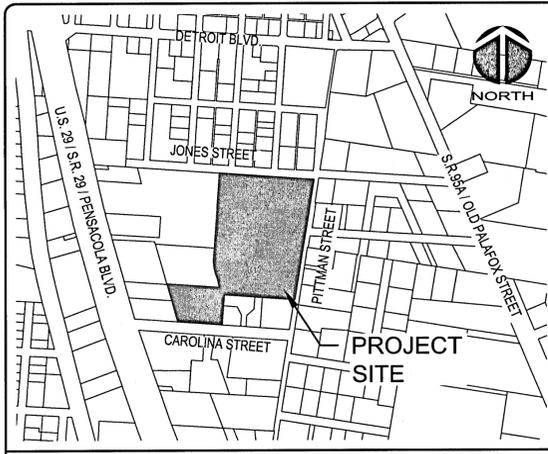


# WOODLAND PLACE APARTMENTS PHASE 1

## 8221 PITTMAN AVENUE, PENSACOLA, FL 32534

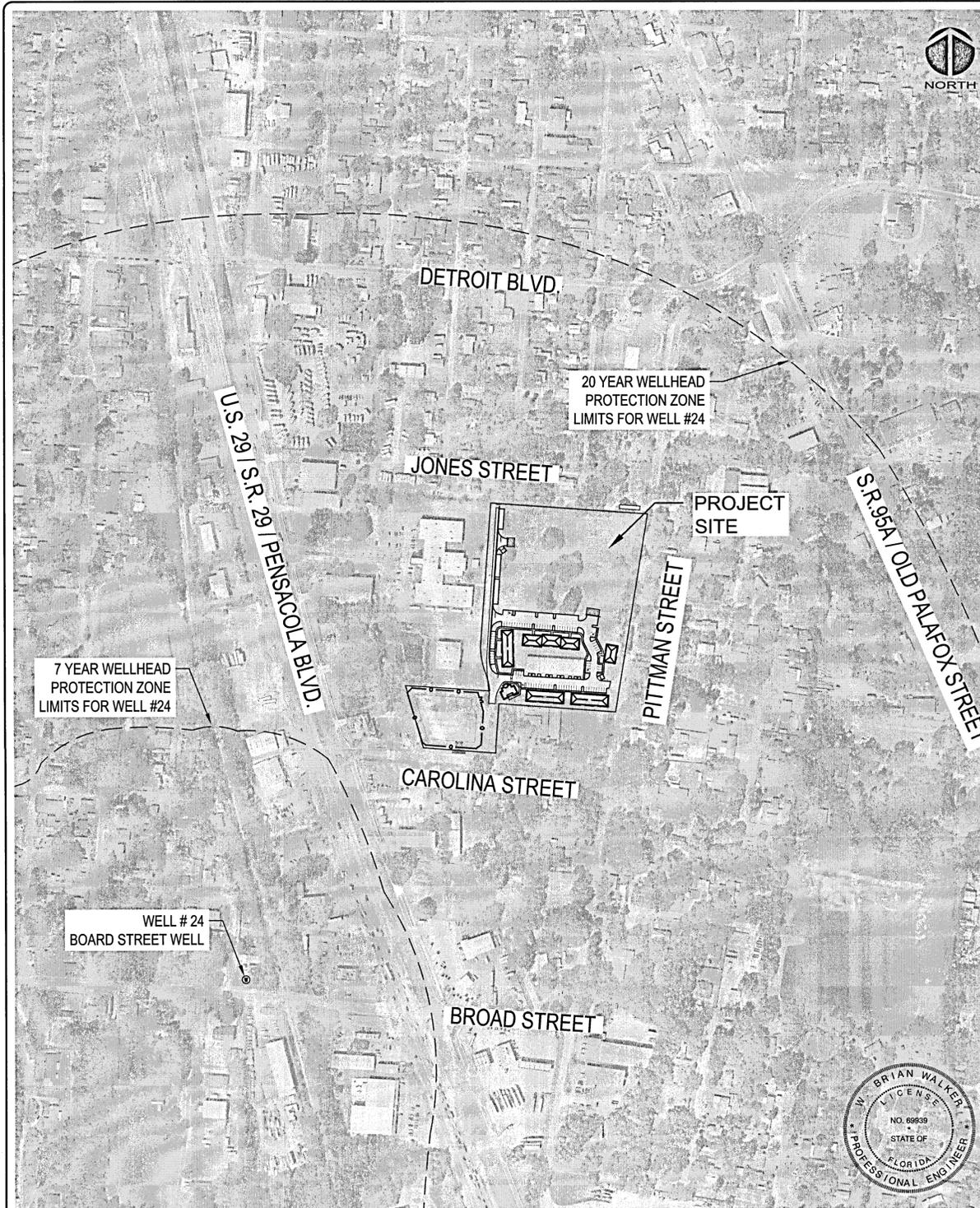
PROJ. NO. 07952-0001  
 MARCH 19, 2021  
 COUNTY SUBMITTAL / NOT FOR CONSTRUCTION



VICINITY MAP NOT TO SCALE

PROJECT NAME: WOODLAND PLACE APARTMENTS

OWNER/DEVELOPER:  
 SWEET BAY PROPERTIES, LLC  
 297 COBALT LANE (ERIC SAWYER)  
 MIRAMAR BEACH, FLORIDA  
 ESAWYER@SWEETBAY-PROPERTIES.COM



SITE MAP

**LEGAL DESCRIPTION**

(AS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY)

PARCEL I (TOWNHOUSE PARCEL)  
 COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, A.K.A. PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 912.14 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°29'04" EAST FOR A DISTANCE OF 414.34 FEET TO THE WEST RIGHT-OF-WAY OF PITTMAN AVENUE (50 FOOT R/W); THENCE NORTH 04°14'36" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 727.19 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID SOUTH RIGHT-OF-WAY FOR A DISTANCE OF 511.17 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 250.52 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°04'43"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE AND THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL II (RETENTION POND PARCEL)  
 COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, A.K.A. PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST FOR A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 21°53'36" WEST FOR A DISTANCE OF 188.08 FEET; THENCE NORTH 20°36'00" WEST FOR A DISTANCE OF 49.46 FEET; THENCE NORTH 89°27'57" EAST FOR A DISTANCE OF 302.91 FEET TO A POINT ON THE ARC OF CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 AND A DELTA OF 09°55'24"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 44.87 FEET (CHD. = 44.82 FEET, C.B. = SOUTH 00°14'28" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET; THENCE SOUTH 89°31'17" WEST FOR A DISTANCE OF 220.14 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL III (ROAD PARCEL)  
 COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, A.K.A. PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 470.14 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE NORTH 89°31'17" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 42.00 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°04'43"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = NORTH 11°18'37" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 205.52 FEET AND A DELTA OF 20°40'29"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = NORTH 11°00'43" WEST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 00°40'29" WEST FOR A DISTANCE OF 533.80 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 36.00 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 286.52 FEET AND A DELTA OF 20°40'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.39 FEET (CHD. = 102.83 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 FEET AND A DELTA OF 20°04'43"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.65 FEET (CHD. = 90.18 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

NOTE: THERE ARE MULTIPLE OMISSIONS/ERRORS IN THE LEGAL DESCRIPTION FOR PARCEL 2. THE CALL "A RADIUS OF 258.67" SHOULD READ "A RADIUS OF 258.67 FEET". THE CALL "C.B. = SOUTH 00°14'29" EAST" SHOULD READ "C.B. = SOUTH 00°14'29" EAST" AND THE CALL "THENCE SOUTH 89°31'17" WEST" SHOULD READ "THENCE SOUTH 89°31'17" WEST". THE DESCRIPTION FOR PARCEL III CONTAINS AN ERROR IN THE CALL "A RADIUS OF 205.52 FEET". THE CALL SHOULD READ "A RADIUS OF 250.52 FEET".

**NOTES:**

1. ECUA REQUIRES A MINIMUM GRINDER OPERATING POINT OF 21 GPM @ 50 PSI.
2. THE SUBJECT PARCELS FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITY AUTHORITY 850-476-5100 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.

**SHEET LIST**

SHEET No.	DRAWING TITLE
C-000	COVER AND SHEET INDEX
C-001	GENERAL NOTES
C-002	LEGEND AND ABBEVIATIONS
C-010	PHASING PLAN
C-011	OVERALL KEY PLAN
C-101	DEMOLITION AND EROSION CONTROL PLAN
C-102	DEMOLITION AND EROSION CONTROL PLAN
C-111	UTILITY SITE DEMOLITION
C-112	UTILITY SITE DEMOLITION
C-120	TREE PROTECTION AND REMOVAL SUMMARY
C-201	SITE LOCATION PLAN
C-202	SITE LOCATION PLAN
C-301	GRADING AND DRAINAGE PLAN
C-302	GRADING AND DRAINAGE PLAN
C-401	UTILITY PLAN
C-402	UTILITY PLAN
C-410	SEWER CONNECTION PLAN & PROFILE
C-801	LANDSCAPE PLAN
C-802	LANDSCAPE PLAN
C-910	EROSION CONTROL DETAILS
C-920	SITE DETAILS
C-930	DRAINAGE DETAILS
C-931	DRAINAGE DETAILS
C-940	UTILITY DETAILS

Approved  
 ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: *03/19/21*  
 Printed Name: *Eric Sawyer* Director of Business

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

BRIAN WALKER  
 LICENSE  
 No. 69939  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

*[Signature]*  
 03/19/21

1206 N. Palafox St.  
 Pensacola, Florida 32501  
 Phone: (850) 994-9503  
 FL Certificate of Authorization# 29588  
 www.mckimcreed.com

PROJECT INFORMATION

SCALE: 1" = 250'

SHEET INDEX

WOODLAND PLACE APARTMENTS PROJ. NO. 07952-0001 SUBMITTAL DATE: MARCH 19, 2021









- LEGEND**
- PROPERTY BOUNDARY
  - RIGHT-OF-WAY LINE
  - LIMITS OF WORK
  - EASEMENT LINE
  - SITE ELEMENTS TO REMAIN
  - SITE ELEMENTS TO BE REMOVED
  - SF --- SILT FENCE - SINGLE ROW
  - X --- SILT FENCE - DOUBLE ROW
  - [Hatched Box] EXISTING BUILDING TO REMAIN
  - [Hatched Box] GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA
  - [Cross-hatched Box] EXISTING PAVEMENT TO BE REMOVED
  - [Cross-hatched Box] EXISTING HARDSCAPES TO BE REMOVED
  - [Rectangular Box] INLET PROTECTION FILTER
  - [Circle with Arrow] SIGN TO BE REMOVED/RELOCATED
  - [Circle with X] TREE TO BE PROTECTED
  - [Circle with X] TREE TO BE RELOCATED
  - [Circle with X] TREE TO BE REMOVED

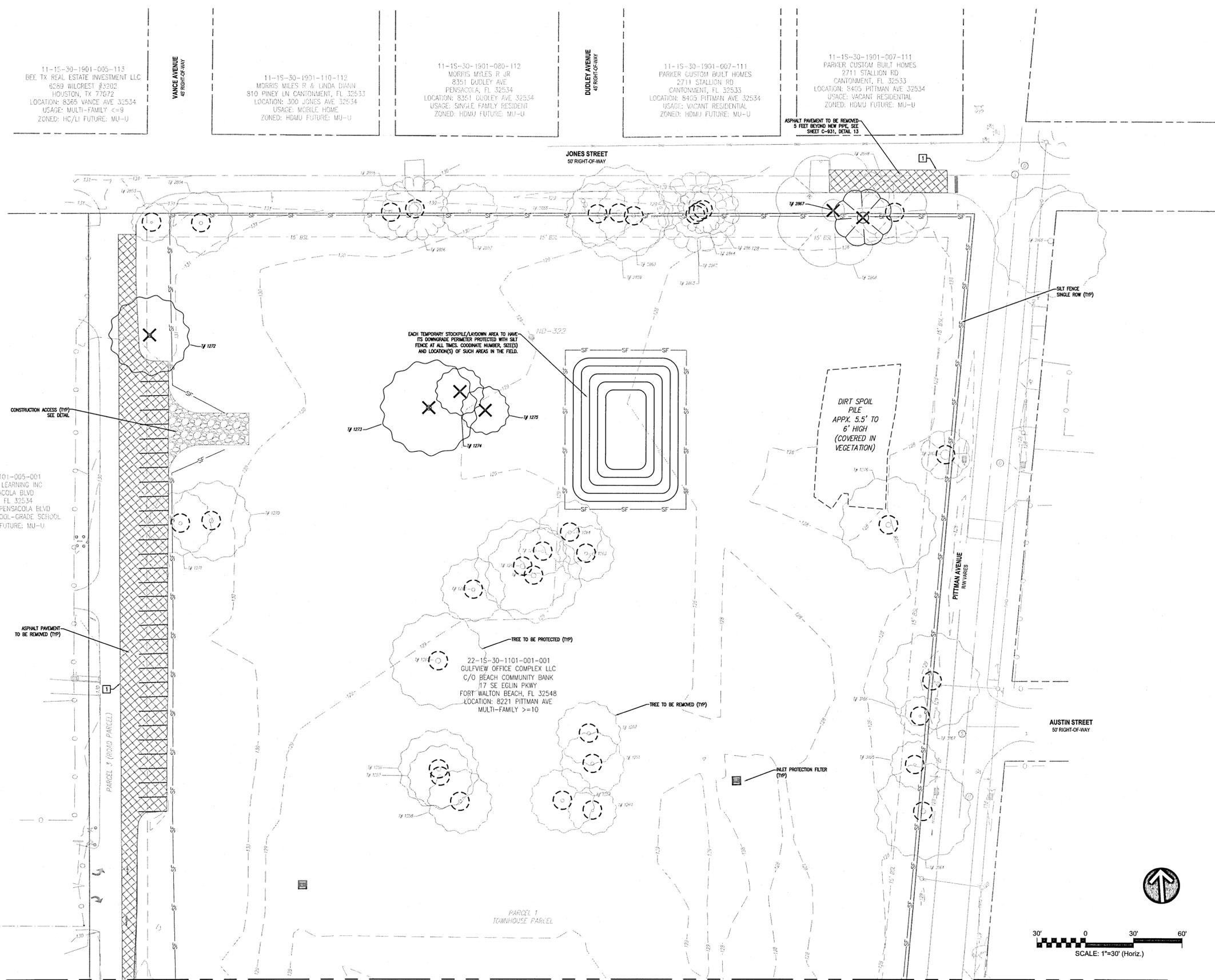
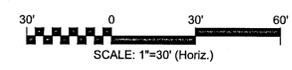
- KEYNOTES**
- 1 SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
  - 2 SAW CUT AND REMOVE EXISTING CONCRETE CURB
  - 3 EXISTING SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION
  - 4 PROVIDE SEDIMENT FILTER TO PROTECT EXISTING DRAINAGE INLET

- EROSION CONTROL NOTES**
1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
  2. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
  3. CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
  4. CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
  5. A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY ROCD COMPLIANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  6. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED.
  7. IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
  8. ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
  9. DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION.
  10. ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

- DEMOLITION NOTES**
1. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
  2. DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY.
  3. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
  4. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
  5. ALL EXCAVATED MATERIALS THAT ARE NOT UTILIZED ELSEWHERE ON THE PROJECT SITE SHALL BE PERMANENTLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
  6. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

**BENCHMARK TABLE**

NUMBER	DESCRIPTION	ELEV (FT)
TBM 321	SET NAIL & DISK (LB7917)	129.78
TBM 319	SET NAIL & DISK (LB7917)	127.71
TBM 322	SET NAIL & DISK (LB7917)	129.55



11-15-30-1901-005-113  
BEE TX REAL ESTATE INVESTMENT LLC  
6289 WILCREST #3202  
HOUSTON, TX 77072  
LOCATION: 8365 VANCE AVE 32534  
USAGE: MULTI-FAMILY <=9  
ZONED: HC/LI FUTURE: MU-U

11-15-30-1901-110-112  
MORRIS MILES R & LINDA DIANN  
810 PINEY LN CANTONMENT, FL 32533  
LOCATION: 300 JONES AVE 32534  
USAGE: MOBILE HOME  
ZONED: HDMU FUTURE: MU-U

11-15-30-1901-080-112  
MORRIS MILES R JR  
8351 DUDLEY AVE  
PENSACOLA, FL 32534  
LOCATION: 8351 DUDLEY AVE 32534  
USAGE: SINGLE FAMILY RESIDENT  
ZONED: HDMU FUTURE: MU-U

11-15-30-1901-007-111  
PARKER CUSTOM BUILT HOMES  
2711 STALLION RD  
CANTONMENT, FL 32533  
LOCATION: 8405 FITTMAN AVE 32534  
USAGE: VACANT RESIDENTIAL  
ZONED: HDMU FUTURE: MU-U

11-15-30-1901-007-111  
PARKER CUSTOM BUILT HOMES  
2711 STALLION RD  
CANTONMENT, FL 32533  
LOCATION: 8405 FITTMAN AVE 32534  
USAGE: VACANT RESIDENTIAL  
ZONED: HDMU FUTURE: MU-U

ASPHALT PAVEMENT TO BE REMOVED  
5 FEET BEYOND NEW PIS; SEE  
SHEET C-031, DETAIL 13

22-15-30-1101-005-001  
NEW ROAD TO LEARNING INC  
8190 PENSACOLA BLVD  
PENSACOLA, FL 32534  
LOCATION: 8190 PENSACOLA BLVD  
USAGE: PRIVATE SCHOOL-GRADE SCHOOL  
ZONED: HC/LI FUTURE: MU-U

EACH TEMPORARY STOCKPILE/LAYDOWN AREA TO HAVE  
ITS DOWNWIND PERIMETER PROTECTED WITH SILT  
FENCE AT ALL TIMES. COORDINATE NUMBER, SIZE(S)  
AND LOCATION(S) OF SUCH AREAS IN THE FIELD.

DIRT SPOIL PILE  
APPX. 5.5' TO  
6' HIGH  
(COVERED IN  
VEGETATION)

22-15-30-1101-001-001  
GULFVIEW OFFICE COMPLEX LLC  
C/O BEACH COMMUNITY BANK  
17 SE EGLIN PKWY  
FORT WALTON BEACH, FL 32548  
LOCATION: 8221 FITTMAN AVE  
MULTI-FAMILY >=10

MATCHLINE: SHEET C-102

REV. NO.	DESCRIPTION	DATE



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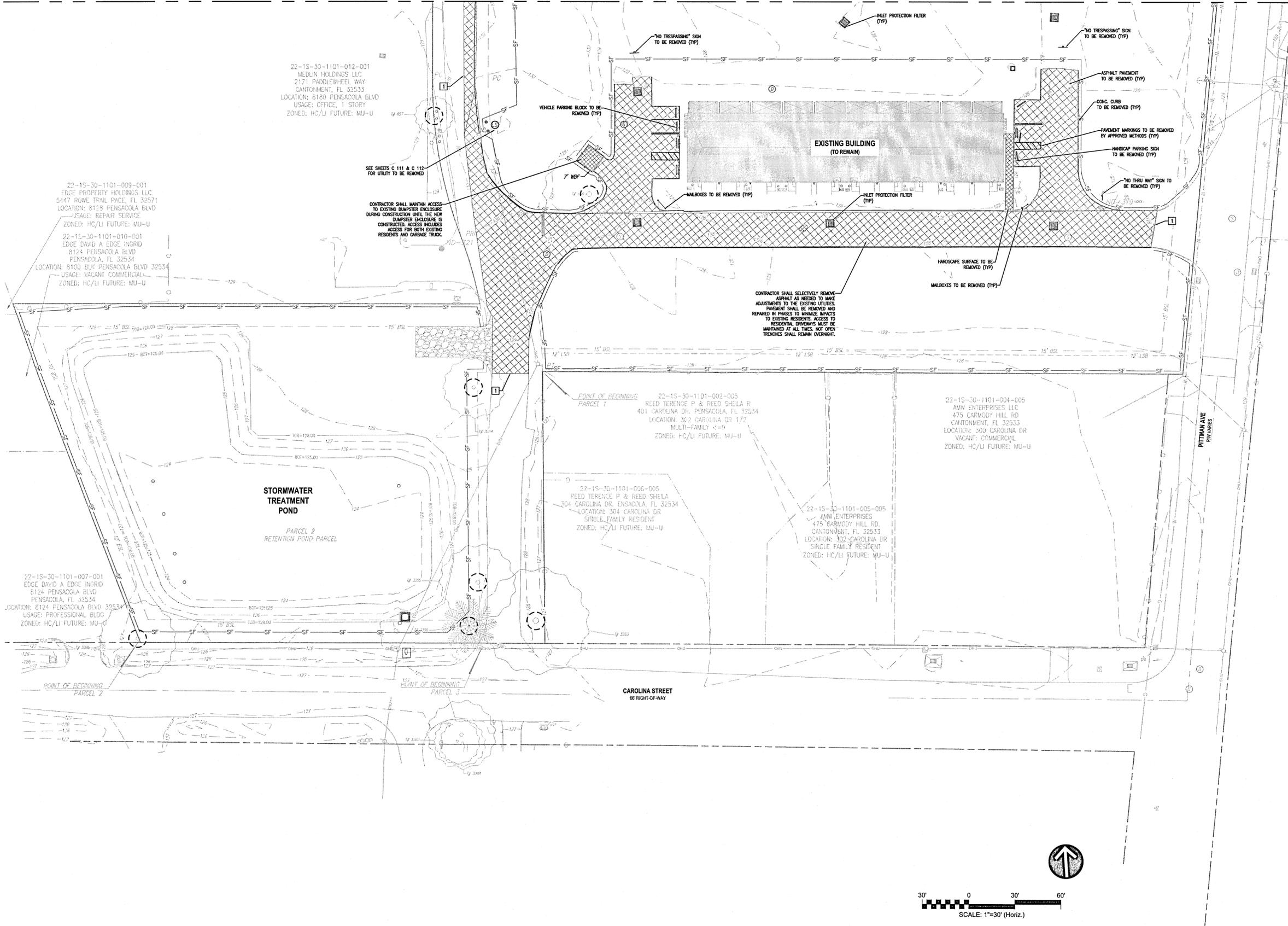
**SWEET BAY PROPERTIES, LLC**  
297 Colbalt Lane  
Miramar Beach, FL 32550  
www.sweetbay-properties.com

**WOODLAND PLACE APARTMENTS  
PHASE 1**  
CIVIL  
**DEMOLITION AND EROSION CONTROL PLAN**

PROJ. START DATE: 3/19/21	SCALE:
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN
DRAWN: GTP	VERTICAL: N/A
DESIGNED: AMM	REVISION:
CHECKED: DPJJ	
PROJ. MGR.: WSW	

**C-101**  
DRAWING NUMBER  
REVISION

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION



- LEGEND**
- PROPERTY BOUNDARY
  - RIGHT-OF-WAY LINE
  - LIMITS OF WORK
  - EASEMENT LINE
  - SITE ELEMENTS TO REMAIN
  - SITE ELEMENTS TO BE REMOVED
  - SF --- SILT FENCE - SINGLE ROW
  - X --- SILT FENCE - DOUBLE ROW
  - EXISTING BUILDING TO REMAIN
  - GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA
  - INLET PROTECTION FILTER
  - SIGN TO BE REMOVED/RELOCATED
  - TREE TO BE PROTECTED
  - TREE TO BE RELOCATED
  - TREE TO BE REMOVED
  - LIMITS OF CLEARING AND GRUBBING
  - LIGHT POLE TO BE REMOVED

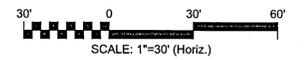
- KEYNOTES**
- 1 SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
  - 2 SAW CUT AND REMOVE EXISTING CONCRETE CURB
  - 3 EXISTING SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION
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- EROSION CONTROL NOTES**
1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
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  4. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
  5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

**BENCHMARK TABLE**

NUMBER	DESCRIPTION	ELEV (FT)
TBM 321	SET NAIL & DISK (LB7917)	129.78
TBM 319	SET NAIL & DISK (LB7917)	127.71
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REV. NO.	DESCRIPTION	DATE



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**WOODLAND PLACE APARTMENTS  
PHASE 1**

CIVIL  
**DEMOLITION AND EROSION CONTROL PLAN**

PROJ. START DATE: 3/19/21	SCALE:
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN
DRAWN: GTP	VERTICAL: N/A
DESIGNED: AMM	
CHECKED: DPJJ	
PROJ. MGR.: WBW	

**C-102**

DRAWING NUMBER

REVISION

STATUS: COUNTY SUBMITTAL  
**NOT FOR CONSTRUCTION**

11-15-30-1901-005-113  
BEE TX REAL ESTATE INVESTMENT LLC  
6289 WILCREST #3202  
HOUSTON, TX 77072  
LOCATION: 8365 VANCE AVE 32534  
USAGE: MULTI-FAMILY C-9  
ZONED: HC/LI FUTURE: MU-U

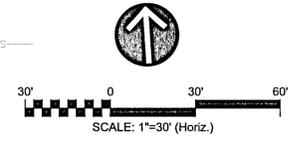
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LOCATION: 300 JONES AVE 32534  
USAGE: MOBILE HOME  
ZONED: HDMU FUTURE: MU-U

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PENSACOLA, FL 32534  
LOCATION: 8351 DUDLEY AVE 32534  
USAGE: SINGLE FAMILY RESIDENT  
ZONED: HDMU FUTURE: MU-U

11-15-30-1901-007-111  
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CANTONMENT, FL 32533  
LOCATION: 8405 PITTMAN AVE 32534  
USAGE: VACANT RESIDENTIAL  
ZONED: HDMU FUTURE: MU-U

11-15-30-1901-007-111  
PARKER CUSTOM BUILT HOMES  
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CANTONMENT, FL 32533  
LOCATION: 8405 PITTMAN AVE 32534  
USAGE: VACANT RESIDENTIAL  
ZONED: HDMU FUTURE: MU-U

APPRX END OF 8" PVC PER ECUA MAP



- LEGEND**
- PROPERTY BOUNDARY
  - - - RIGHT-OR-WAY LINE
  - - - EXISTING SITE ELEMENTS TO REMAIN
  - - - EXISTING UTILITIES TO REMAIN
  - 6"RAW EXISTING UTILITIES TO BE REMOVED
  - 12"UD EXISTING STORM PIPING TO BE REMOVED
  - 4"UD EXISTING UNDERDRAIN PIPING TO BE REMOVED
  - 4"WM EXISTING POTABLE WATER MAIN TO BE REMOVED
  - 8"S EXISTING SANITARY SEWER MAIN TO BE REMOVED
  - 2"FM EXISTING SANITARY FORCE MAIN TO BE REMOVED
  - 8"RW EXISTING RECLAIMED WATER MAIN TO BE REMOVED
  - EXISTING UTILITY TO BE FILLED WITH FLOWABLE FILL CONCRETE AND ABANDONED IN PLACE

22-15-30-1101-005-001  
NEW ROAD TO LEARNING INC  
8190 PENSACOLA BLVD  
PENSACOLA, FL 32534  
LOCATION: 8190 PENSACOLA BLVD  
USAGE: PRIVATE SCHOOL-GRADE SCHOOL  
ZONED: HC/LI FUTURE: MU-U

SURVEY CONTROL POINT 6322  
SET NAIL & DISK (L197917)  
N: 50989.263  
E: 1096770.985  
EL: 129.55

DIRT SPOIL PILE  
APPRX. 5.5' TO 6' HIGH  
(COVERED IN VEGETATION)

CONC FLUME  
GRATE=129.33  
15"TRCP  
INV=128.53  
END UNKNOWN  
8"TRCP  
INV=127.08  
END UNKNOWN  
4"TRCP  
INV=127.08  
END UNKNOWN  
15"TRCP  
INV=125.53  
END UNKNOWN

EXISTING TRANSFORMER AND ELECTRICAL LINES TO BE REMOVED BY OTHERS (TYP)

EXISTING TELEPHONE BOXES AND TELEPHONE LINES TO BE REMOVED BY OTHERS (TYP)

EXISTING INLET TO BE REMOVED AND REPLACED. SEE C-300 SERIES FOR INFORMATION.

EXISTING INLET TO BE REMOVED AND REPLACED. SEE C-300 SERIES FOR INFORMATION.

EXIST-4  
GRATE=128.75  
INV(N)=125.59(C)  
INV(S)=125.51(C)  
STRUCTURE FILLED WITH DIRT

REMOVE EXISTING WATER MAIN AS SHOWN

EXIST-6  
TOP=122.07  
INV=124.90(AB)

EXIST-12  
GRATE=127.72  
INV=125.82

REMOVE EXISTING WATER MAIN AS SHOWN

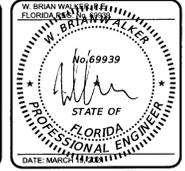
AUSTIN STREET 50' RIGHT-OF-WAY

GRATE=128.24  
INV=122.91  
TOP=128.92  
INV(S)=122.62  
INV(S)=121.50  
CD=121.80  
INV(N) TOO RECESSED TO MEASURE

GRATE=128.32  
INV=123.02

MATCHLINE: SHEET C-112

REV. NO.	DESCRIPTION	DATE



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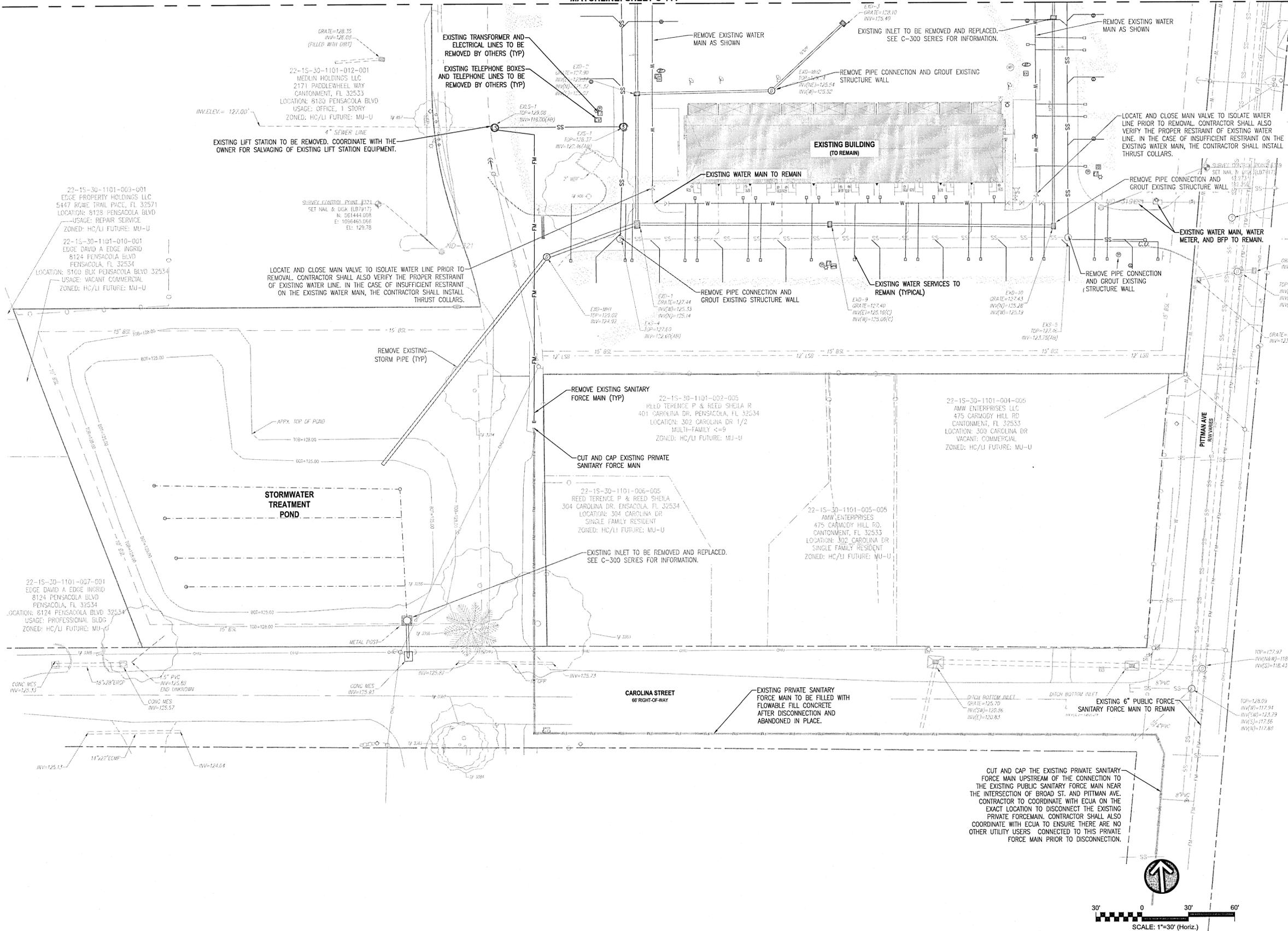
**WOODLAND PLACE APARTMENTS  
PHASE 1**  
CIVIL  
**UTILITY SITE DEMOLITION**

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

SCALE	AS SHOWN
HORIZONTAL:	
VERTICAL:	

**C-111**  
DRAWING NUMBER

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION



- LEGEND**
- PROPERTY BOUNDARY
  - - - RIGHT-OF-WAY LINE
  - EXISTING SITE ELEMENTS TO REMAIN
  - EXISTING UTILITIES TO REMAIN
  - 6"RAW EXISTING UTILITIES TO BE REMOVED
  - 12"D EXISTING STORM PIPING TO BE REMOVED
  - 4"UD EXISTING UNDERDRAIN PIPING TO BE REMOVED
  - 4"WPM EXISTING POTABLE WATER MAIN TO BE REMOVED
  - 6"SS EXISTING SANITARY SEWER MAIN TO BE REMOVED
  - 24"FI EXISTING SANITARY FORCE MAIN TO BE REMOVED
  - 6"RW EXISTING RECLAIMED WATER MAIN TO BE REMOVED
  - EXISTING UTILITY TO BE FILLED WITH FLOWABLE FILL CONCRETE AND ABANDONED IN PLACE

22-15-30-1101-003-001  
EDGE PROPERTY HOLDINGS LLC  
5447 ROWE TRAIL PACE, FL 32571  
LOCATION: 9128 PENSACOLA BLVD  
USAGE: REPAIR SERVICE  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-010-001  
EDGE DAVID A EDGE INGRID  
8124 PENSACOLA BLVD  
PENSACOLA, FL 32534  
LOCATION: 5100 BLK PENSACOLA BLVD 32534  
USAGE: VACANT COMMERCIAL  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-007-001  
EDGE DAVID A EDGE INGRID  
8124 PENSACOLA BLVD  
PENSACOLA, FL 32534  
LOCATION: 8124 PENSACOLA BLVD 32534  
USAGE: PROFESSIONAL BLDG  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-012-001  
MEDLIN HOLDINGS LLC  
2171 PADDLEWHEEL WAY  
CANTONMENT, FL 32533  
LOCATION: 8180 PENSACOLA BLVD  
USAGE: OFFICE, 1 STORY  
ZONED: HC/LI FUTURE: MU-U

LOCATE AND CLOSE MAIN VALVE TO ISOLATE WATER LINE PRIOR TO REMOVAL. CONTRACTOR SHALL ALSO VERIFY THE PROPER RESTRAINT OF EXISTING WATER LINE. IN THE CASE OF INSUFFICIENT RESTRAINT ON THE EXISTING WATER MAIN, THE CONTRACTOR SHALL INSTALL THRUST COLLARS.

22-15-30-1101-002-005  
HLD TERENCE P & REED SHEILA R  
401 CAROLINA DR, PENSACOLA, FL 32534  
LOCATION: 302 CAROLINA DR 1/2  
MULTI-FAMILY <=9  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-006-005  
REED TERENCE P & REED SHEILA  
304 CAROLINA DR, PENSACOLA, FL 32534  
LOCATION: 304 CAROLINA DR  
SINGLE FAMILY RESIDENT  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-005-005  
AMW ENTERPRISES  
475 CARMODY HILL RD,  
CANTONMENT, FL 32533  
LOCATION: 302 CAROLINA DR  
SINGLE FAMILY RESIDENT  
ZONED: HC/LI FUTURE: MU-U

22-15-30-1101-004-005  
AMW ENTERPRISES LLC  
475 CARMODY HILL RD  
CANTONMENT, FL 32533  
LOCATION: 300 CAROLINA DR  
VACANT COMMERCIAL  
ZONED: HC/LI FUTURE: MU-U

CUT AND CAP THE EXISTING PRIVATE SANITARY FORCE MAIN UPSTREAM OF THE CONNECTION TO THE EXISTING PUBLIC SANITARY FORCE MAIN NEAR THE INTERSECTION OF BROAD ST. AND PITTMAN AVE. CONTRACTOR TO COORDINATE WITH ECUA ON THE EXACT LOCATION TO DISCONNECT THE EXISTING PRIVATE FORCEMAIN. CONTRACTOR SHALL ALSO COORDINATE WITH ECUA TO ENSURE THERE ARE NO OTHER UTILITY USERS CONNECTED TO THIS PRIVATE FORCE MAIN PRIOR TO DISCONNECTION.

REV. NO.	DESCRIPTION	DATE



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**WOODLAND PLACE APARTMENTS  
PHASE 1**

CIVIL  
**UTILITY SITE DEMOLITION**

PROJ. START DATE:	3/19/21
MCE PROJ. #	07952-0001
DRAWN	GTP
DESIGNED	AMM
CHECKED	DPJJ
PROJ. MGR.	WBW

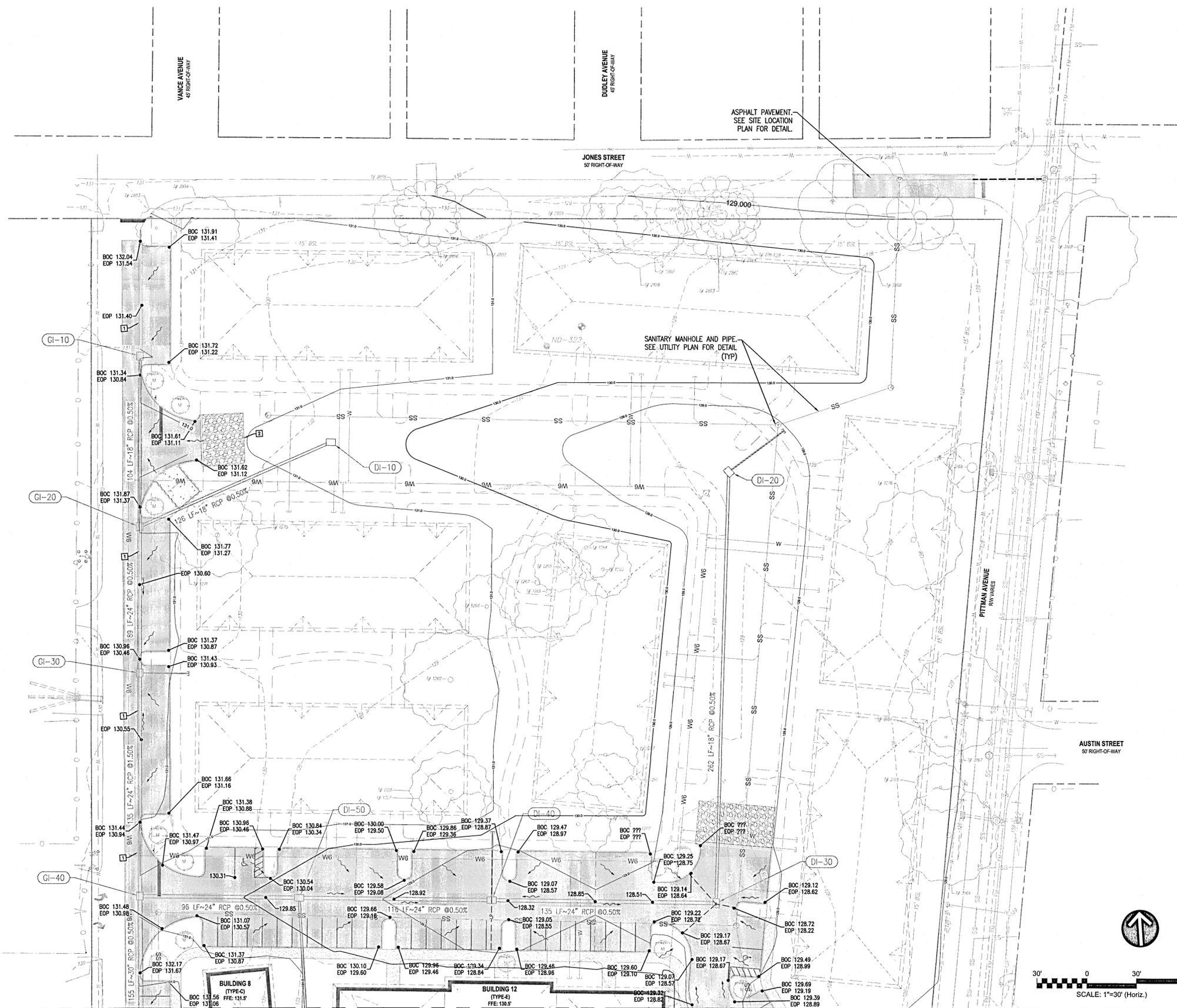
SCALE	C-112 DRAWING NUMBER
HORIZONTAL:	
AS SHOWN	
VERTICAL:	N/A
REVISION	

STATUS: COUNTY SUBMITTAL  
NOT FOR CONSTRUCTION









- LEGEND**
- PROPERTY BOUNDARY
  - RIGHT-OF-WAY LINE
  - LIMITS OF WORK
  - 100--- EXISTING CONTOUR
  - 100--- PROPOSED CONTOUR
  - GB --- GRADE BREAK LINE
  - HP --- GRADE BREAK LINE-HIGH POINT
  - LP --- GRADE BREAK LINE-LOW POINT
  - SWALE TOE OF SLOPE
  - 18" RCP --- EXISTING STORM PIPE
  - 18" RCP --- AREA DRAIN PIPE
  - 18" RCP --- STORM PIPE
  - 18" RCP --- UNDER DRAIN PIPE
  - ASPHALT PAVEMENT (SEE SITE LOCATION PLAN FOR DETAIL)
  - BANK AND SHORE RIP RAP FOOT SECTION 530
  - DITCH LINING RIP RAP FOOT SECTION 530
  - SURFACE FLOW ARROW
  - SURFACE FLOW GRADE
  - SIDE SLOPE GRADE
  - CURB INLETS
  - DITCH BOTTOM INLET
  - STORM MANHOLE
  - MITERED END SECTION
  - EXISTING STORM STRUCTURE LABEL
  - STORM STRUCTURE LABEL
  - CLEANOUT LABEL

- KEYNOTES**
- 1 MATCH EXIST. PAVEMENT GRADE
  - 2 MATCH PROPOSED GRADE

- GRADING AND DRAINAGE NOTES**
1. EXISTING DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
  2. ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE THE C-400 DRAWING SERIES FOR UTILITY INFORMATION.
  3. ALL DOWNSPOUTS AND ROOF DRAINS MUST BE TIED TO ON-SITE STORM WATER CONVEYANCE PIPING WITH WITH MANUFACTURED PIPE, BENDS AND FITTINGS. COORDINATE ROOF DRAIN QUANTITY, SIZE AND LOCATION WITH ARCHITECTURAL ROOF PLAN.
  4. ALL COLLECTION INLETS MUST BE IMMEDIATELY PROTECTED WITH PERIMETER AND OPEN TOP PROTECTION MEASURES TO PREVENT SEDIMENT FROM ENTERING THE INSTALLED SYSTEM. MAINTAIN INLET PROTECTION UNTIL ALL UPSTREAM CONTRIBUTING AREAS ARE PERMANENTLY STABILIZED.
  5. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOMS OF EACH OF THE CHIMNEYS ARE KEYING INTO THE MORE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS.
  6. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEYS, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
DI-10	Index No. 232 - Ditch Bottom Inlet - Type E	N:561939.73 E:1096837.54	130.42	18" INV OUT=127.41 W RCP
DI-20	Index No. 232 - Ditch Bottom Inlet - Type E	N:561905.59 E:1096875.35	127.98	18" INV OUT=124.90 S RCP
DI-30	Index No. 232 - Ditch Bottom Inlet - Type E	N:561644.39 E:1096850.07	128.00	18" INV IN=123.59 N RCP 24" INV OUT=123.59 W RCP
DI-40	Index No. 232 - Ditch Bottom Inlet - Type E	N:561655.23 E:1096715.03	128.23	24" INV IN=122.91 E RCP 24" INV OUT=122.91 W RCP
DI-50	Index No. 232 - Ditch Bottom Inlet - Type E	N:561664.51 E:1096599.40	129.61	24" INV IN=122.33 E RCP 12" INV IN=121.67 S Pipe Culv 24" INV OUT=122.33 W RCP
GI-10	INDEX NO. 220 - GUTTER INLET-TYPE S	N:561999.94 E:1096526.43	130.94	18" INV OUT=127.30 S RCP
GI-20	INDEX NO. 220 - GUTTER INLET-TYPE S	N:561896.29 E:1096519.20	130.44	18" INV IN=126.78 N RCP 18" INV IN=126.78 E RCP 24" INV OUT=126.28 S RCP
GI-30	Index No. 220 - Gutter Inlet - Type S	N:561807.33 E:1096513.08	130.45	24" INV IN=125.83 N RCP 24" INV OUT=125.83 S RCP
GI-40	Index No. 220 - Gutter Inlet - Type S	N:561672.19 E:1096503.71	130.75	24" INV IN=123.80 N RCP 24" INV IN=121.85 E RCP 30" INV OUT=121.35 S RCP



REV. NO.	DESCRIPTION	DATE



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**WOODLAND PLACE APARTMENTS  
 PHASE 1**  
 CIVIL  
**GRADING AND DRAINAGE PLAN**

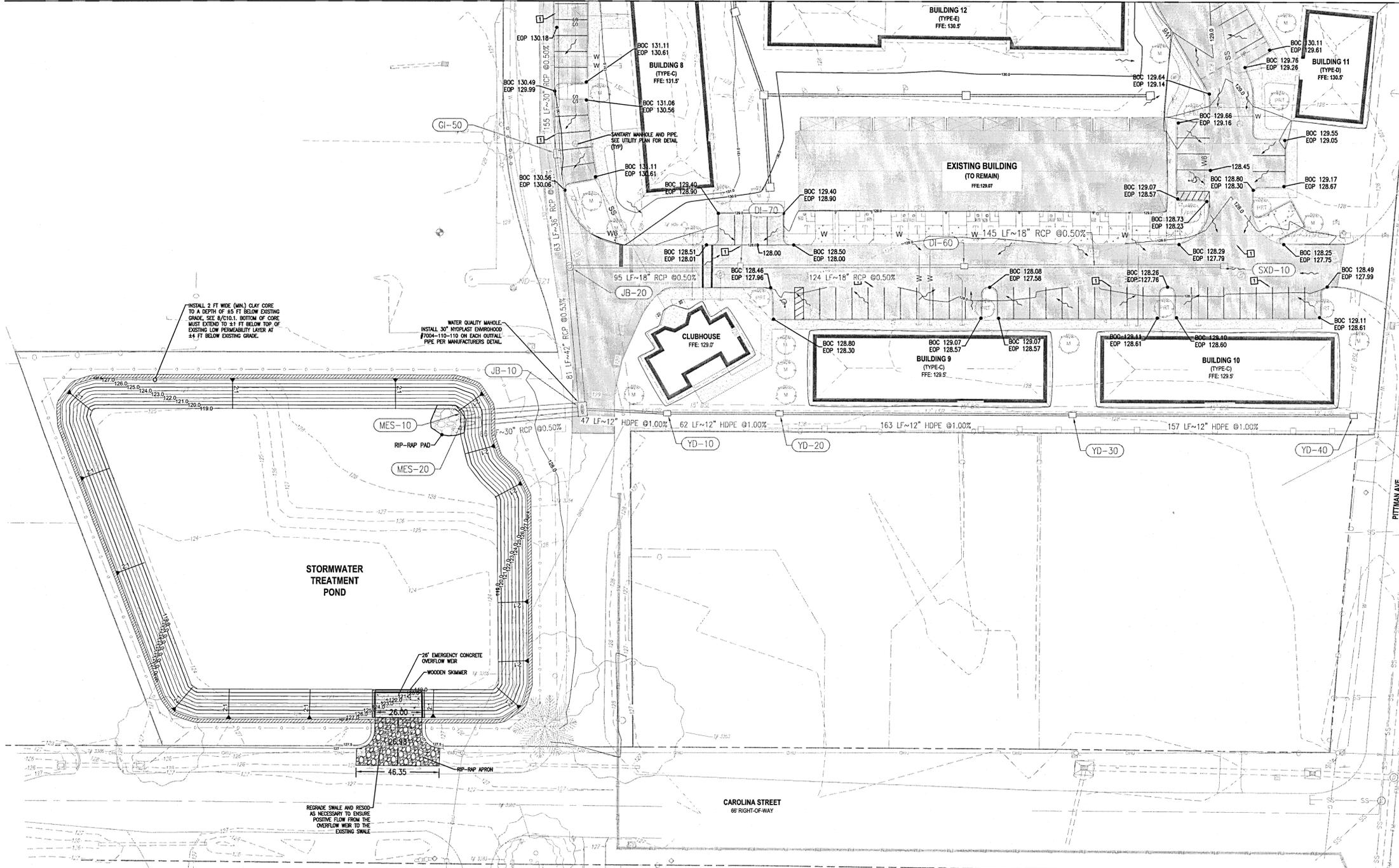
PROJ. START DATE: 3/19/21  
 MCE PROJ. #: 07952-0001  
 DRAWN: GTP  
 DESIGNED: AMM  
 CHECKED: DFJJ  
 PROJ. MGR.: WBW

SCALE: HORIZONTAL: AS SHOWN VERTICAL: N/A

**C-301**  
 DRAWING NUMBER

REVISION

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION



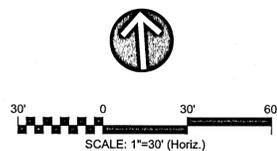
- LEGEND**
- PROPERTY BOUNDARY
  - - - RIGHT-OF-WAY LINE
  - - - LIMITS OF WORK
  - - - EXISTING CONTOUR
  - - - PROPOSED CONTOUR
  - - - GB - GRADE BREAK LINE
  - - - HP - GRADE BREAK LINE-HIGH POINT
  - - - LP - GRADE BREAK LINE-LOW POINT
  - - - SWALE TOE OF SLOPE
  - EXISTING STORM PIPE
  - AREA DRAIN PIPE
  - STORM PIPE
  - UNDER DRAIN PIPE
  - ASPHALT PAVEMENT (SEE SITE LOCATION PLAN FOR DETAIL)
  - BANK AND SHORE RIP RAP (DOT SECTION 530)
  - DITCH LINING RIP RAP (DOT SECTION 530)
  - SURFACE FLOW ARROW
  - SURFACE FLOW GRADE
  - SIDE SLOPE GRADE
  - CURB INLETS
  - DITCH BOTTOM INLET
  - STORM MANHOLE
  - MITERED END SECTION
  - EXISTING STORM STRUCTURE LABEL
  - STORM STRUCTURE LABEL
  - CLEANOUT LABEL

- KEYNOTES**
- 1 MATCH EXIST. PAVEMENT GRADE
  - 2 MATCH PROPOSED GRADE

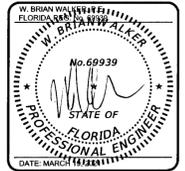
DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
DI-60	EXISTING DITCH BOTTOM INLET	N:561439.74 E:1096716.26	127.78	18" INV IN=124.47 E RCP 18" INV OUT=124.47 W RCP
DI-70	Index No. 232 - Ditch Bottom Inlet - Type C	N:561447.83 E:1096592.12	127.76	18" INV IN=123.85 E RCP 18" INV OUT=123.85 W RCP
GI-50	TYPE S GUTTER INLET FDOT PLAN 425-040	N:561517.92 E:1096494.54	129.96	30" INV IN=120.58 N RCP 36" INV OUT=120.08 S RCP
MES-10	MITERED END SECTION	N:561375.24 E:1096430.96	121.79	30" INV IN=119.00 E RCP
MES-20	MITERED END SECTION	N:561369.06 E:1096430.72	121.79	30" INV IN=119.00 E RCP
SxD-10	EXISTING DITCH BOTTOM INLET	N:561430.33 E:1096860.73	127.44	18" INV OUT=125.19 W RCP
YD-10	ZERN FD2283 SQUAR YARD INLET	N:561367.68 E:1096545.93	128.98	12" INV IN=122.48 E HDPE 12" INV OUT=122.48 W HDPE
YD-20	ZERN FD2283 SQUAR YARD INLET	N:561363.48 E:1096608.21	128.98	12" INV IN=123.10 E HDPE 12" INV OUT=123.10 W HDPE
YD-30	ZERN FD2283 SQUAR YARD INLET	N:561351.92 E:1096771.03	128.95	12" INV IN=124.73 E HDPE 12" INV OUT=124.73 W HDPE
YD-40	ZERN FD2283 SQUAR YARD INLET	N:561341.07 E:1096927.30	128.86	12" INV OUT=126.30 W HDPE

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
JB-10	INDEX NO. 201 - TYPE 8 MANHOLE (CONCENTRIC CONE WITH RECTANGULAR BOTTOM 48X84). PROVIDE A 12"x12" OPENING IN BOTTOM OF STRUCTURE	N:561373.15 E:1096498.97	128.47	BOT = 115.00 42" INV IN=119.33 N RCP 12" INV IN=122.01 E HDPE 30" INV OUT=119.33 W RCP 30" INV OUT=119.33 W RCP
JB-20	EXISTING JUNCTION BOX	N:561454.02 E:1096497.15	0.00	BOT = -10.24 36" INV IN=119.78 N RCP 18" INV IN=123.37 E RCP 42" INV OUT=119.76 S RCP

- ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE THE C-400 DRAWING SERIES FOR UTILITY INFORMATION.
- ALL DOWNSPOUTS AND ROOF DRAINS MUST BE TIED TO ON-SITE STORM WATER CONVEYANCE PIPING WITH MANUFACTURED PIPE, BENDS AND FITTINGS. COORDINATE ROOF DRAIN QUANTITY, SIZE AND LOCATION WITH ARCHITECTURAL ROOF PLAN.
- ALL COLLECTION INLETS MUST BE IMMEDIATELY PROTECTED WITH PERIMETER AND OPEN TOP PROTECTION MEASURES TO PREVENT SEDIMENT FROM ENTERING THE INSTALLED SYSTEM. MAINTAIN INLET PROTECTION UNTIL ALL UPSTREAM CONTRIBUTING AREAS ARE PERMANENTLY STABILIZED.
- A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOMS OF EACH OF THE CHIMNEYS ARE KEYING INTO THE MORE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS.
- A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEYS, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.



REV. NO.	DESCRIPTION	DATE



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**WOODLAND PLACE APARTMENTS  
 PHASE 1**  
 CIVIL  
**GRADING AND DRAINAGE PLAN**

PROJ. START DATE: 3/19/21  
 MCE PROJ. # 07952-0001  
 DRAWN: GTP  
 DESIGNED: AMM  
 CHECKED: DPJJ  
 PROJ. MGR.: WBW

SCALE: HORIZONTAL: AS SHOWN VERTICAL: N/A

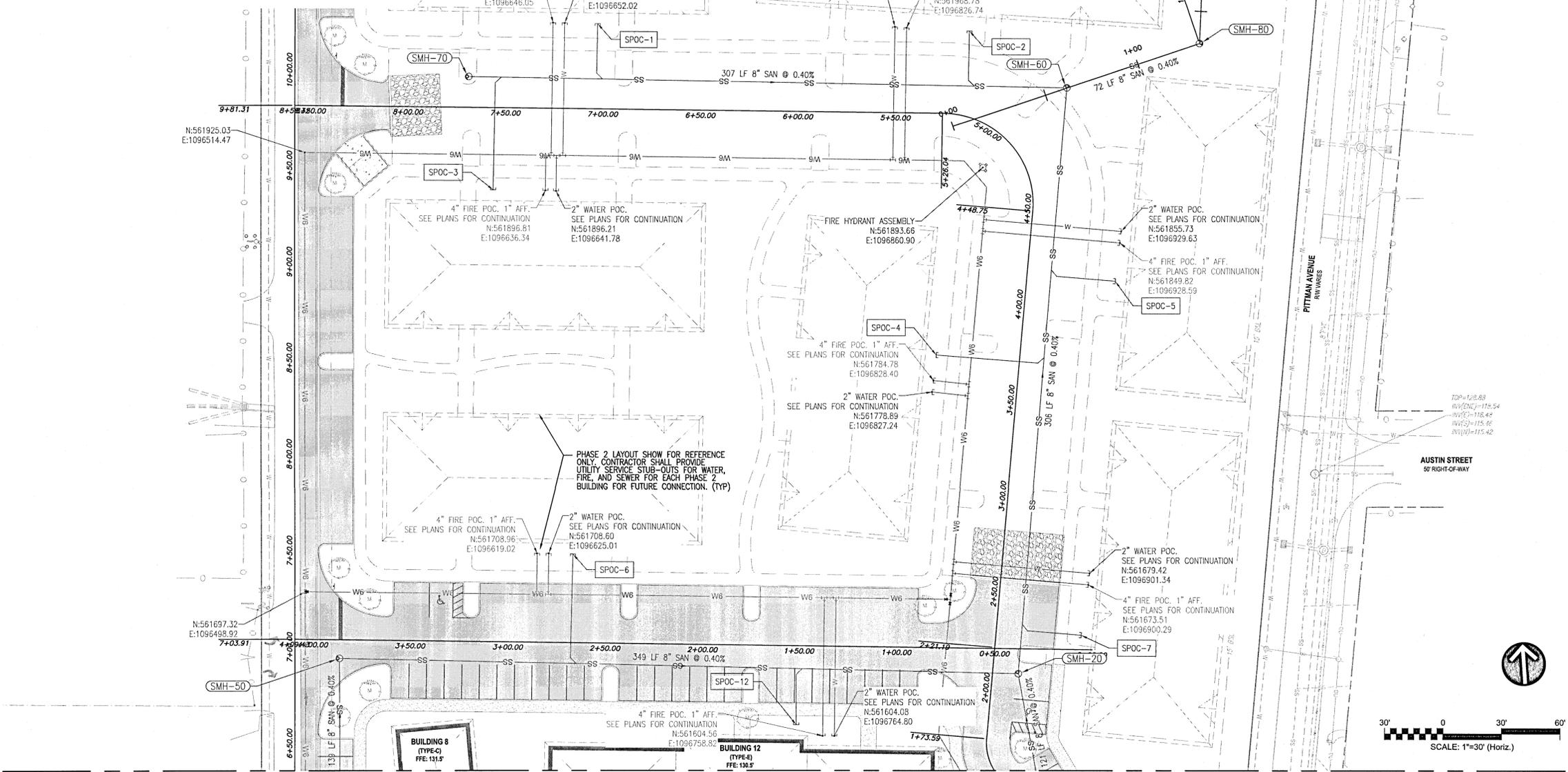
**C-302**  
 DRAWING NUMBER

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION

SANITARY POC TABLE			
CONNECTION NAME	NORTHING EASTING	PIPE INVERT	NOTES:
SPOC-1	N:561981.52 E:1096668.85	6" INV OUT=128.25N	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-2	N:561965.03 E:1096858.72	6" INV OUT=127.25N	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-3	N:561898.96 E:1096609.52	6" INV OUT=128.25S	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-4	N:561797.93 E:1096830.69	6" INV OUT=128.25W	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-5	N:561830.12 E:1096924.92	6" INV OUT=126.25E	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-6	N:561707.38 E:1096637.44	6" INV OUT=128.25N	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-7	N:561647.69 E:1096894.90	6" INV OUT=126.25E	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-8	N:561593.31 E:1096533.15	6" INV OUT=128.5E	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-9	N:561406.45 E:1096712.87	6" INV OUT=126.5S	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-10	N:561397.48 E:1096844.31	6" INV OUT=126.5S	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-11	N:561542.17 E:1096901.88	6" INV OUT=127.5E	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-12	N:561611.25 E:1096745.74	6" INV OUT=127.5S	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-13	N:561429.22 E:1096579.77	6" INV OUT=126.0S	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION

- LEGEND**
- PROPERTY BOUNDARY
  - RIGHT-OF-WAY LINE
  - LIMITS OF WORK
  - EASEMENT LINE
  - SITE ELEMENTS TO REMAIN
  - SITE ELEMENTS
  - SS --- EXISTING UTILITIES
  - 6"W --- POTABLE WATER MAIN (W/ DIA)
  - 6"F --- FIRE MAIN (W/ DIA)
  - FDC --- FIRE DIRECT CONNECT (DRY)
  - FDC --- FIRE DIRECT CONNECT (WET)
  - 6"S --- SEWER GRAVITY MAIN (W/ DIA)
  - 2"FM --- SEWER FORCE MAIN (W/ DIA)
  - ASPHALT PAVEMENT (SEE SITE LOCATION PLANE FOR DETAIL)
  - EXISTING UTILITY MANHOLES
  - GATE VALVE
  - CHECK VALVE
  - REDUCER
  - AIR RELEASE VALVE (ARV)
  - EXISTING LIGHT POLE
  - FDC RISER (WET)
  - FDC RISER (DRY)
  - FDC ON BUILDING
  - PRESSURE INDICATOR VALVE (PIV)
  - SANITARY MANHOLE
  - SANITARY CLEAN OUT (SCO)
  - SANITARY STORM DRAIN (SSD)

- UTILITY NOTES**
- SEE THE GENERAL NOTES DRAWING (SHEET C 001) FOR GENERAL UTILITY NOTES THAT ALSO APPLY TO THIS UTILITY PLAN.
  - ALL DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. SEE THE DRAINAGE PLAN (C 200 SERIES) FOR INFORMATION FOR THE DRAINAGE INFRASTRUCTURE.
  - LOCAL UTILITY REPRESENTATIVES SHALL WITNESS TAP TO EXISTING WATER AND SANITARY FORCE MAINS. 48-HOUR NOTICE MUST BE GIVEN TO THE LOCAL UTILITY TO SCHEDULE A REPRESENTATIVE TO BE ON SITE DURING THE CONNECTION INSTALLATION. VERIFY IF THE LOCAL GAS COMPANY SHALL WITNESS INSTALLATION OF ALL UTILITIES CROSSING EXISTING GAS MAINS.
  - ALL PROPOSED WATER MAIN AND FORCE MAIN UTILITY WORK IS TO BE DONE PRIOR TO CONNECTING TO THE EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH OWNER ON WHEN THE EXISTING MAIN WILL BE OUT OF SERVICE. THE EXISTING WATER MAIN SHALL NOT BE OUT OF SERVICE DURING THE DOWN STREAM'S NORMAL OPERATING HOURS.
  - WHERE PROPOSED UTILITY MAINS CONNECT TO EXISTING UTILITY MAINS AND/OR WHERE EXISTING UTILITY MAINS ARE TO BE MODIFIED, CONTRACTOR SHALL INSTALL PIPE RESTRAINTS ON THE EXISTING UTILITY MAINS APPROPRIATE FOR THE FIELD CONDITION. SEE DETAIL FOR PIPE RESTRAINT REQUIREMENTS.
  - FIRE MAIN SHALL EXTEND INTO PROPOSED BUILDING TO 1.0' ABOVE FINISHED FLOOR FOR CONTINUATION BY THE FIRE PROTECTION CONTRACTOR. SEE PLUMBING PLAN FOR MORE INFORMATION.
  - CONTRACTOR SHALL FIELD ADJUST LOCATION OF FIRE HYDRANTS TO ENSURE 3-FEET CLEARANCE TO ALL ADJACENT VERTICAL STRUCTURES. PLACEMENT OF HYDRANTS SHALL ALSO BE IN ACCORDANCE WITH THE FIRE HYDRANT DETAILS. BOLLARDS MAY BE REQUIRED TO PROTECT FIRE HYDRANTS IN CERTAIN SITUATIONS.



SANITARY STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM ELEVATION	PIPE INVERT
SMH-20	MANHOLE	N:561630.01 E:1096861.17	128.37	INV IN=119.85 S PVC INV IN=119.75 W PVC INV OUT=119.65 N PVC
SMH-50	MANHOLE	N:561661.63 E:1096514.02	130.81	INV IN=121.24 S PVC INV OUT=121.14 E PVC
SMH-60	MANHOLE	N:561932.17 E:1096906.66	129.00	INV IN=118.43 S PVC INV IN=118.53 W PVC INV OUT=118.33 E PVC
SMH-70	MANHOLE	N:561958.72 E:1096600.94	131.50	INV OUT=119.76 E PVC
SMH-80	MANHOLE	N:561950.54 E:1096975.91	127.52	INV IN=118.04 W PVC INV OUT=117.94 N PVC
SMH-90	MANHOLE	N:562076.41 E:1096989.35	128.76	INV IN=116.40 S PVC INV OUT=116.30 E PVC

REV. NO.	DESCRIPTION	DATE



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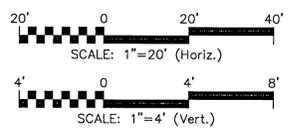
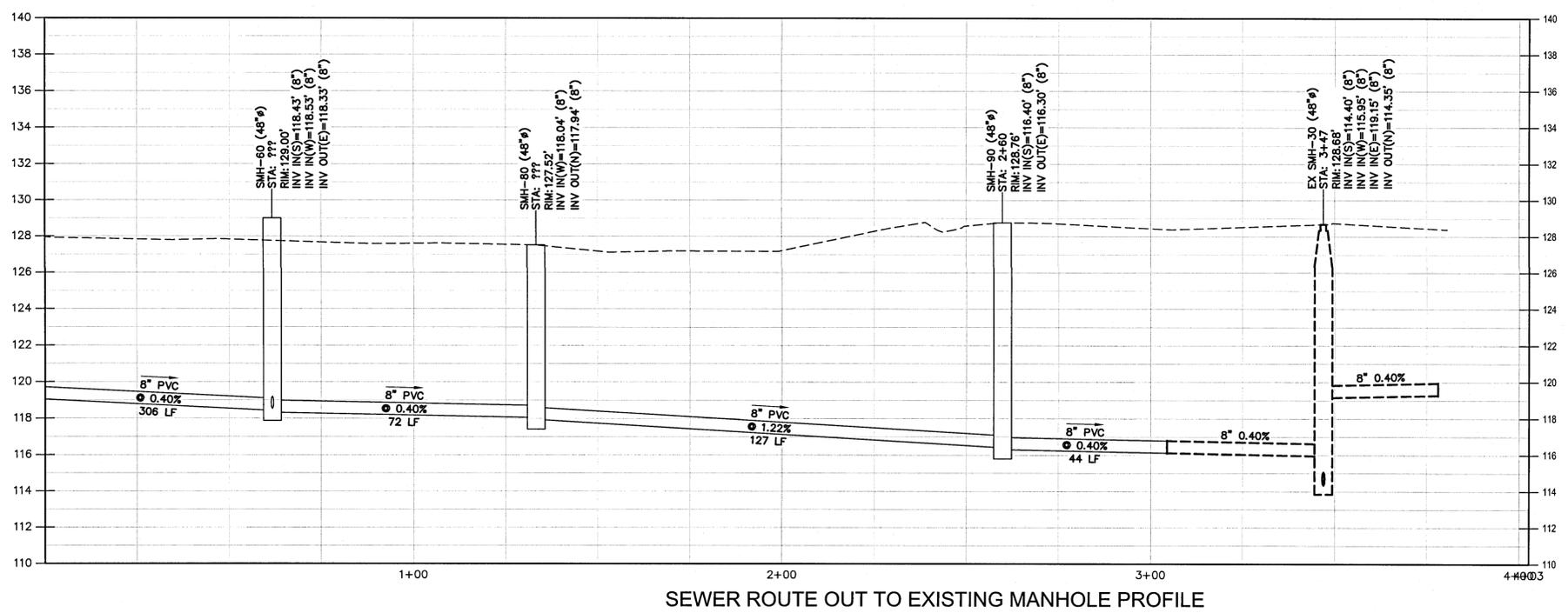
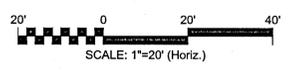
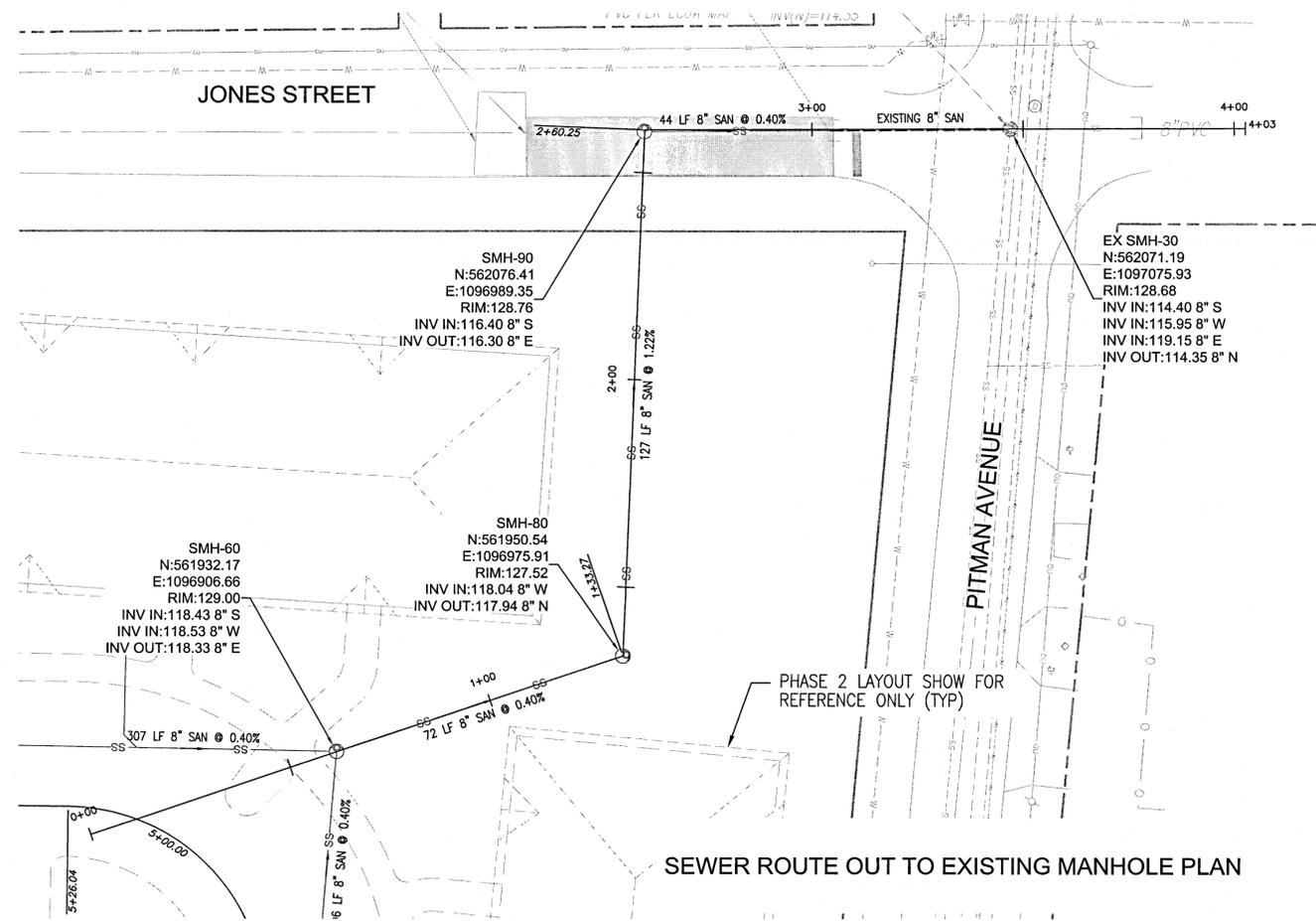
**WOODLAND PLACE APARTMENTS  
PHASE 1  
CIVIL  
UTILITY PLAN**

PROJ. START DATE: 3/19/21	SCALE: HORIZONTAL: AS SHOWN VERTICAL: N/A
MCE PROJ. # 07952-0001	
DRAWN: GTP	
DESIGNED: AMM	
CHECKED: DPJJ	
PROJ. MGR: WBW	

**C-401**  
DRAWING NUMBER  
REVISION

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION





REV. NO.	DESCRIPTION	DATE



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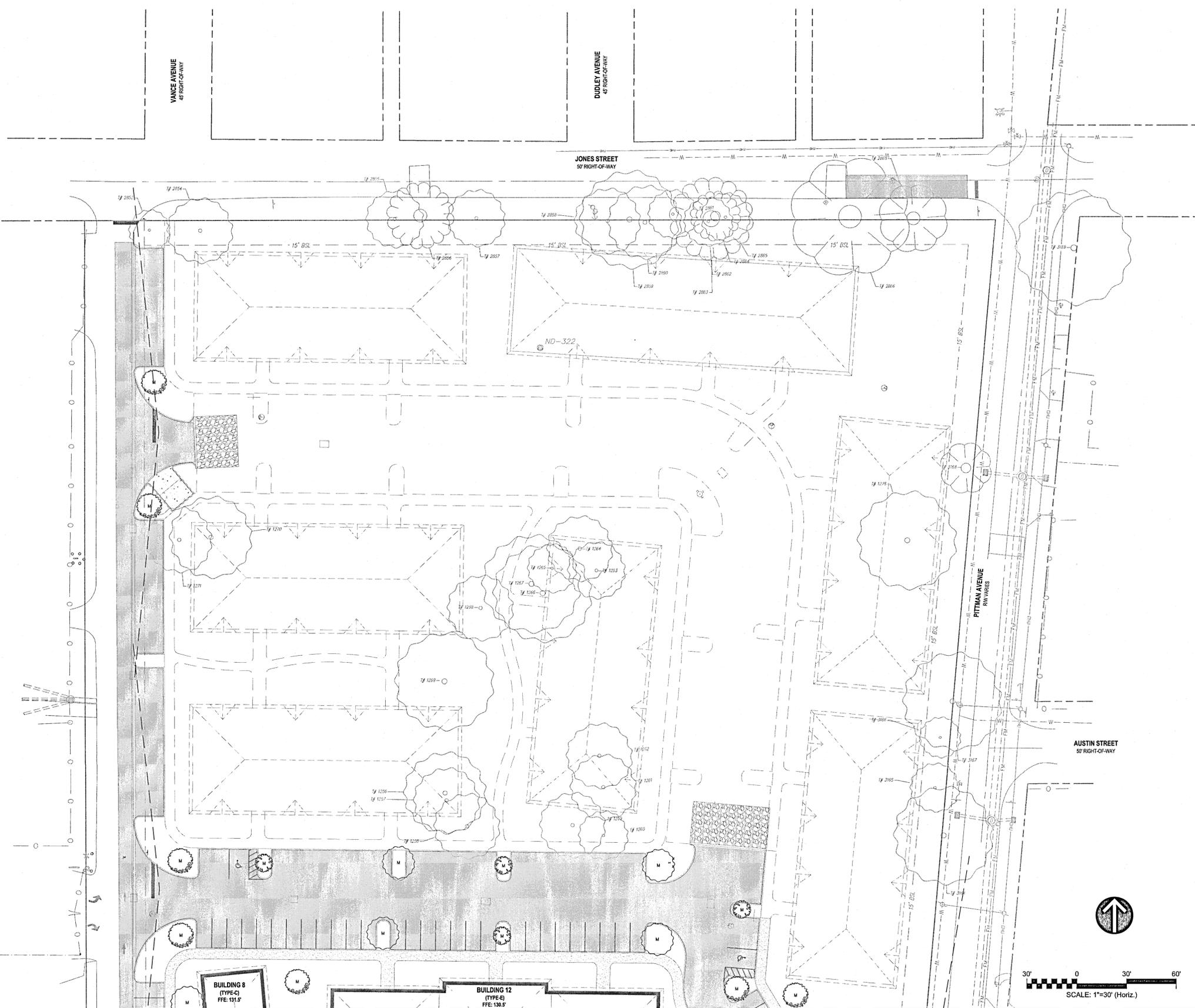
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Miramar Beach, FL 32550  
www.sweetbay-properties.com

**WOODLAND PLACE APARTMENTS  
PHASE 1**  
CIVIL  
**SEWER CONNECTION PLAN & PROFILE**

PROJ. START DATE: 3/19/21	SCALE
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN
DRAWN: GTP	VERTICAL: N/A
DESIGNED: AMM	
CHECKED: DPJJ	
PROJ. MGR: WBW	

**C-410**  
DRAWING NUMBER  
REVISION

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION



**TREE LEGEND**

-  LIVE OAK
-  SOUTHERN MAGNOLIA
-  RED BUD

**MITIGATION TREE (CANOPY):**  
TREES PLANTED TO FULFILL THE REQUIREMENTS OF ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE SHALL NORMALLY ATTAIN MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL AT PLANTING.

**TREE (UNDERSTORY):**  
A PLANT SPECIES SMALL AND TOLERANT THAT TYPICALLY GROWS BENEATH CANOPY TREES AND HAVE A MATURE HEIGHT OF 20 FEET. UNDERSTORY TREES EXAMPLES: DAHOON HOLLY, WAXMYRTLE, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBIA COUNTY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL (SABAL PALMETTO). THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE. LIVE OAKS, SOUTHERN MAGNOLIAS, RED BUDS TO BE PLANTED TO MEET 40% DIVERSITY REQUIREMENT.

- NOTE:**
- THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
  - NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED
  - ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
  - ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. IT IS RECOMMENDED THE CONTRACTOR/OWNER CONSULT A LANDSCAPE ARCHITECT FOR TREE SPECIES DETERMINATION OF NEW PLANTINGS.
  - NEW TREE PLANTING MUST CONTAIN A 6' RADIUS CLEAR ZONE FOR ROOTING.

**PLANT PLACEMENT**  
THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.

**SIGHT DISTANCES**  
LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 5 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE. THE TRUNKS OF MATURE TREES TRIMMED OF FOLIAGE TO NINE FEET, AND NEWLY PLANTED TREES WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS. MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.

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**LANDSCAPE REQUIREMENTS SUMMARY**

<b>PARCEL COVERAGE</b>	
TOTAL AREA	132,716 SF
REQUIRED	132,716 SF * 15% = 19,907 SF
PROVIDED	39,274 SF = 30%
(NOTE THAT AN ADDITIONAL 10% IMPERVIOUS AREA HAS BEEN INCLUDED FOR ANY FUTURE WORK TO THE SITE)	
<b>PARKING ROW TERMINATION PLANTINGS</b>	
REQUIRED	2 CANOPY TREES (PLANTED OR PRESERVED)
PROPOSED	2 CANOPY TREES (PLANTED)
<b>PERIMETER BUFFERS</b>	
REQUIRED	12' TYPE A BUFFER (2 CANOPY TREES, 1 UNDERSTORY TREE, 10 SHRUBS PER 100 LINER FOOT)
PROPOSED	12' BUFFER WITH EXISTING VEGETATION

REV. NO.	DESCRIPTION	DATE

FLORIDA PROFESSIONAL ENGINEER  
No. 69939  
DATE: MARCH 2021

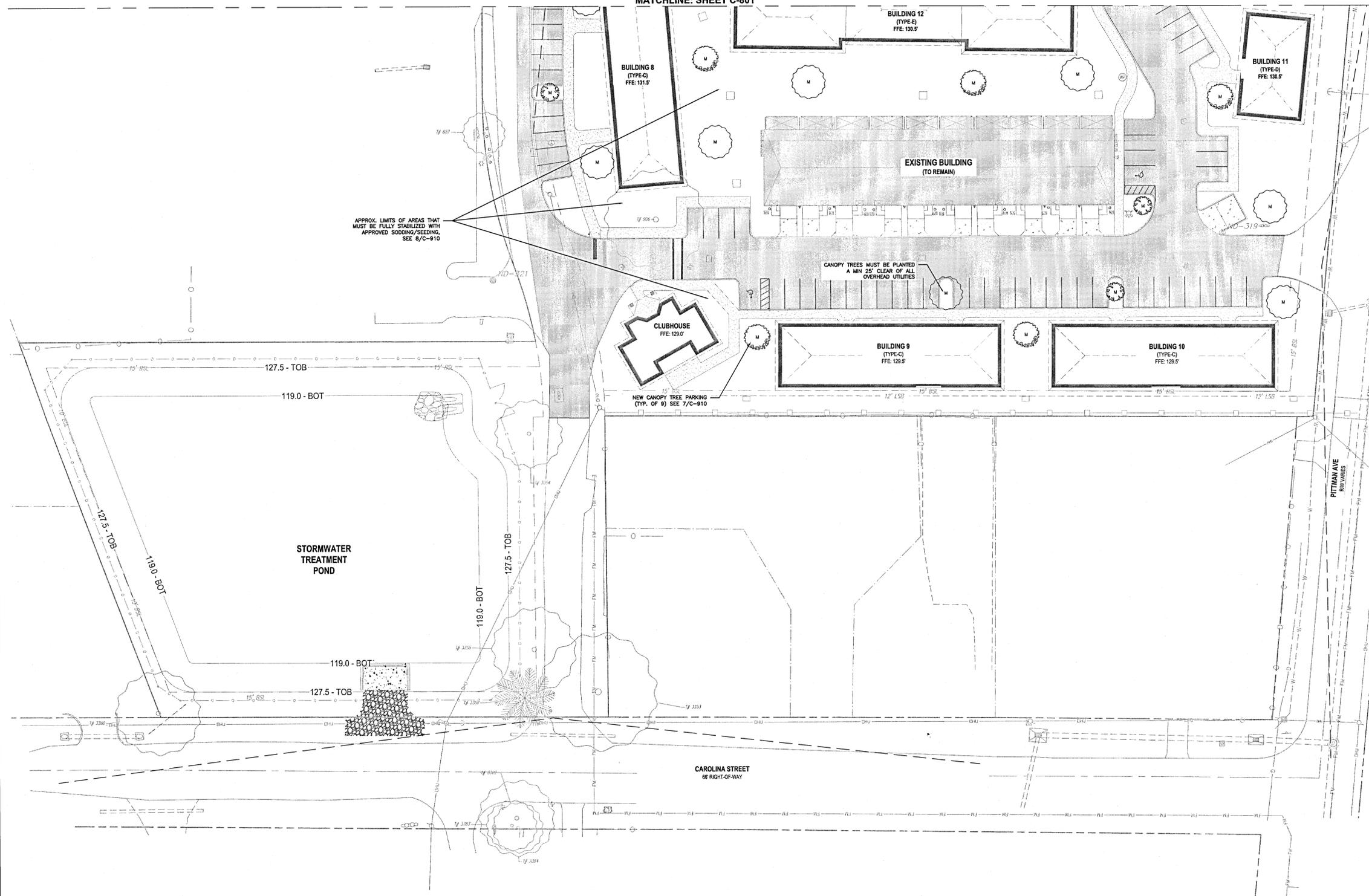
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**WOODLAND PLACE APARTMENTS  
PHASE 1**  
CIVIL  
**LANDSCAPE PLAN**

PROJ. START DATE: 3/19/21	SCALE: HORIZONTAL
MCE PROJ. #: 07952-0001	AS SHOWN
DRAWN: GTP	VERTICAL: N/A
DESIGNED: AMM	REVISION:
CHECKED: DPJJ	<b>C-801</b>
PROJ. MGR.: WBW	COUNTY SUBMITTAL NOT FOR CONSTRUCTION



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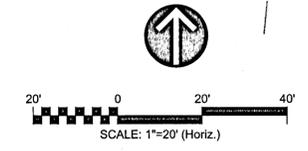
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TOTAL PROTECT INCHES	1116"
TOTAL REMOVED & ROOT IMPACT INCHES	150"
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%)	75
REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 10.53 ACRES	264
GRAND TOTAL REPLACEMENT INCHES REQUIRED	75
STANDARD REPLACEMENT TREES (2.5" DBH) REQUIRED	30
REPLACEMENT TREES PROPOSED	30



REV. NO.	DESCRIPTION	DATE



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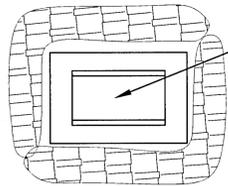
**WOODLAND PLACE APARTMENTS  
 PHASE 1  
 CIVIL  
 LANDSCAPE PLAN**

PROJ. START DATE: 3/19/21  
 MCE PROJ. # 07952-0001  
 DRAWN: GTP  
 DESIGNED: AMM  
 CHECKED: DPJJ  
 PROJ. MGR.: WBW

SCALE: HORIZONTAL: AS SHOWN  
 VERTICAL: N/A

**C-802**  
 DRAWING NUMBER

STATUS: COUNTY SUBMITTAL  
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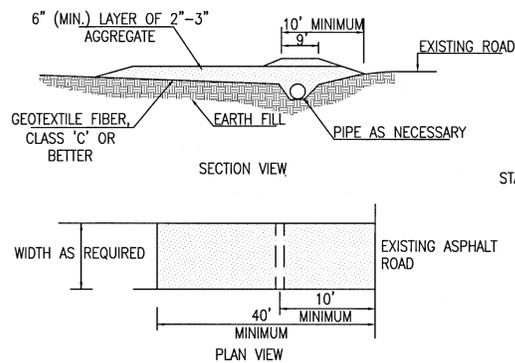


INSTALL FILTER FABRIC UNDER INLET GRATE IMMEDIATELY UPON INSTALLATION. REMOVE AND REPLACE WITH NEW FABRIC REGULARLY TO MAINTAIN FLOW AND REDUCE SEDIMENT ACCUMULATION.

NOTE: SYNTHETIC BALES OR SEDIMENT LOG WILL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

**INLET PROTECTION**  
NOT TO SCALE

1  
C-910

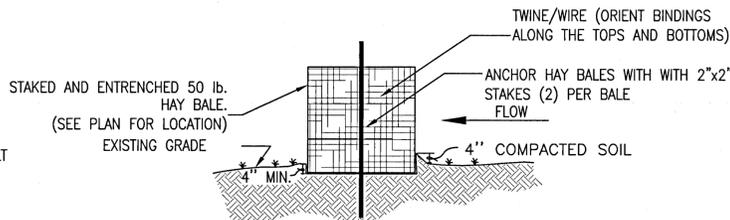


NOTES:

- CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL CONSTRUCTION MATERIAL DISLODGES CAKED MUD.
- IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLodge MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.
- UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.

**CONSTRUCTION ACCESS**  
NOT TO SCALE

2  
C-910

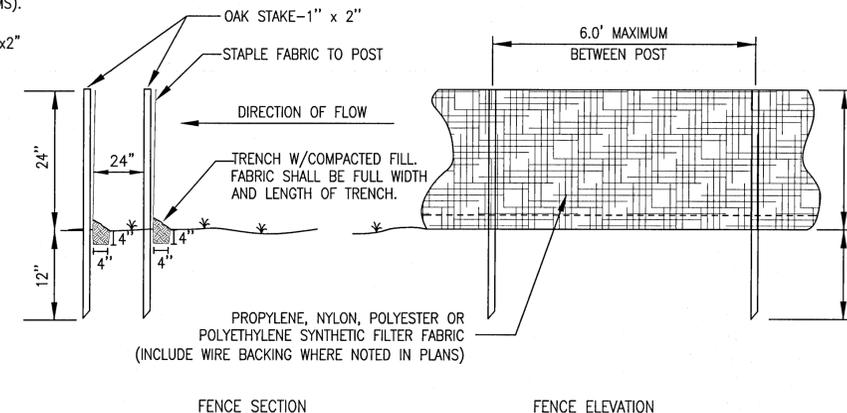


CONSTRUCTION SPECIFICATION

BALES WILL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING EACH OTHER. ALL BALES WILL BE EITHER WIRE-BOUND OR STRING-TIED. THE BARRIER WILL BE ENTRENCHED AND BACKFILLED. THE FIRST STAKE IN EACH BALE WILL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. THE GAPS BETWEEN BALES MUST BE CHINKED (FILLED BY WEDGING) WITH STRAW.

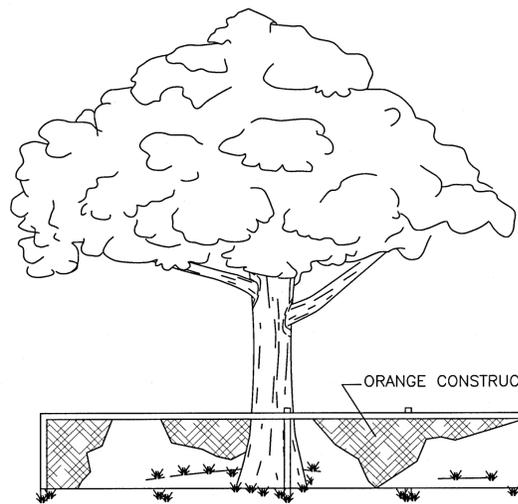
**HAYBALE INSTALLATION**  
NOT TO SCALE

3  
C-910



**SILT FENCE**  
NOT TO SCALE

4  
C-910



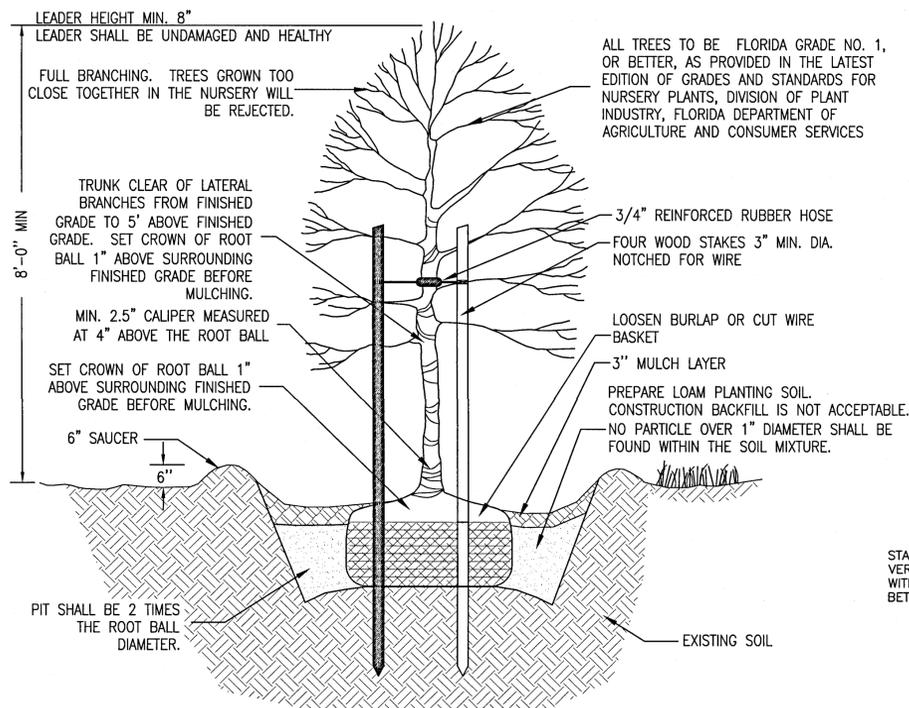
PROFILE

NOTES:

- FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE.
- FENCE MATERIAL SHALL BE PLACED AT THE DRIP LINE OF THE TREE OR GROUP OF TREES TO BE PROTECTED.
- NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING.

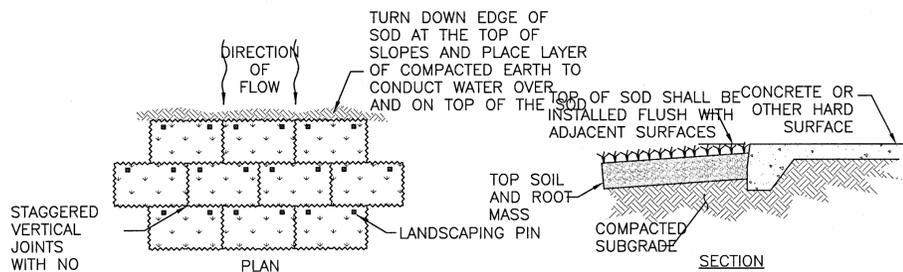
**TREE PROTECTION**  
NOT TO SCALE

5  
C-910



**TREE PLANTING**  
NOT TO SCALE

7  
C-910

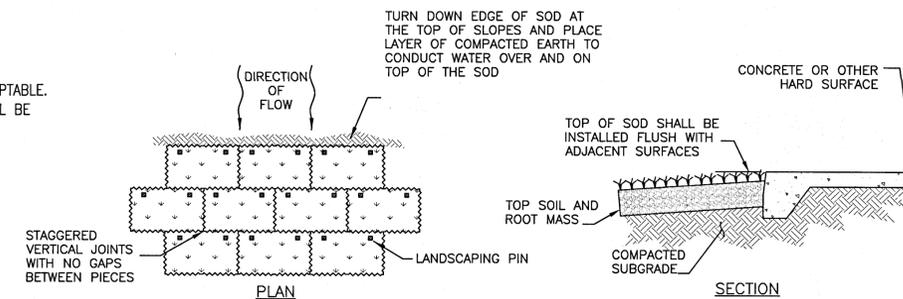


NOTES:

- SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
- PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
- SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
- INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

**SODDING DETAIL**  
NOT TO SCALE

6  
C-910



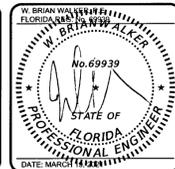
NOTES:

- SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS.
- PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW.
- SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.
- INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

**SODDING DETAIL**  
NOT TO SCALE

8  
C-910

REV. NO.	DESCRIPTION	DATE



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Pensacola, Florida 32501  
Phone: (850) 994-9503  
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www.mckimcreed.com

**SWEET BAY PROPERTIES, LLC**  
297 Colbalt Lane  
Miramar Beach, FL 32550  
www.sweetbay-properties.com

**WOODLAND PLACE APARTMENTS  
PHASE 1  
DETAILS  
EROSION CONTROL DETAILS**

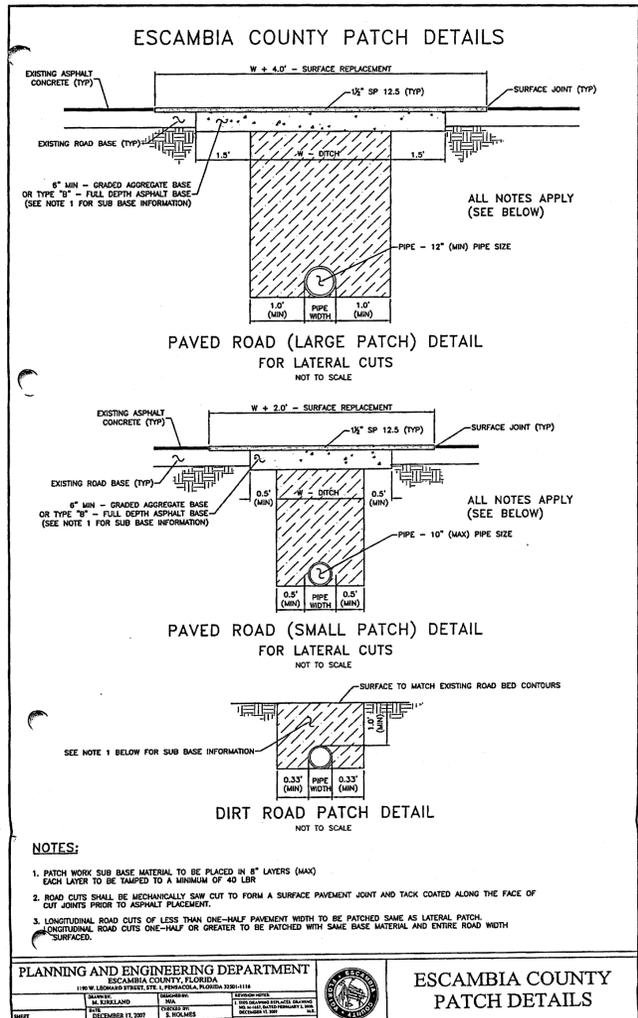
PROJ. START DATE: 3/19/21	SCALE
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN
DRAWN: GTP	VERTICAL: N/A
DESIGNED: AMM	REVISION: A
CHECKED: DPJJ	
PROJ. MGR: WSW	

**C-910**  
DRAWING NUMBER  
A  
REVISION

STATUS: COUNTY SUBMITTAL NOT FOR CONSTRUCTION







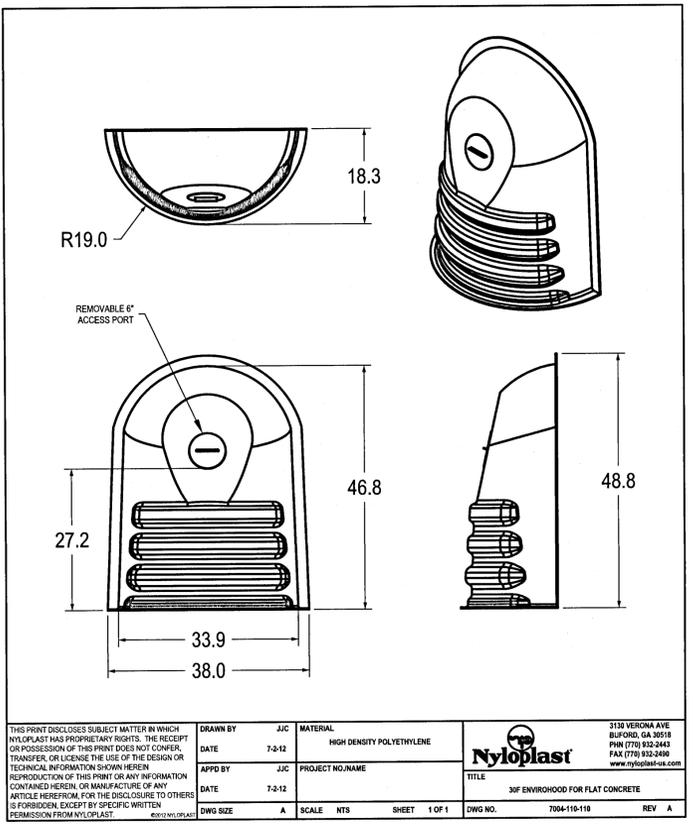
- NOTES:**
- PATCH WORK SUB-BASE MATERIAL TO BE PLACED IN 8" LAYERS (MAX) EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBS.
  - ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
  - LONGITUDINAL ROAD CUTS OF LESS THAN ONE-HALF PAVEMENT WIDTH TO BE PATCHED SAME AS LATERAL PATCH. LONGITUDINAL ROAD CUTS ONE-HALF OR GREATER TO BE PATCHED WITH SAME BASE MATERIAL AND ENTIRE ROAD WIDTH SURFACED.

PLANNING AND ENGINEERING DEPARTMENT  
ESCAMBIA COUNTY, FLORIDA  
1100 W. WOODLAND PLACE, LANSING, MISSISSIPPI 39301-1114

ESCAMBIA COUNTY  
PATCH DETAILS

**PATCH DETAILS**  
NOT TO SCALE

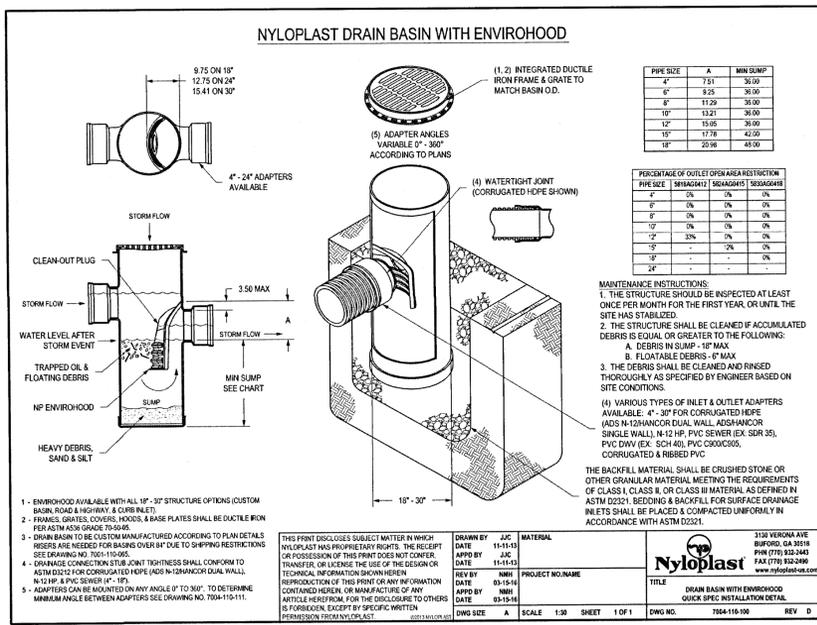
1  
C-931



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APPROVED BY: JJC DATE: 7-2-12	PROJECT NO./NAME	TITLE: 30" ENVIROHOOD FOR FLAT CONCRETE	3128 VERONA AVE BURLINGAME, CA 94010 POM (770) 932-2443 FAX (770) 932-2499 www.nyloplast-usa.com
DWG SIZE: A	SCALE: NTS	SHEET: 1 OF 1	DWG NO.: 7004-110-110 REV: A

**NYLOPLAST # 7004-110-110**  
NOT TO SCALE

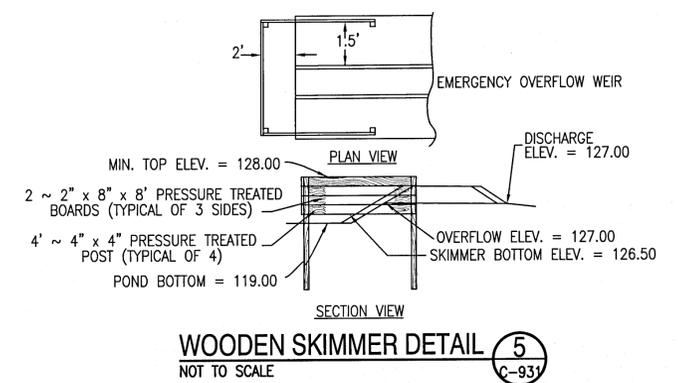
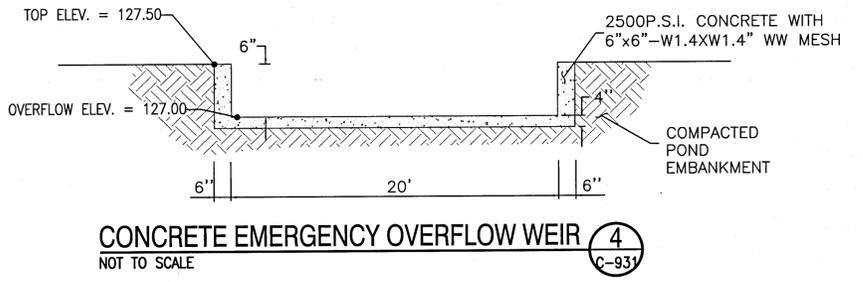
2  
C-931



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APPROVED BY: JJC DATE: 03-15-11	PROJECT NO./NAME	TITLE: DRAIN BASIN WITH ENVIROHOOD QUICK SPEC INSTALLATION DETAIL	3128 VERONA AVE BURLINGAME, CA 94010 POM (770) 932-2443 FAX (770) 932-2499 www.nyloplast-usa.com
DWG SIZE: A	SCALE: 1:30	SHEET: 1 OF 1	DWG NO.: 7004-110-110 REV: D

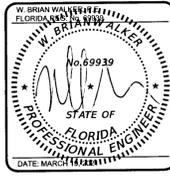
**NYLOPLAST # 7004-110-110**  
NOT TO SCALE

3  
C-931



Note: Detail intended to be representative in nature. Engineer requires both 30" pipe outlets be protected with skimming functionality such that oils and other floatables are contained within the structure itself and not allowed to flow into the storm pond. At contractor's option, other manufactured products or fabricated solutions may be proposed. Any substitutions require written approval by the engineer of record prior to their implementation. Sump of structure in which the skimmers are applied must be set to provide a minimum 24" flow opening between the bottom of the skimmers and the inside bottom of the structure.

REV. NO.	DESCRIPTION	DATE



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**WOODLAND PLACE APARTMENTS  
PHASE 1**

DETAILS  
**DRAINAGE DETAILS**

PROJ. START DATE: 3/19/21	SCALE	<b>C-931</b> DRAWING NUMBER
MCE PROJ. # 07952-0001	HORIZONTAL:	
DRAWN: GTP	AS SHOWN:	
DESIGNED: AMM	VERTICAL:	
CHECKED: DPJJ	N/A	
PROJ. MGR.: WBW	REVISION: A	

STATUS: COUNTY SUBMITTAL  
NOT FOR CONSTRUCTION

