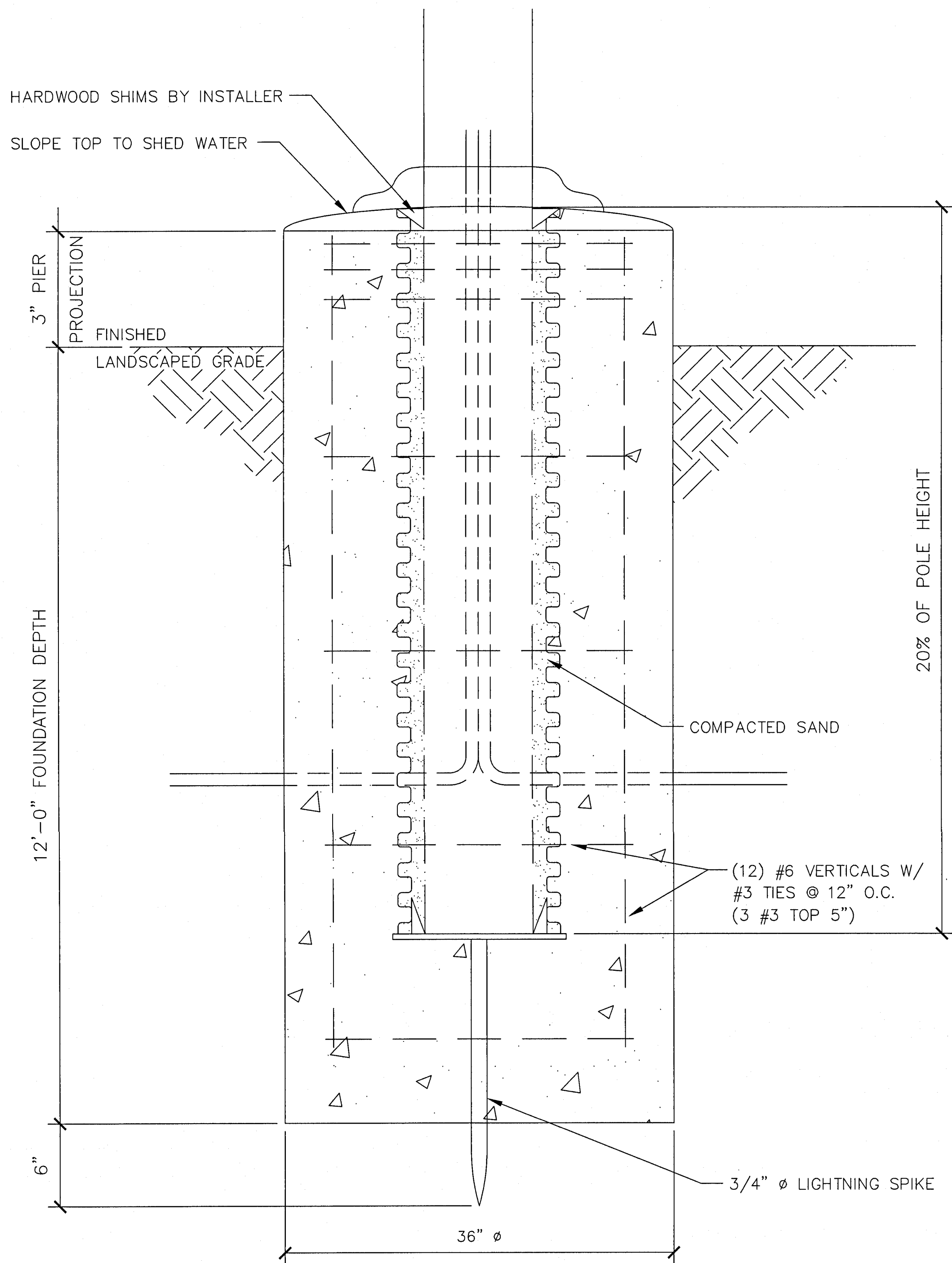
McDonald's Restaurant - 5897 W Nine Mile Road  
Pensacola, Florida

SHEET

SD-7

PROJ. NO.: 21-1055-0006



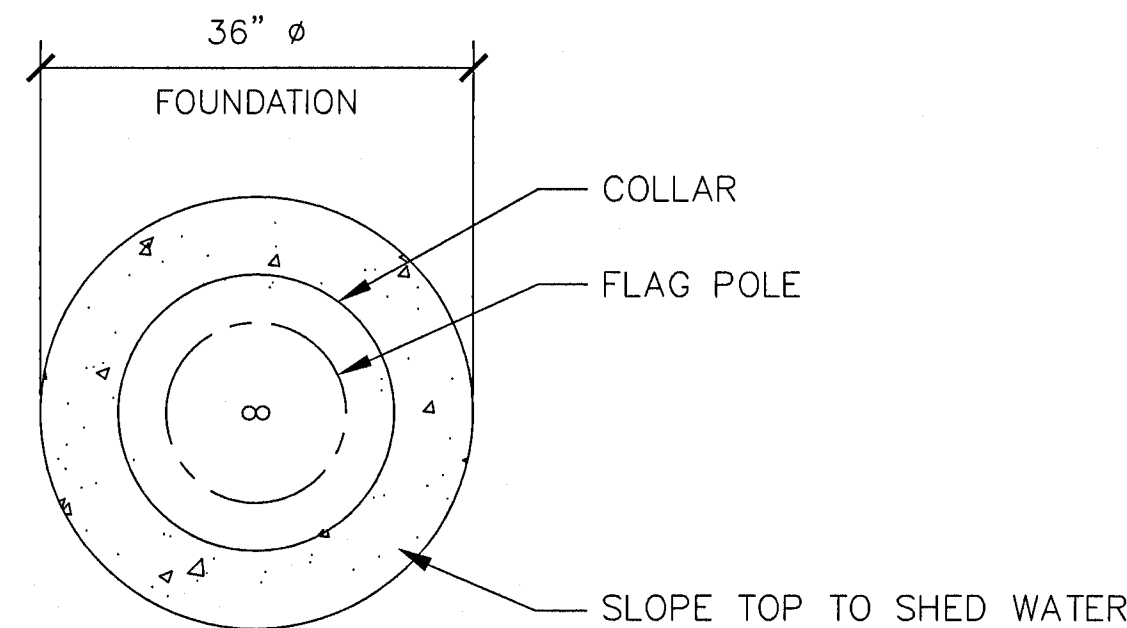


A

FOUNDATION

NTS

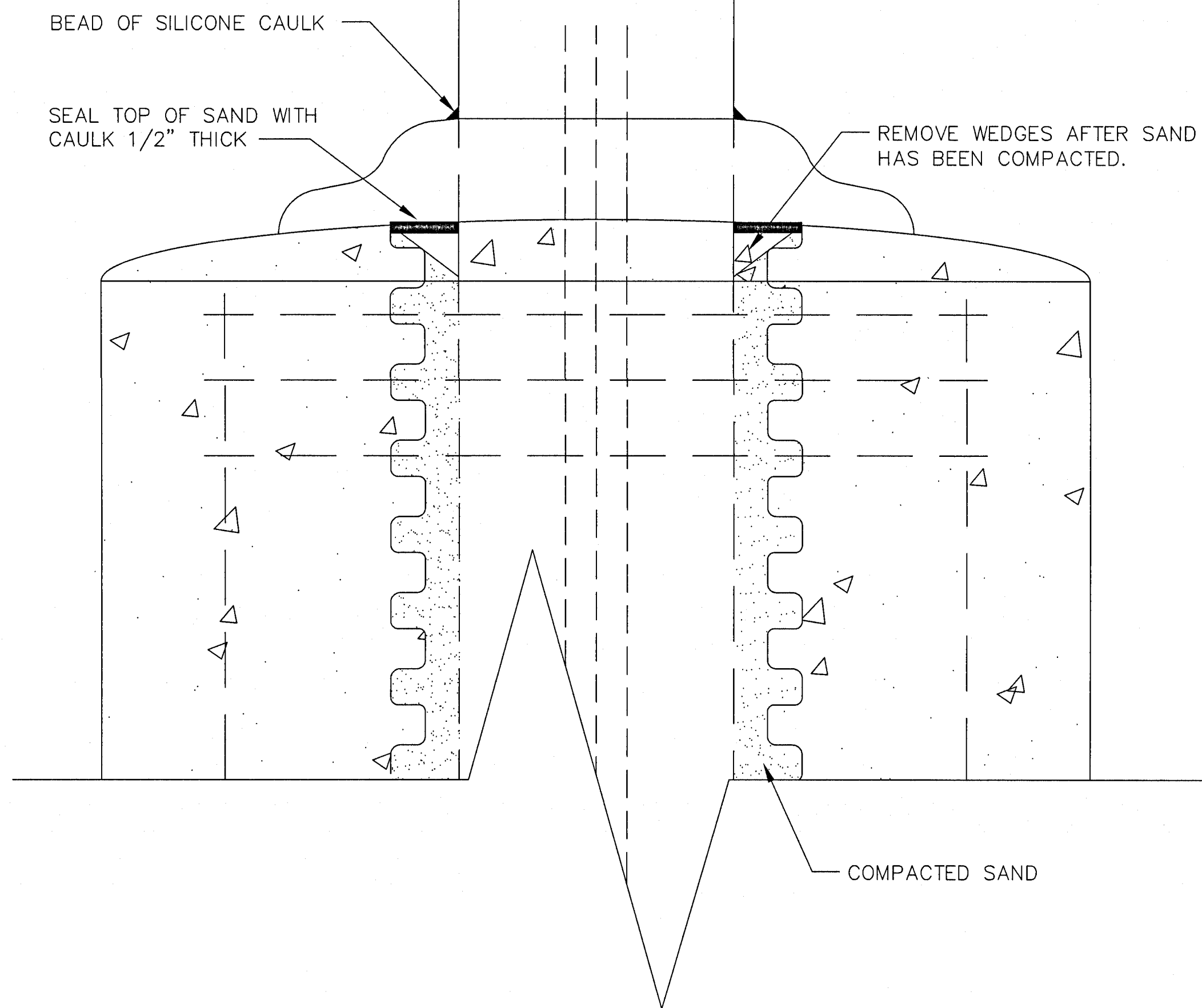
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B

NTS

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C

NTS

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CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A  
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14  
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.  
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.  
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

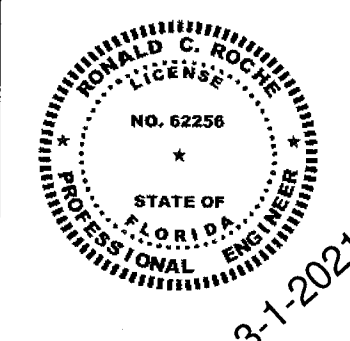
-FLAG SIZES SHALL NOT EXCEED THE FOLLOWING AREA LIMITATIONS:

-25'-0" POLE ---> 5'-0" x 8'-0" FLAG  
-30'-0" POLE ---> 6'-0" x 10'-0" FLAG  
-40'-0" POLE ---> 8'-0" x 12'-0" FLAG  
-50'-0" POLE ---> 10'-0" x 15'-0" FLAG

-REFER TO FLAG MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION INCLUDING INSTALLATION INSTRUCTIONS.  
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS  
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT NO: 10116-2019052  
BY: NOVA ENGINEERING AND ENVIRONMENTAL, LLC  
DATED: JUNE 5, 2019

40' & 50' FLAG POLE FOUNDATION



3-1-2021

ISSUES AND REVISIONS	DATE	NO
ISSUED FOR PERMIT	3-1-2021	0
		1
		2
		3
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McDonald's Restaurant - 5897 W Nine Mile Road  
Pensacola, Florida

SHEET

SD-8

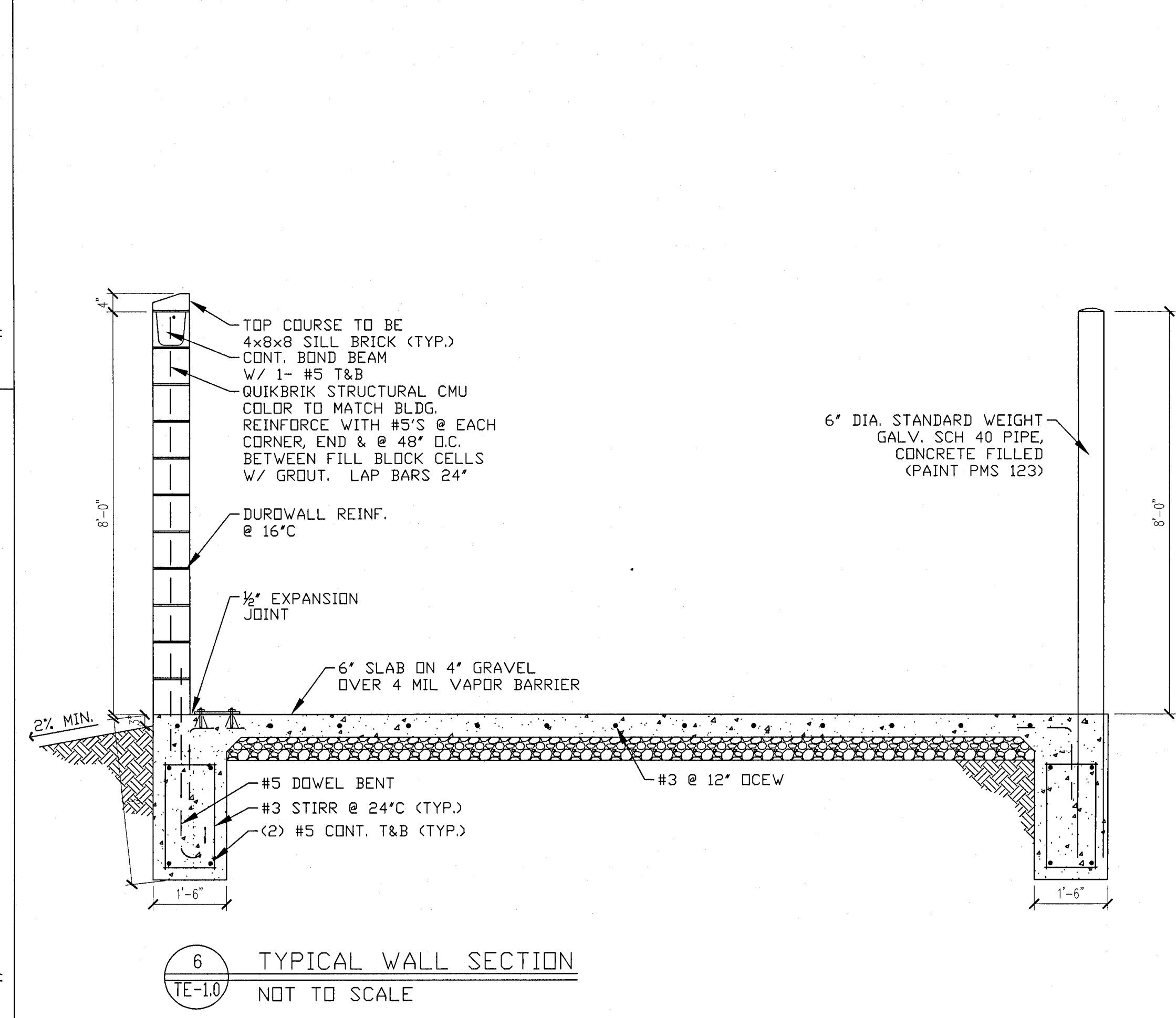
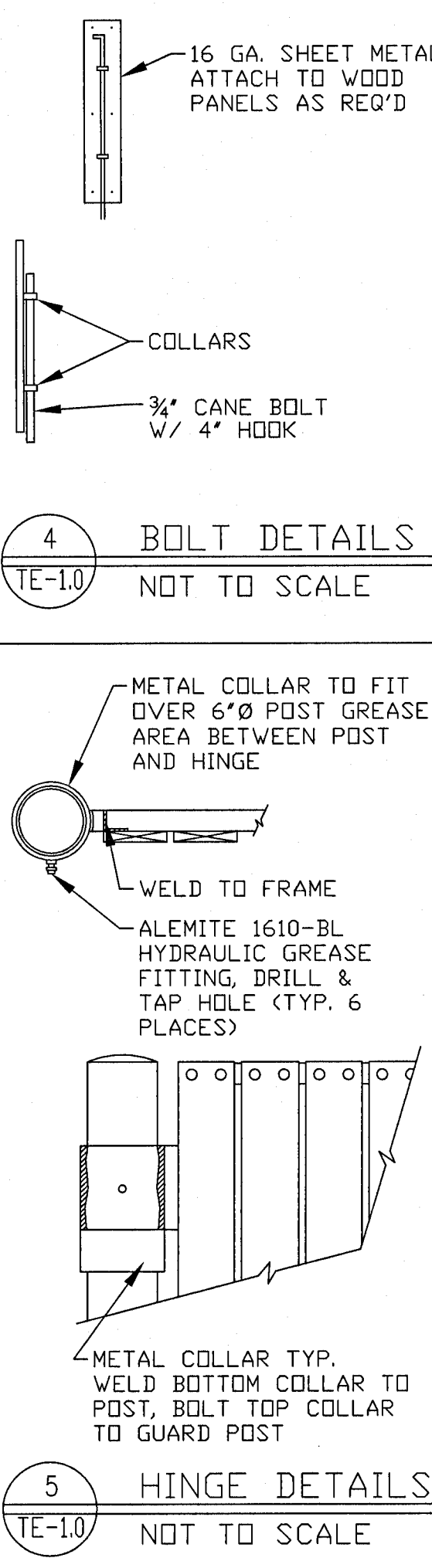
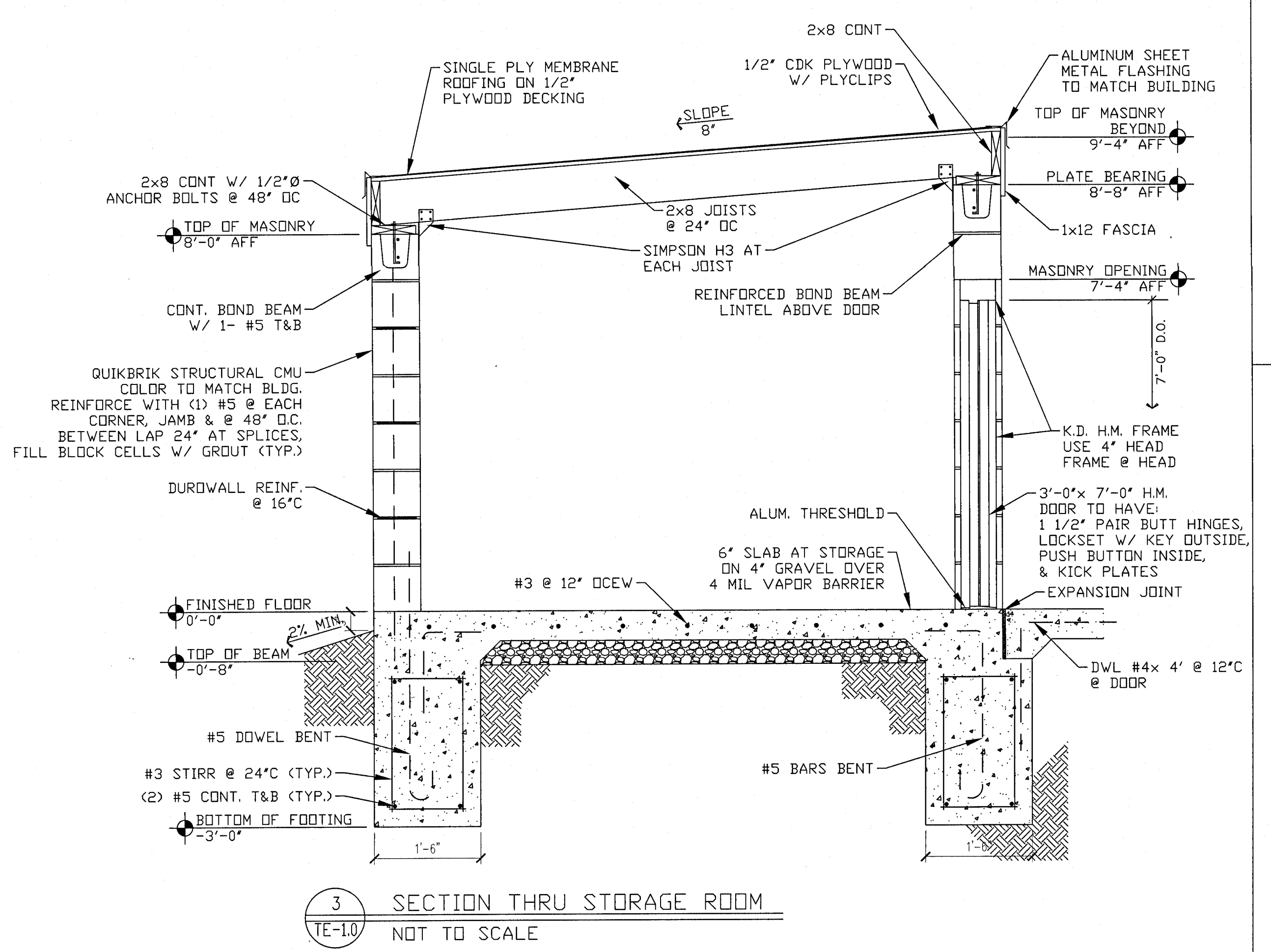
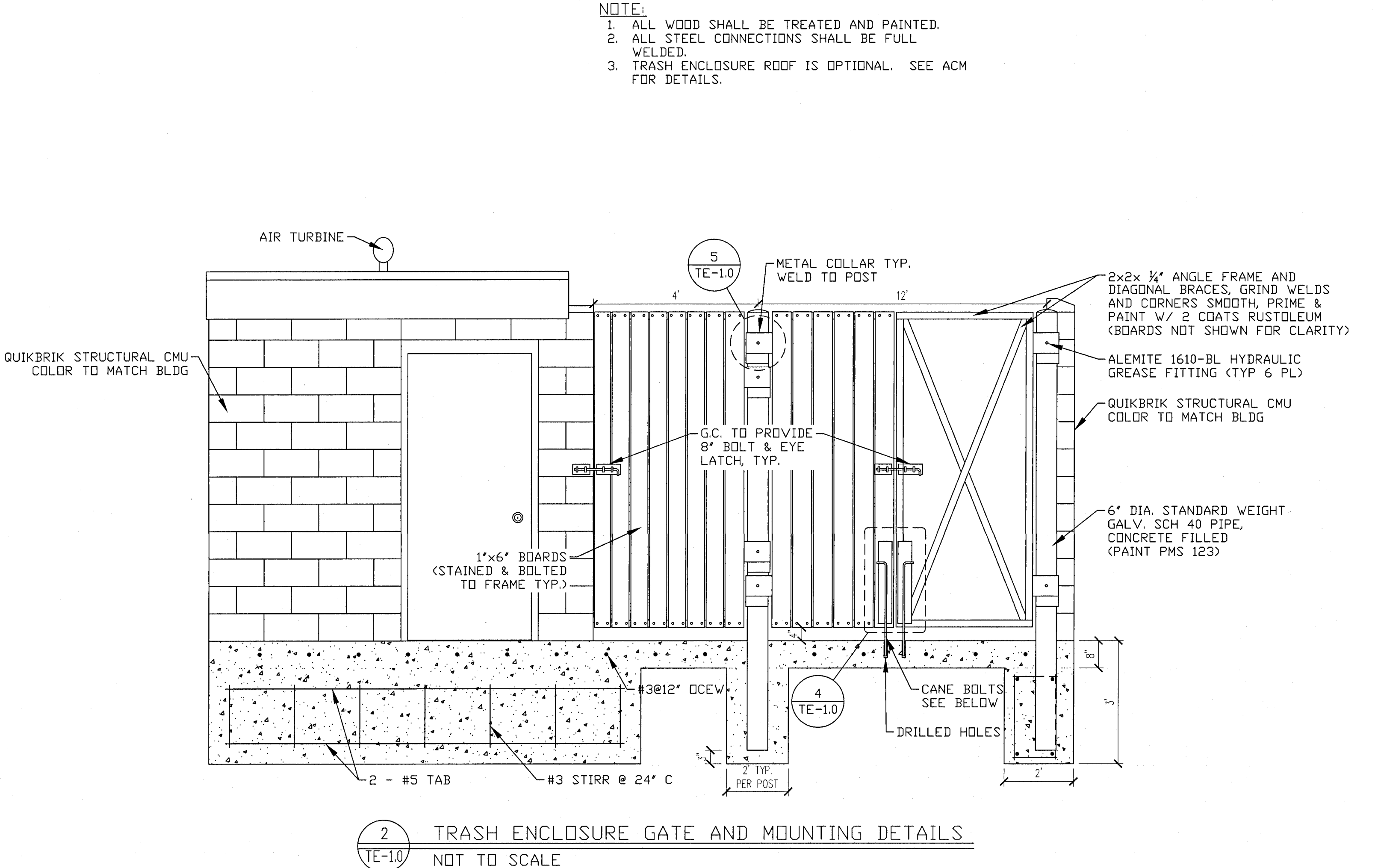
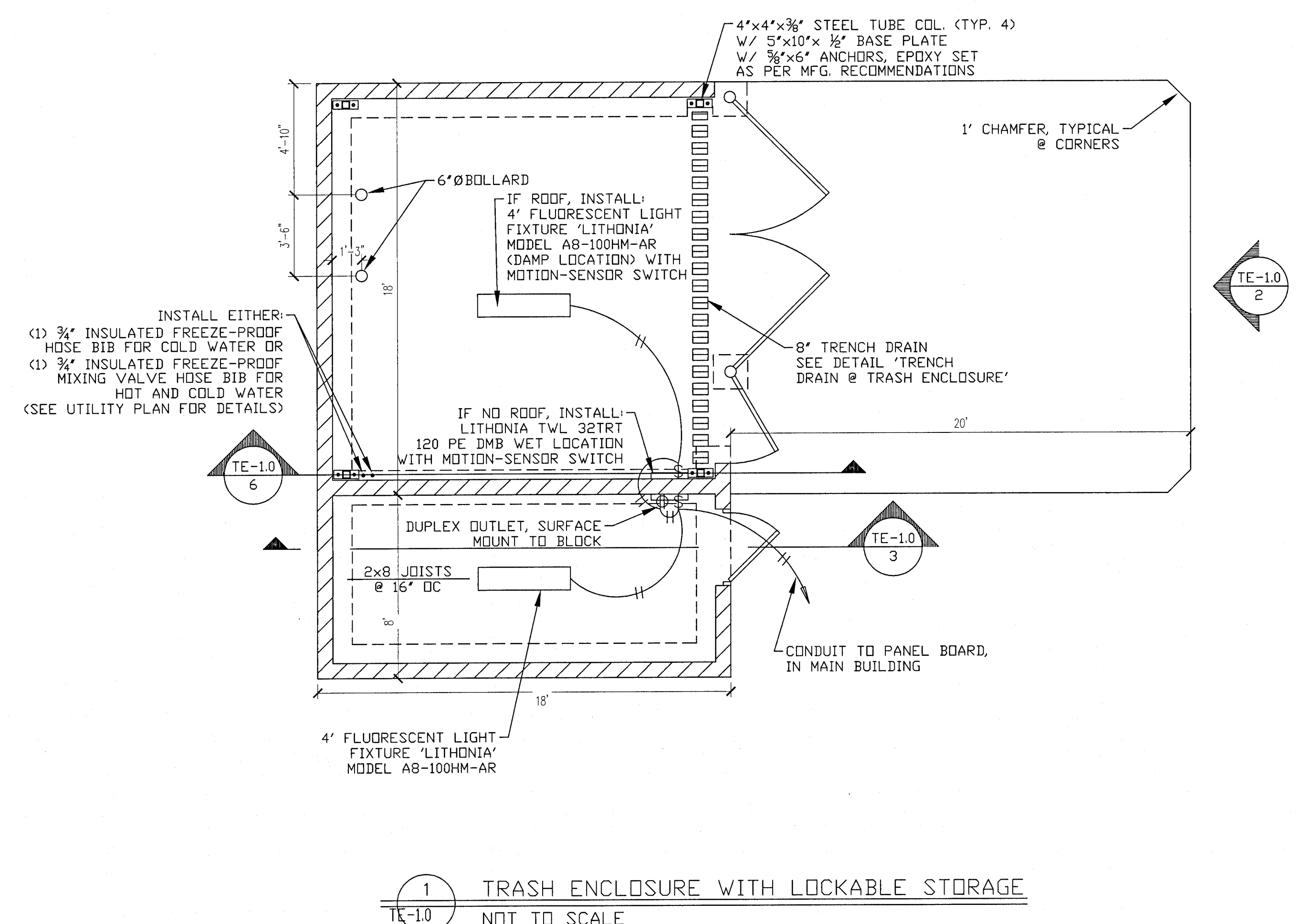
PROJ. NO.: 21-1055-0006



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McDonald's Restaurant – 5897 W Nine Mile Road  
Pensacola, Florida

TE-1



# GENERAL NOTES

EXCAVATION FOR FOOTINGS SHALL BE PROTECTED TO MAINTAIN AN UNDISTURBED BEARING SURFACE.

PREPARE THE SITE IN ACCORDANCE WITH THE SOIL REPORT.

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE, ACI 318.

ALL CONCRETE SHALL BE NORMAL WEIGHT (SAND AND GRAVEL) WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 EXCEPT #4 BARS WHICH SHALL CONFORM TO ASTM (SUCH AS STRIPPIRS, TIES, AND DOWELS) SHALL BE GRADE 40.

DETAILING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE, ACI 315, UNLESS SHOWN OTHERWISE. LAP SPACING SHALL BE 36 BAR DIAMETERS AT SPLICES.

PROVIDE 1-#5 X 4'-0" CORNER BAR, TOP AND BOTTOM AT EXTERIOR FACE OF GRADE BEAMS AT CORNERS, AND PROVIDE 4-#5 X 4'-0" CORNER BARS, (2 TOP & 2 BOT) AT T-INTERSECTION.

AT SLABS EACH WAY FOR GRADE, PROVIDE BAR CHAIR AT 4'-0" ON CENTER MAXIMUM EACH WAY FOR SUPPORT OF REINFORCEMENT.

UNLESS SHOWN OTHERWISE, CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS	3"
GRADE BEAMS	2" TOP; 1" BOT
SLAB ON GRADE	TOP 1 1/2" & BOT. 3"

DESIGN, FABRICATION, AND ERECTION OF WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

WOOD FRAMING FOR INTERIOR AND EXTERIOR BEARING WALLS, ROOF AND FLOOR JOISTS, BEAMS, HEADERS, ETC., SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE (LUM. DRIED, USED AT 18 PERCENT MOISTURE CONTENT). RAFTER AND CEILING JOIST MAY BE NO.3 SOUTHERN YELLOW PINE.

JOIST HANGERS SHALL BE OF SUCH CAPACITY TO DEVELOP THE BENDING STRENGTH OF THE MEMBER. JOIST HANGERS SHALL BE CONSTRUCTED OF MINIMUM 16 GA. GALVANIZED STEEL AND SHALL BE TO THE REQUIREMENTS OF THE MANUFACTURER.

HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM C90 MADE WITH LIGHT WEIGHT AGGREGATE CONCRETE. MINIMUM ULTIMATE SLAB COMPRESSION STRENGTH SHALL BE 1500 PSI.

MORTAR AND GROUT SHALL CONFORM TO ASTM C476. MINIMUM 28 DAY COMPRESSIVE STRENGTH, AS DETERMINED BY ASTM C91, SHALL BE 1800 PSI FOR MORTAR AND 2000 PSI FOR GROUT.

HORIZONTAL DWJ WALL REINFORCING SHALL BE TRUSS TYPE OF 1/2" X 1/2" X 1/2" AND 3/4" X 1/2" X 1/2" CONFORMING TO ASTM A82 AND IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE. REINFORCING SHALL BE 18" O.C. UNLESS OTHERWISE SPECIFIED. SPACING OF 18" O.C. EXCEPT IMMEDIATELY ABOVE UNITS AND BELOW SLITS SHALL BE 12" O.C. UNLESS OTHERWISE SPECIFIED. JOINTS AT 18" O.C. LAP SPICE REINFORCEMENT 12", MINIMUM MORTAR COVER SHALL BE 3/4".

BUILDING CODE: 2020 FLORIDA BUILDING CODE, SEVENTH EDITION

ULTIMATE WIND SPEED: VULT = 150 MPH, RISK CATEGORY II, CATEGORY C

SOIL REPORT NO: 10116-2019092  
BY: NAVA ENGINEERING AND ENVIRONMENTAL, LLC  
DATED: JUNE 2019