

# SITWORK CONSTRUCTION PLANS FOR STAY APT SUITES

ESCAMBA COUNTY, FLORIDA

G&A REFERENCE NO. 32101

Approved  
ESCAMBA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *S. Hampton* Date: 10-13-21  
Printed Name: *Sarahite Hampton*  
Development Services Director of Escambia

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

NO.	DATE	APPR.	REVISION
1			
2			
3			
4			
5			

**DEVELOPER:**  
DELAPP ENTERPRISES LLC  
10801 MONROE ROAD, SUITE 200  
MATTHEWS, NORTH CAROLINA 28105  
PHONE: (704) 703-0169

**ENGINEER:**  
GECI & ASSOCIATES ENGINEERS, INC.  
2950 NORTH 12th AVENUE  
PENSACOLA, FLORIDA 32503  
PHONE: (850) 432-2929

**SURVEYOR:**  
PITTMAN, GLAZE & ASSOCIATES, INC.  
500 N. DAVIS HIGHWAY, SUITE 3  
PENSACOLA, FL 32503  
PHONE: (850) 434-6666

**UTILITY COMPANIES:**

UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.

TELEPHONE - AT & T, INC., 605 WEST GARDEN STREET, PENSACOLA, FLORIDA 32501; (850) 436-1616

ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD, PENSACOLA, FLORIDA 32534; (850) 484-5770

SANITARY SEWER/WATER - EMERALD COAST UTILITY AUTHORITY, ELLYSUN INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110

NATURAL GAS - PENSACOLA ENERGY, 16 SOUTH PALAFOX STREET, PENSACOLA, FLORIDA; (850) 474-5322

**SITE DATA NOTES:**

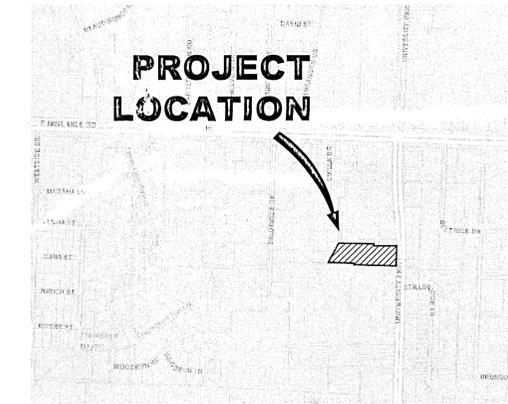
- THESE CONSTRUCTION PLANS ARE BASED UPON THE SURVEY PROVIDED BY PITTMAN, GLAZE & ASSOCIATES, INC. DATED 5/8/2015.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA LATEST EDITION.
- PAVEMENT MARKINGS AND SIGNS:**  
ALL NON-HANDICAP STRIPING TO BE WHITE  
ALL SIGNS AND PAVEMENT MARKINGS WILL CONFORM TO FDOT DESIGN STANDARDS AND MUTCD.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
- ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVING GRADES.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CURRENT ECUA STANDARDS.
- ALL POTABLE WATER CONSTRUCTION SHALL CONFORM TO CURRENT ECUA STANDARDS.
- ALL PAVING AND STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO CURRENT ESCAMBA COUNTY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, ESCAMBA COUNTY AND ECUA AT LEAST TWO WORKING DAYS (48 HRS MIN) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH FROM THE SITE.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING CONSTRUCTION AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- PROVISIONS SHALL BE MADE FOR ADEQUATE FLOW OF SEWERS, DRAINS AND WATER COURSES DURING CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
- SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES ON THE PROJECT PLANS OR IN FIELD CONDITIONS, HE SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY.

**GENERAL NOTES:**

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWING MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISION FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION PONDS.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZED RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWING DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONSTRUCTION OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWING SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; 1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL AS-BUILT SIGN OFF FROM COUNTY.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BE THE RESPONSIBLE AUTHORITY FOR NPDES PERMITTING. SUBMIT THE NPDES NOI WITHIN 2 WEEKS OF RECEIVING THE NOTICE OF AWARD.
- CONTRACTOR SHALL COORDINATE WITH BUILDING INSPECTION DEPARTMENT FOR PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.

**BENCHMARKS:**

- 1393/53 - A COTTON GIN SPIKE IN THE WEST SIDE OF A POWER POLE LOCATED 701'+/- NORTH OF THE NORTH RIGHT OF WAY OF HIGHWAY #90 AND 51'+/- EAST OF THE CENTERLINE OF UNIVERSITY PARKWAY, AT THE ENTRANCE TO BAPTIST MEDICAL CENTER.  
ELEVATION = 55.75'
- 1393/52B - AN "X" IN THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED 221'+/- NORTH OF THE NORTH RIGHT OF WAY OF HIGHWAY #90 AND 57'+/- EAST OF THE CENTERLINE OF UNIVERSITY PARKWAY.  
ELEVATION = 58.17'
- 1549/37 - THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED 285'+/- WEST OF WEST RIGHT OF WAY OF UNIVERSITY PARKWAY AND 80'+/- SOUTH OF THE MOST SOUTHEAST BUILDING CORNER OF THE PUBLIX STORE AT UNIVERSITY TOWN CENTER.  
ELEVATION = 70.10'
- 1549/37A - AN "X" IN THE SOUTHWEST CORNER OF THE CONCRETE STORM STRUCTURE LOCATED 570'+/- WEST OF WEST RIGHT OF WAY OF UNIVERSITY PARKWAY AND 100'+/- SOUTHWEST OF THE SOUTHWEST BUILDING CORNER OF THE PUBLIX STORE AT UNIVERSITY TOWN CENTER.  
ELEVATION = 64.53'



PROJECT LOCATION  
9229 UNIVERSITY PARKWAY  
PENSACOLA, FL 32514

**EROSION AND SEDIMENT CONTROL NOTE:**

THE DEVELOPER SHALL REQUIRE THE CONTRACTOR AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT TO PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, HAY BALES, PONDING AREAS, SILT FENCES AND SEDIMENTATION CONTROLS ALONG ALL THE STREET RIGHTS-OF-WAY AND PROPERTY LINES TO CONTROL AND PREVENT EROSION RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION OF THIS PROJECT. EROSION AND SEDIMENTATION CONTROLS SHALL BE ESTABLISHED TO MEET OR EXCEED COUNTY REQUIREMENTS. LOCATION AND DETAIL OF THE ABOVE TO BE INCLUDED ON THE CONSTRUCTION PLANS FOR THE PROJECT. SEDIMENT SHALL BE RETAINED ON THE SITE OF THE DEVELOPMENT. EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED BY CONTRACTOR AT ALL TIMES AS PER COUNTY REQUIREMENTS. THE CONTRACTOR SHALL AT ALL TIMES DURING THE CONSTRUCTION OF THIS PROJECT, PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, PONDING AREAS AND SEDIMENTATION CONTROL WALLS OF STRAW ALONG ALL THE STREET RIGHT-OF-WAY AND PROPERTY LINES TO CONTROL THE RUNOFF FROM THIS PROJECT. (NO DIRECT PAYMENT FOR THIS. PAYMENT FOR THIS TO BE INCLUDED IN THE ITEM OF PAVING.)

**SURVEYOR'S NOTES:**

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES OR THAT THEY ARE THE EXACT SIZE, MATERIAL, OR LOCATION AS INDICATED.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THIS SURVEY IS SUBJECT TO SETBACKS, EASEMENTS, AND RESTRICTIONS OF RECORD.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
- FOOTINGS AND FOUNDATIONS BELOW NATURAL GROUND NOT LOCATED.
- DUE TO CURRENT SAFETY REGULATIONS, WE ARE UNABLE TO ACCESS ANY SEWER MANHOLES AND/OR STRUCTURES IN ORDER TO VERIFY PIPE SIZE OR MATERIAL. PIPE SIZE AND MATERIAL HAS BEEN SHOWN AS PER PLANS OR BY APPROXIMATE MEASUREMENTS. IT IS STRONGLY RECOMMENDED THAT SIZE AND MATERIAL ARE VERIFIED BEFORE ANY DESIGN WORK BEGINS.

**LEGAL DESCRIPTION:**

PARCEL 1, UNIVERSITY TOWN CENTER, A COMMERCIAL SUBDIVISION OF A PORTION OF SECTION 14, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBA COUNTY, FLORIDA AS RECORDED IN PLAT BOOK 16 AT PAGE 51 OF THE PUBLIC RECORDS OF SAID COUNTY.

THE BUILDING SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	120080	12033C0315G	315	G	9/26/2006

INDEX OF DRAWING

SHEET	DESCRIPTION
C000	COVER SHEET
C100	OVERALL PLAN
C110	EXISTING CONDITIONS, CLEARING, DEMOLITION, & EROSION CONTROL PLAN
C130	GRADING & DRAINAGE
C140	UTILITY PLAN
C145	OFFSITE FORCE MAIN
C150	TRAFFIC CONTROL & TREE MITIGATION PLAN
C500	DETAILS 1
C510	DETAILS 2
C520	DETAILS 3
C530	LIFT STATION DETAIL

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated September 1, 2016 (hereinafter "Manual"), located at [www.ecua.fl.gov](http://www.ecua.fl.gov), is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supersede the Manual listed above?  Yes  No. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specification	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on the Project.

Digitally signed  
by S Geci  
Date: 2021.10.05  
14:37:58 -05'00'

GECI & ASSOCIATES, INC.  
ENGINEERS  
2950 N. 12th Ave. PENSACOLA, FL 32503  
Phone: (850) 432-2929 - Fax: (850) 432-2875  
E-Mail: [geci@geciengineering.com](mailto:geci@geciengineering.com)

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KFD CHECKED: SAG DATE: 10/05/21

NOT RELEASED FOR CONSTRUCTION

STEVE A. GECI  
LICENSED PROFESSIONAL ENGINEER  
No. 33560  
STATE OF FLORIDA  
P. 000119  
D. 000119  
FLORIDA P.E. #33560

10/5/21

STAY APT SUITES  
COVER SHEET  
PAVING & STORM DRAINAGE PLANS

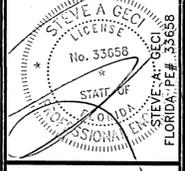
PROJECT NO. 32101 SHEET NO. C000

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.  
 R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.  
 ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1			
2			
3			
4			
5			

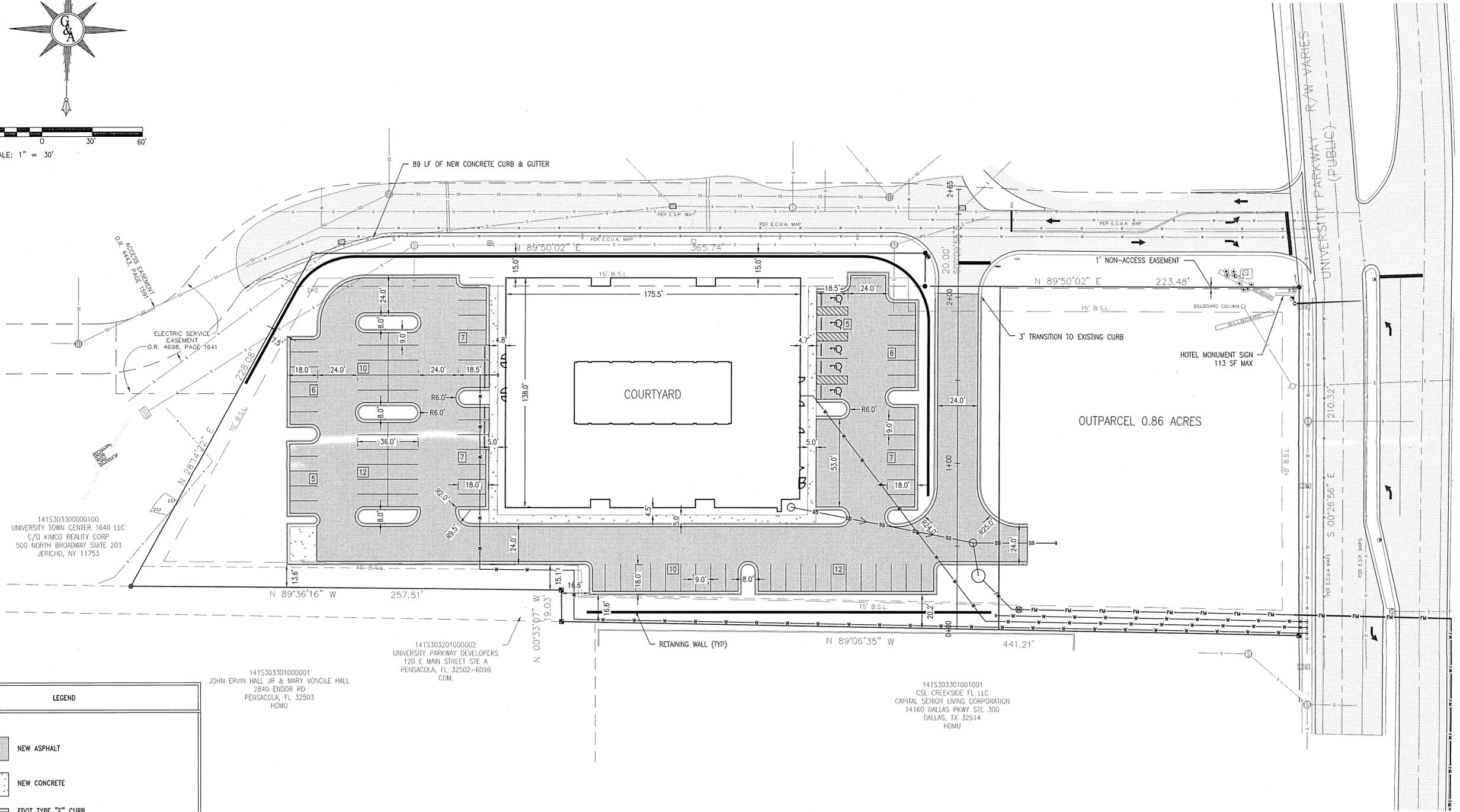
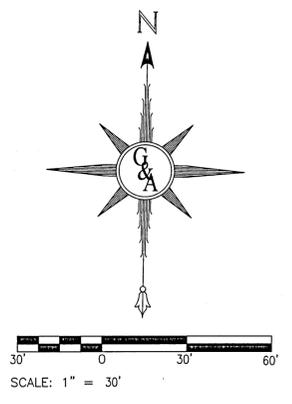
**GECI & ASSOCIATES, INC.**  
 ENGINEERS  
 2950 N. 12th Ave. PENSACOLA, FL 32503  
 Phone (850) 452-2929 - Fax (850) 432-2875  
 CERTIFICATE AUTHORIZATION NUMBER 00005149  
 E-Mail: geci@geciengineering.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 10/05/21  
**NOT RELEASED FOR CONSTRUCTION**



**STAY APT SUITES**  
 OVERALL PLAN  
 PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
32101	C100



LEGEND	
	NEW ASPHALT
	NEW CONCRETE
	FOOT TYPE "F" CURB

NOTES	
1.	CURRENT OWNER: UNIVERSITY SITE, LLC
2.	PROPERTY REFERENCE NUMBER: 141530330000090
3.	PROPOSED USE: 3 STORY 87 ROOM HOTEL, WITHOUT RESTAURANT OR MEETING ROOMS
4.	PROJECT ADDRESS: 9229 UNIVERSITY PKWY, PENSACOLA, FL 32514
5.	TOTAL PARCEL AREA: 3.13 AC
6.	SITE AREA: 2.27 AC
7.	OUTPARCEL AREA: 0.86 AC
8.	ZONING: COMMERCIAL
9.	FLU: MIXED USE-URBAN
10.	BUILDING SETBACK LINE (BSL) REQUIREMENTS: FRONT & REAR = 15' SIDE = 10'
11.	PARKING REQUIRED: 87 SPACES
12.	PARKING PROVIDED: 87 SPACES

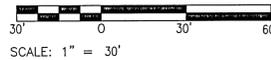
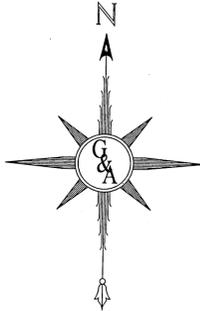
LOT COVERAGE:	
a.	TOTAL SITE = 2.27 AC = 98,954 SF
b.	EXISTING IMPERVIOUS AREA = 1,229 SF
c.	NEW IMPERVIOUS AREA = 70,418 SF
d.	IMPERVIOUS COVERAGE OF SITE = 71%

1415303300000100  
 UNIVERSITY TOWN CENTER 1640 LLC  
 C/O WIMCO REALTY CORP  
 500 NORTH BROADWAY SUITE 201  
 JERICHO, NY 11753

1415303301000001  
 JOHN ERVIN HALL JR & MARY VONCILE HALL  
 2840 ENDOR RD  
 PENSACOLA, FL 32503  
 HDMU

1415303201000002  
 UNIVERSITY PARKWAY DEVELOPERS  
 120 E MAIN STREET STE A  
 PENSACOLA, FL 32502-6096  
 COM.

1415303301001001  
 CSL CREEKSIDE FL LLC  
 CAPITAL SENIOR LIVING CORPORATION  
 14160 DALLAS PKWY STE 300  
 DALLAS, TX 32514  
 HDMU

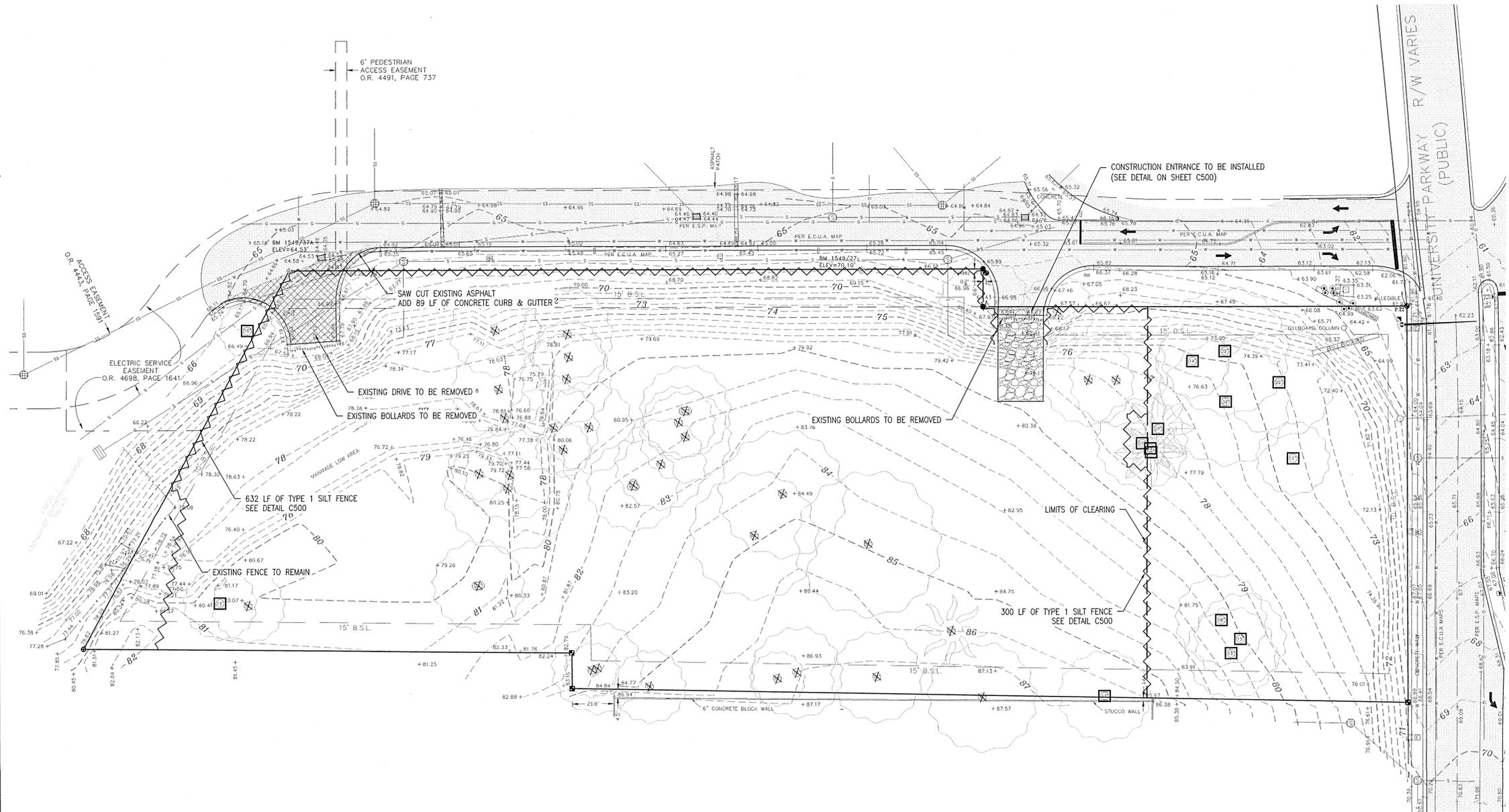


ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.  
 R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.

LEGEND	
	EXISTING CONCRETE, GRAVEL, & STRUCTURES TO BE REMOVED
	CONSTRUCTION ENTRANCE
	TYPE 1 SILT FENCE
	TREE TO BE REMOVED
	TREE TO BE PROTECTED

- NOTES**
- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE ACTIVITIES AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
  - THIS DRAWING DOES NOT CERTIFY THE EXISTING CONDITIONS SHOWN HEREON. SURVEY INFORMATION HAS BEEN PROVIDED BY PITTMAN, GLAZE AND ASSOCIATES, INC.
  - EXISTING CONDITIONS SHOULD BE VERIFIED BY THE MOST RECENT SURVEY INFORMATION AND FIELD VERIFIED FOR ACCURACY.
  - ALL DISTURBED AREAS TO BE SEEDED OR SODDED.
  - EROSION CONTROL MEASURES SHALL STAY IN PLACE AND SHALL BE IN GOOD CONDITION UNTIL THE SITE IS STABILIZED.
  - LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES. ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF PAVING GRADES.
  - PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED.
  - NO GRADING OR CLEARING BY HEAVY EQUIPMENT CAN TAKE PLACE WITHIN THE 50% DRIPLINE AREA AS MARKED OFF AND SCREENED FOR ALL TREES TO BE PROTECTED ON THIS SITE.
  - IF A SITE INSPECTION REVEALS ROOT DAMAGE WITHIN THE 50% DRIPLINE HAS OCCURRED TO THE PROTECTED TREE, REMOVAL AND MITIGATION FOR THE TREE WILL BE REQUIRED.
  - REMOVAL OF ANY EXISTING CURBS AND SIDEWALK SHALL BE SAWCUT TO THE NEAREST JOINT.
  - NO GRADING, FILLING, REMOVAL OF TREES, OR OTHER LAND DISTURBANCE ACTIVITIES SHALL COMMENCE UNTIL ALL NECESSARY PERMITS ARE ISSUED BY ESCAMBA COUNTY FOR THE PROPOSED SITE WORK.



SURVEY LEGEND:			
BM	BENCHMARK	H	GUARD POST
ELEV	ELEVATION	+56.78	SPOT ELEVATION
INV	INVERT	---	CONTOUR LINE
CP	CONCRETE PIPE	---	CHAIN LINK FENCE
CPP	CORRUGATED PLASTIC PIPE	---	CABLE LINE
R/W	RIGHT OF WAY	---	ELECTRIC LINE
P.I.	POINT OF INTERSECTION	---	GAS LINE
●	1/2" CAPPED IRON ROD FOUND #NOTED	---	SANITARY SEWER LINE
■	4"x4" CONCRETE MONUMENT FOUND #3758	---	STORM SEWER LINE
X	"X" CUT IN CONCRETE	---	TELEPHONE LINE
⊕	NAIL AND DISK SET #7073	---	WATER LINE
⊕	FIRE HYDRANT	○	OAK TREE
⊕	SANITARY SEWER MANHOLE	⊗	MAGNOLIA TREE
⊕	STORM SEWER MANHOLE	⊗	PECAN TREE
⊕	WATER VALVE	○	MISCELLANEOUS TREE
⊕	WATER METER		
⊕	SPRINKLER CONTROL VALVE		
⊕	BACKFLOW PREVENTOR		
⊕	LIGHT POLE WITH BASE		
⊕	TRAFFIC LIGHT POLE		
⊕	TRAFFIC SIGNAL BOX		
⊕	TRAFFIC CONTROL BOX		
⊕	STORM INLET		

NO.	REVISION	DATE	APPR.
1			
2			
3			
4			
5			

**G&A**  
**ENGINEERS**  
 2950 N. 12th Ave. PENSACOLA, FL 32503  
 Phone (850) 432-2929 - Fax (850) 432 2875  
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149  
 E-Mail: geci@geciengineering.com

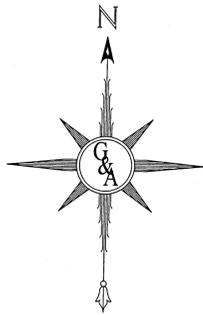
SCALE AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 10/05/21

**NOT RELEASED FOR CONSTRUCTION**

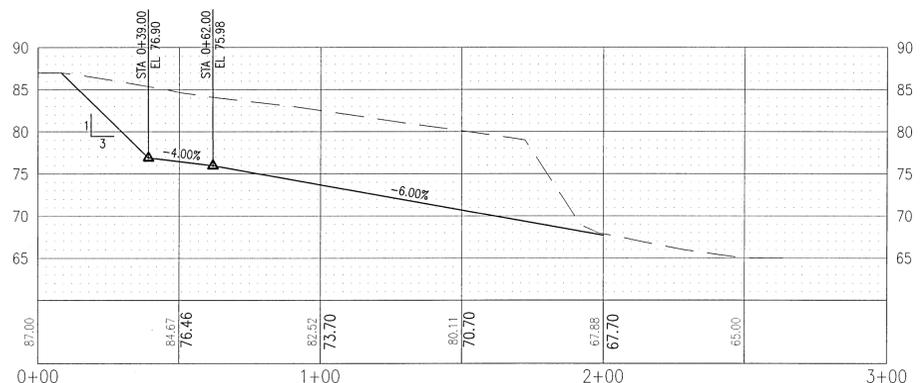
**STEVE A. GECI**  
 No. 33551  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 FLORIDA P.E.# 33558

**STAY APT SUITES**  
 EXISTING CONDITIONS, CLEARING, DEMOLITION, &  
 EROSION CONTROL PLAN  
 PAVING & STORM DRAINAGE PLANS

PROJECT NO. SHEET NO.  
 32101 C110



SCALE: 1" = 30'

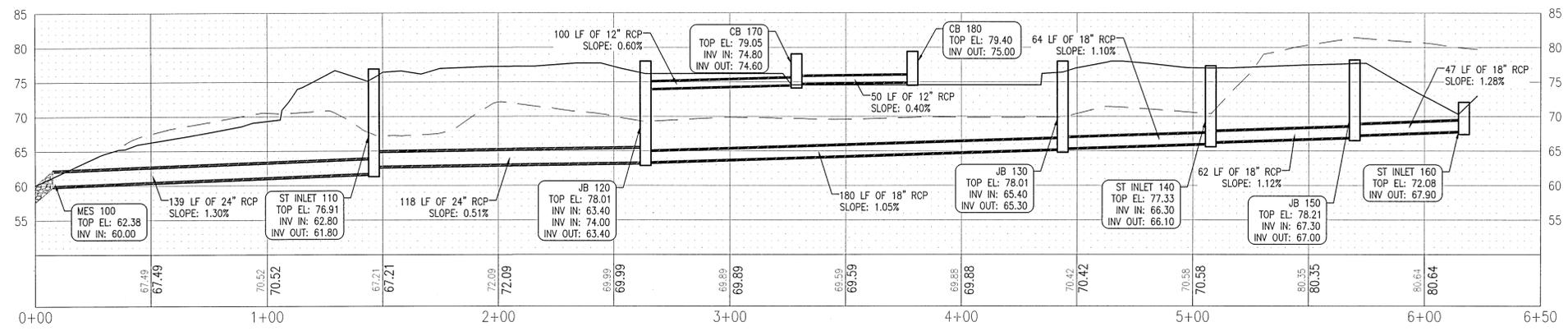
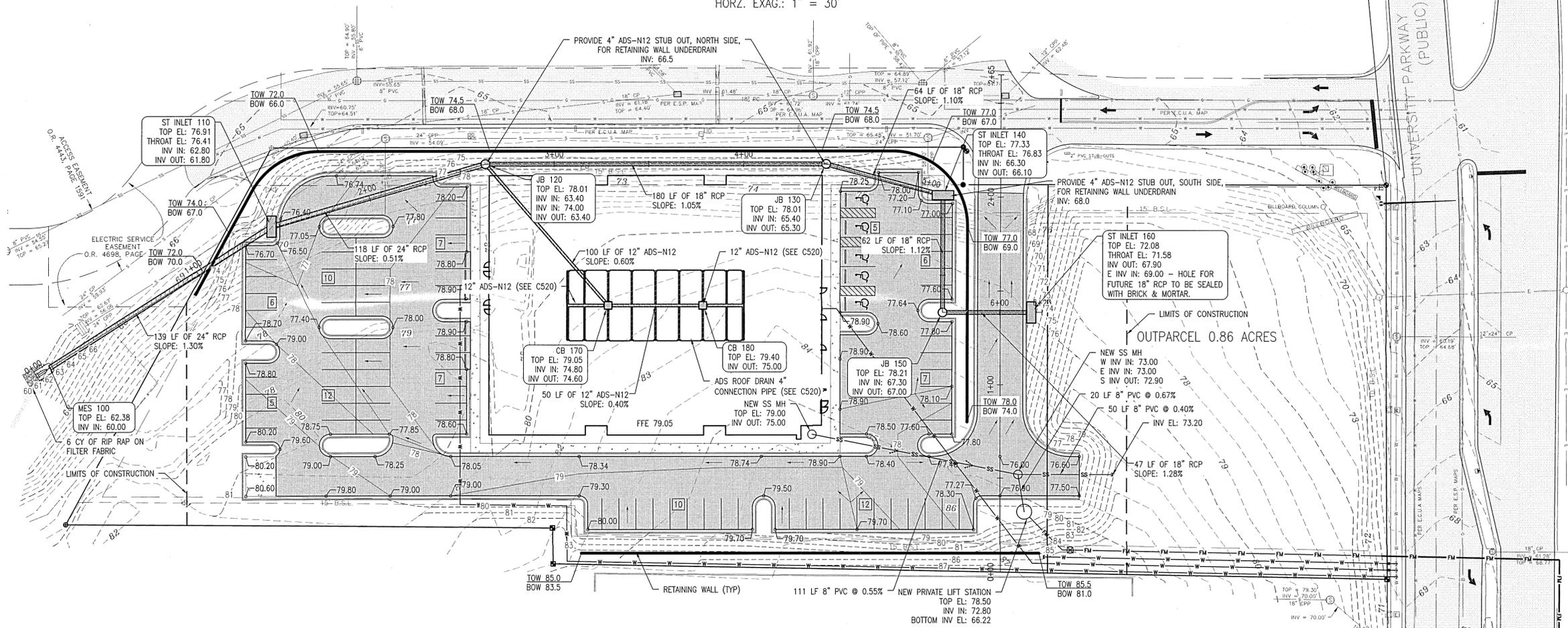


ENTRANCE ROAD  
VERT. EXAG.: 1" = 10'  
HORIZ. EXAG.: 1" = 30'

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.

NOTE: CORE DRILL MH AND INSERT NEW LATERAL. CONSTRUCT INSIDE DROP AND SECURELY FASTEN TO INSIDE WALL OF MH WITH STAINLESS STEEL CLAMPS OR PIPE HANGERS. EXTEND TO THE INVERT OF THE MH WITH 45 DEGREE BEND INSTALLED TO DIRECT FLOW DOWNSTREAM.



STORM WATER  
VERT. EXAG.: 1" = 10'  
HORIZ. EXAG.: 1" = 30'

<p><b>NOT RELEASED FOR CONSTRUCTION</b></p> <p>SCALE: AS SHOWN DESIGNED: CAG DRAWN: KFD CHECKED: SAG DATE: 10/05/21</p> <p><b>STEVE A. GECI</b> FLORIDA PROFESSIONAL ENGINEER No. 33258</p>	<p><b>REVISION</b></p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	1			2			3			4			5		
	NO.	DATE	DESCRIPTION																
	1																		
	2																		
	3																		
4																			
5																			
<p><b>APPROVED</b></p>																			
<p><b>DATE</b></p>																			
<p><b>PROJECT NO.</b> 32101</p>																			
<p><b>SHEET NO.</b> C130</p>																			

**STAY APT SUITES**

GRADING & DRAINAGE PLAN

PAVING & STORM DRAINAGE PLANS

**GECI & ASSOCIATES, INC.**

ENGINEERS

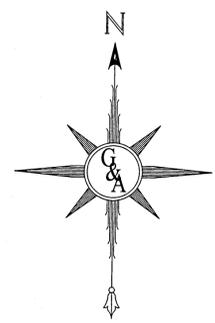
2950 N. 12th Ave. PENSACOLA, FL 32503  
Phone (850) 432-2929 - Fax (850) 432-2875  
E-Mail: geci@geciassociates.com

**CERTIFICATE OF AUTHORIZATION NUMBER 00005149**

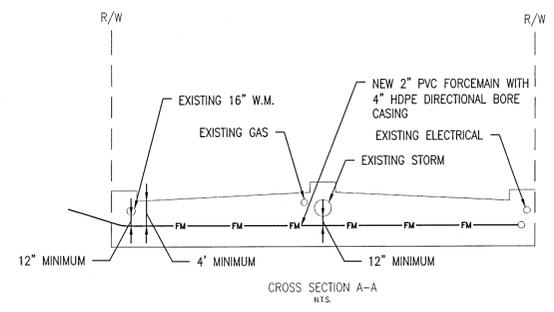
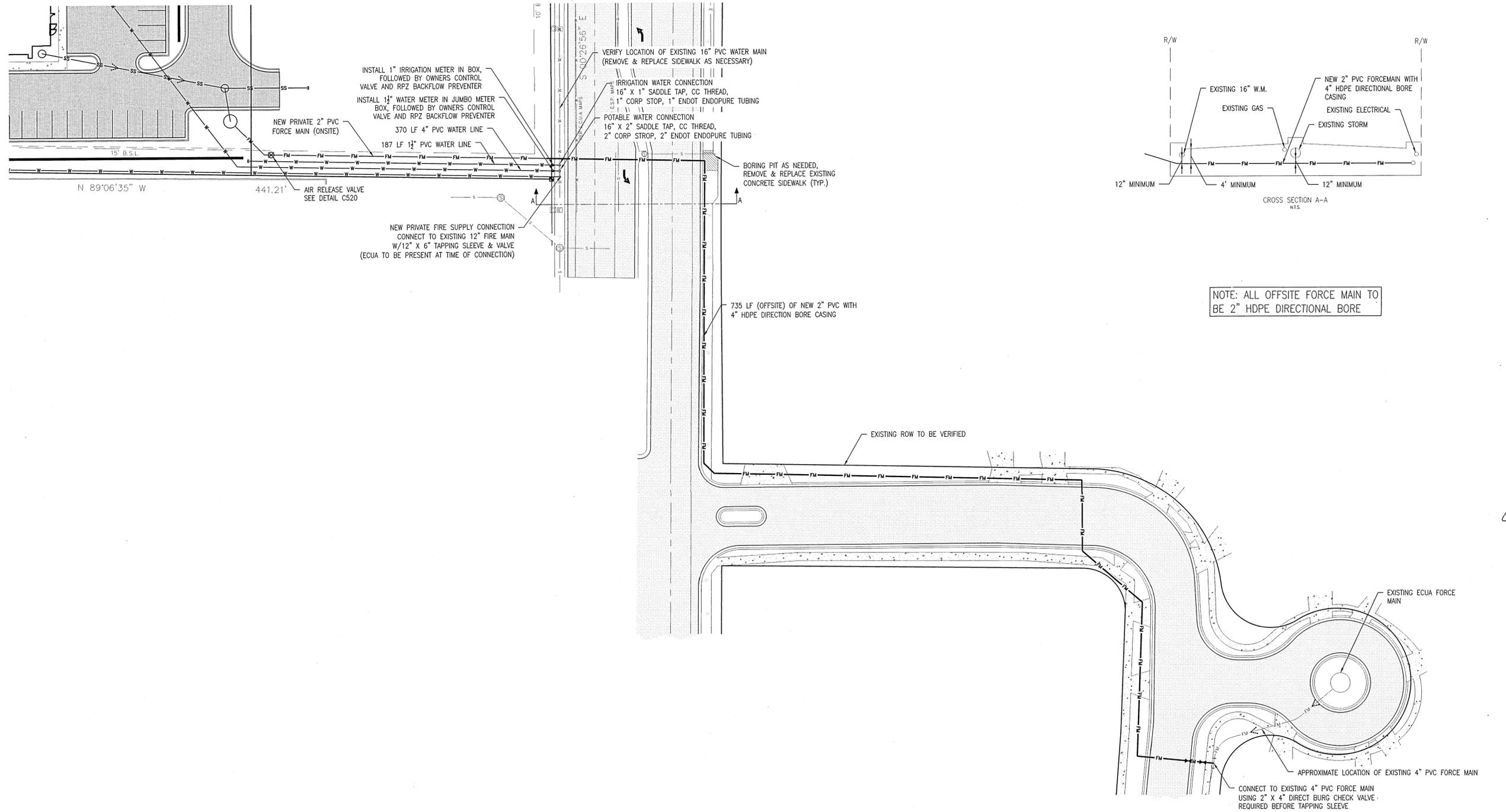


ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.



SCALE: 1" = 30'



NOTE: ALL OFFSITE FORCE MAIN TO BE 2" HDPE DIRECTIONAL BORE

NO.	REVISION	DATE	APPR.
1			
2			
3			
4			
5			

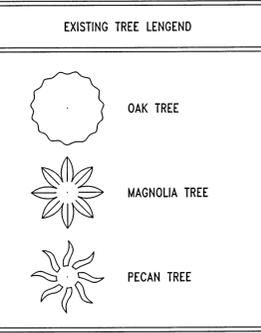
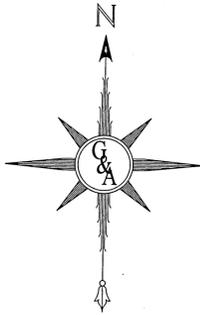
**GECI & ASSOCIATES, INC.**  
ENGINEERS  
2950 N. 12th Ave. PENSACOLA, FL 32503  
Phone (850) 432-2929 - Fax (850) 432-2875  
CERTIFICATE OF AUTHORIZATION NUMBER 00005149  
E-Mail: geci@geciengineers.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 10/05/21

**NOT RELEASED FOR CONSTRUCTION**

**STAY APT SUITES**  
OFFSITE FORCE MAIN  
PAVING & STORM DRAINAGE PLANS

PROJECT NO. 32101 SHEET NO. C145



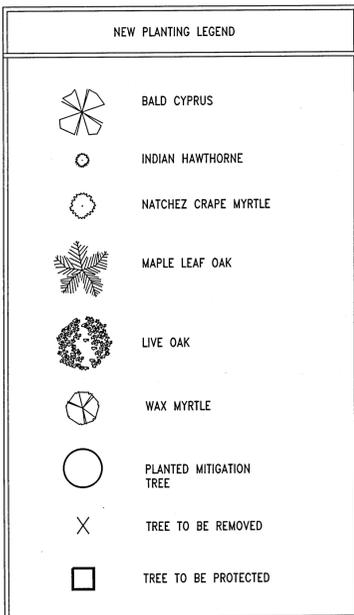
**PROPOSED PLANTING**

COMMON NAME	BOTANICAL NAME	QTY.	% OF TOTAL TREES	SPACING	SIZE
BALD CYPRESS	TAXODIUM DISTICHUM	11	20%	AS SHOWN	2.5" DBH
LIVE OAK	QUERCUS VIRGINIANA	16	29%	AS SHOWN	2.5" DBH
MAPLE LEAF OAK	QUERCUS ACERIFOLIA	12	22%	AS SHOWN	2.5" DBH
WAX MYRTLE	MYRICA CERIFERA	12	N/A	AS SHOWN	2.5" DBH
INDIAN HAWTHORNE	RHAPHIOLEPIS INDICA	119	N/A	AS SHOWN	12" TALL
CREPE MYRTLE	LAGERSTROEMIA	16	29%	AS SHOWN	2.5" DBH

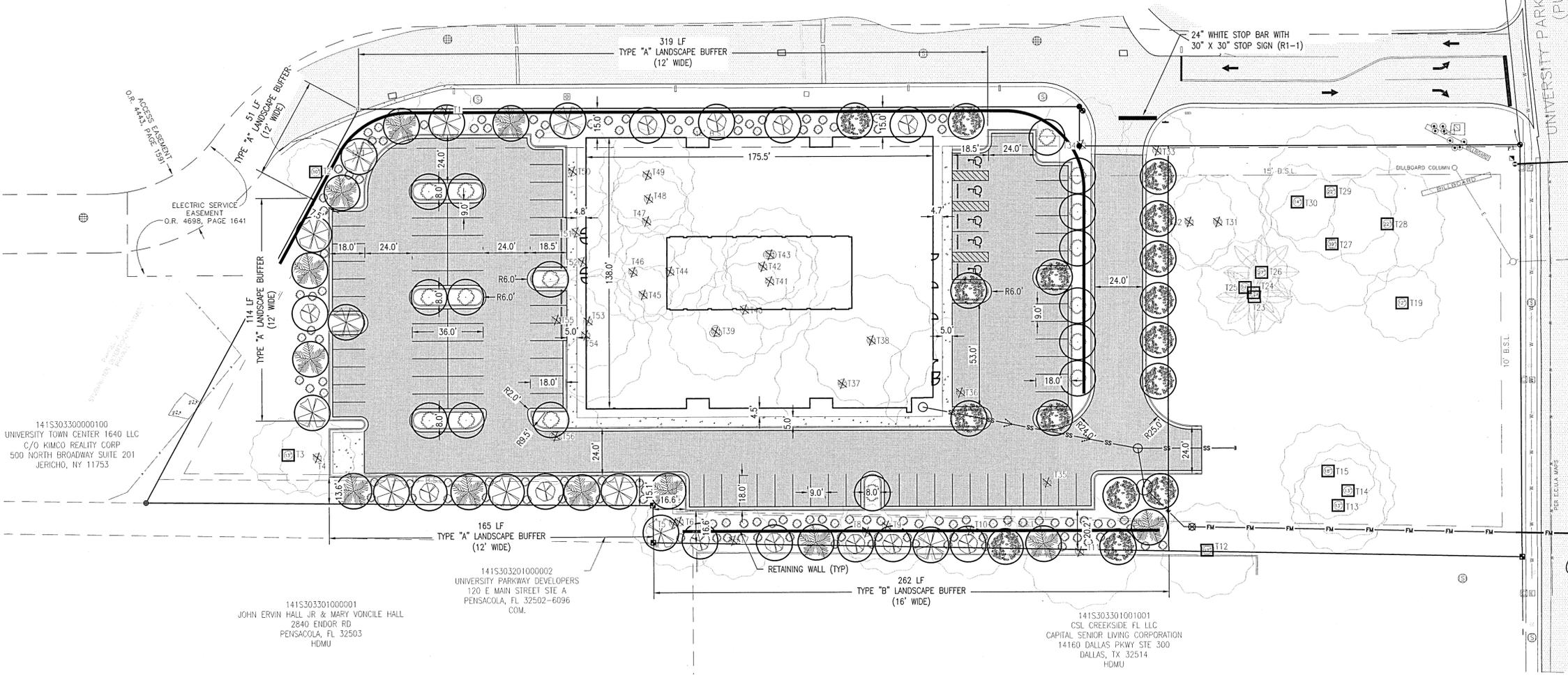
TOTAL TREES: 55

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER AND SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EMERALD COAST UTILITIES AUTHORITY (ECUA) STANDARD SPECIFICATIONS.



- NOTES**
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA, A COPY OF WHICH SHALL BE MAINTAINED FOR PUBLIC INSPECTION IN THE DEPARTMENT OF LEISURE SERVICES.
  - ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE ACTIVITIES AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
  - ALL DISTURBED AREAS TO BE STABILIZED WITH SOD UNLESS OTHERWISE NOTED. ALL SLOPES 4:1 AND GREATER TO BE SOD & PINNED. PLANTING SOD SHALL BE IN ACCORDANCE WITH FDOT SECTION 570-3.3 AND 981-3.1. SEE SHEET C500 FOR THE TREE INSTALLATION AND TREE PROTECTION DETAIL.
  - PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED.
  - TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL AT PLANTING.
  - THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE: NUMBER OF NEW TREE PLANTED ON SITE: 55; MAXIMUM PERCENTAGE OF ANY ONE SPECIES PLANTED IS 30%.
  - ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR AS LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
  - MINIMUM TREE SPACING: EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE.
  - THE CRITICAL ROOT ZONE (CRZ) OF TREES SHOWN TO BE PRESERVED ONSITE SHALL REMAIN SUBSTANTIALLY UNDISTURBED. ALL LAND DISTURBANCE ACTIVITIES, ENCROACHMENTS FROM SITE WORK, OR IMPROVEMENTS SHALL AT NO TIME EXCEED 50% OF THE TREES' CRZS. IN ADDITION, NO MORE THAN 25 PERCENT OF THE TREES' CANOPIES SHALL BE REMOVED AND ANY PRUNING, IF NECESSARY, SHALL BE PERFORMED ACCORDING TO ANSI STANDARDS.



**TREE TABLE**

TREE #	SIZE (in)	TYPE	STATUS/INFO	MITIGATION INCHES
T1	12.0"	OAK	REMOVE	6.0
T2	10.0"	OAK	PROTECT	
T3	13.0"	OAK	PROTECT	
T4	12.0"	OAK	REMOVE	6.0
T5	12.0"	OAK	REMOVE	6.0
T6	14.0"	OAK	REMOVE	7.0
T7	13.0"	OAK	REMOVE	6.5
T8	18.0"	OAK	REMOVE	9.0
T9	16.0"	OAK	REMOVE	8.0
T10	13.0"	OAK	REMOVE	6.5
T11	33.0"	OAK	REMOVE	16.5

T12	27.0"	OAK	PROTECT	
T13	14.0"	OAK	PROTECT	
T14	14.0"	OAK	PROTECT	
T15	18.0"	OAK	PROTECT	
T19	12.0"	OAK	PROTECT	
T23	15.0"	MAGNOLIA	PROTECT	
T24	13.0"	MAGNOLIA	PROTECT	
T25	24.0"	MAGNOLIA	PROTECT	
T26	27.0"	MAGNOLIA	PROTECT	
T27	39.0"	OAK	PROTECT	
T28	22.0"	OAK	PROTECT	
T29	22.0"	OAK	PROTECT	
T30	14.0"	OAK	PROTECT	

T31	31.0"	OAK	REMOVE	15.5
T32	22.0"	OAK	REMOVE	11.0
T33	10.0"	OAK	REMOVE	5.0
T34	11.0"	OAK	REMOVE	5.5
T35	21.0"	PECAN	REMOVE	10.5
T36	52.0"	OAK	REMOVE	26.0
T37	40.0"	OAK	REMOVE	20.0
T38	39.0"	OAK	REMOVE	19.5
T39	26.0"	OAK	REMOVE	13.0
T40	16.0"	OAK	REMOVE	8.0
T41	20.0"	OAK	REMOVE	10.0
T42	13.0"	OAK	REMOVE	6.5
T43	27.0"	OAK	REMOVE	13.5

T44	12.0"	OAK	REMOVE	6.0
T45	13.0"	OAK	REMOVE	6.5
T46	21.0"	OAK	REMOVE	10.5
T47	18.0"	OAK	REMOVE	9.0
T48	13.0"	OAK	REMOVE	6.5
T49	17.0"	OAK	REMOVE	8.5
T50	24.0"	OAK	REMOVE	12.0
T51	21.0"	OAK	REMOVE	10.5
T52	12.0"	OAK	REMOVE	6.0
T53	12.0"	OAK	REMOVE	6.0
T54	24.0"	OAK	REMOVE	12.0
T55	14.0"	OAK	REMOVE	7.0
T56	20.0"	OAK	REMOVE	10.0

TOTAL DBH OF PROTECTED TREES REMOVED = 346.0"  
 TOTAL REQUIRED REPLACEMENT = 346(0.5) = 173"  
 TREE REPLACEMENT LIMIT: 3.13 AC X 25 IN/AC = 78.25" (MAX REQ'D)  
 MAX REQUIRED REPLACEMENT TREES: 78.25/2.5 = 31  
 TOTAL TREES SHOWN TO BE PLANTED: 55

NOTE:  
SEE SHEET C110 FOR CLARITY ON TREES TO BE REMOVED.

**REVISION**

NO.	DATE	APPR.
1		
2		
3		
4		
5		

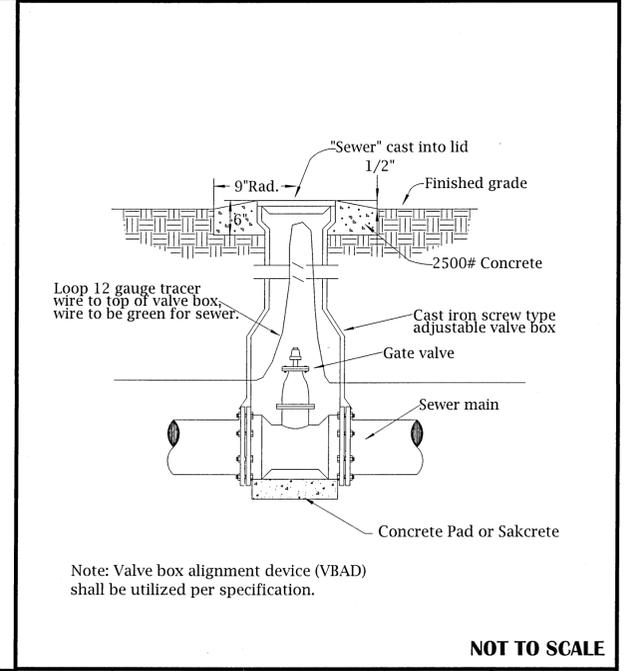
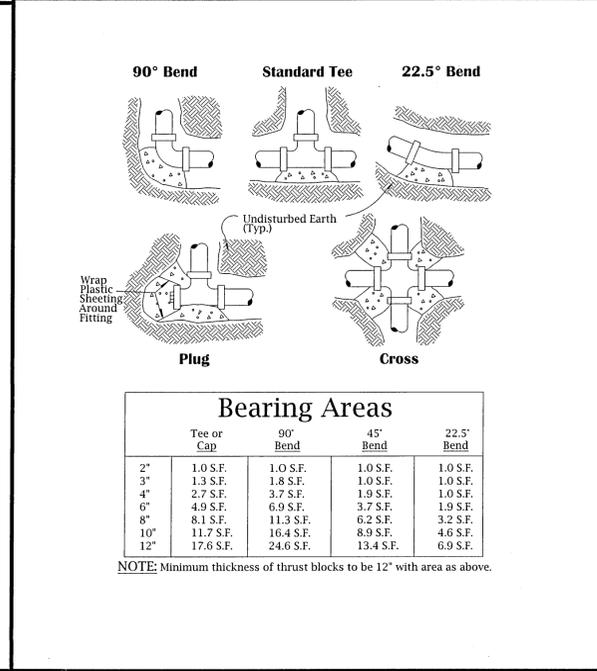
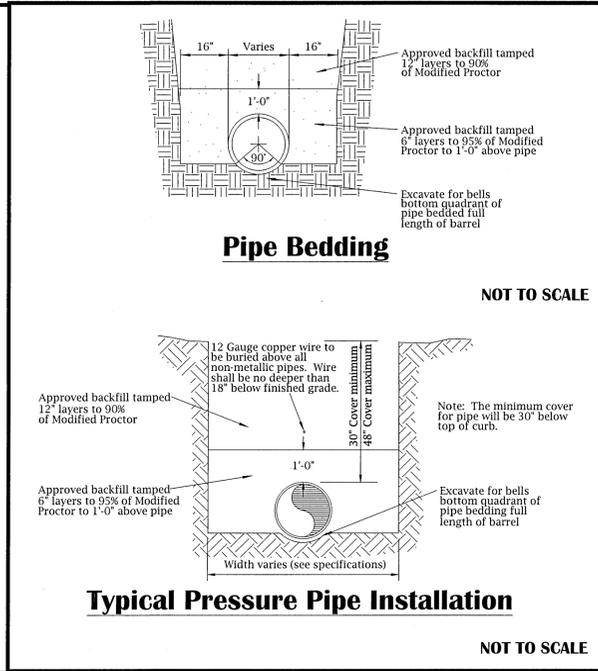
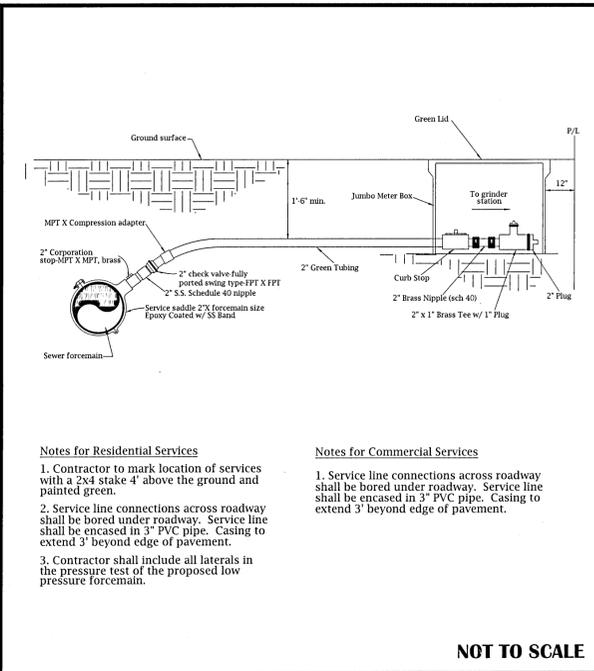
**GECI & ASSOCIATES, INC.**  
 ENGINEERS  
 2950 N. 12th Ave. PENSACOLA, FL 32503  
 Phone (850) 432-2929 - Fax (850) 432-2875  
 E-Mail: geci@geciengineering.com  
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KFD CHECKED: SAG DATE: 10/05/21  
**NOT RELEASED FOR CONSTRUCTION**

**STAY APT SUITES**  
 TRAFFIC CONTROL & TREE MITIGATION PLAN  
 PAVING & STORM DRAINAGE PLANS

PROJECT NO. 32101 SHEET NO. C150



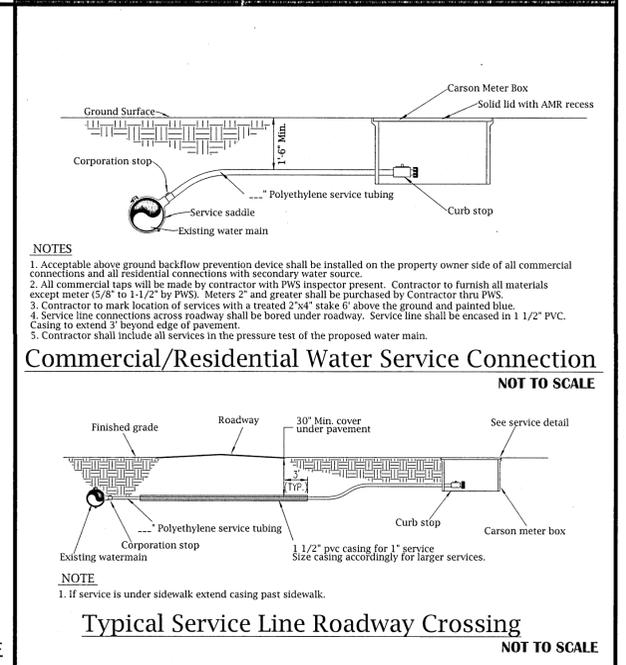
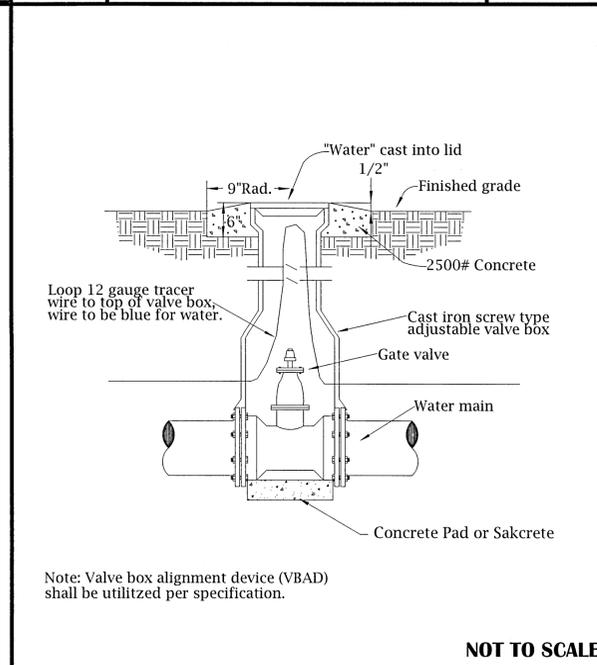
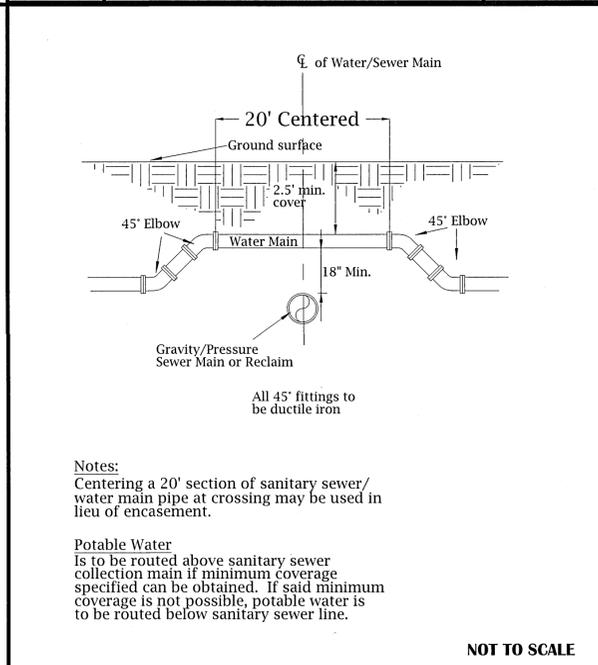
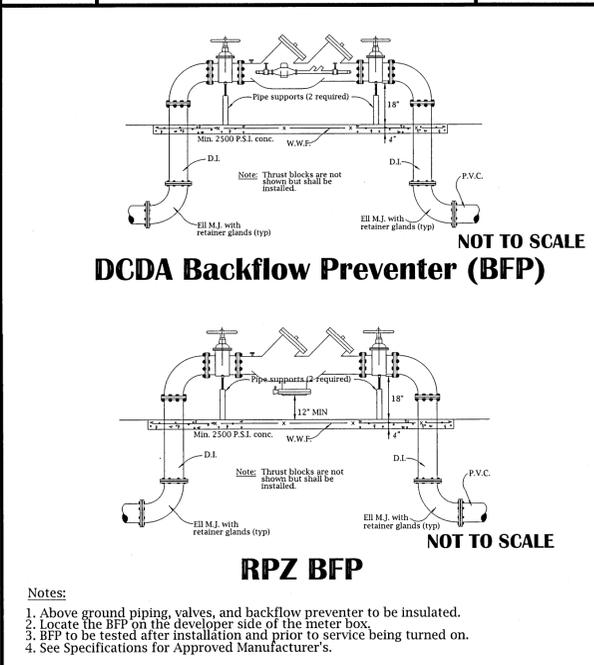


**Residential and Commercial Low Pressure Service Connection on Mains 3" and Greater**  
 Revision Date: 2018  
 Detail #: WW-15

**Pipe Bedding & Typical Pressure Pipe Installation Detail**  
 Revision Date: 2018  
 Detail #: WW-8

**Thrust Block Details**  
 Revision Date: 2018  
 Detail #: WW-10

**Valve Box Setting Detail**  
 Revision Date: 2018  
 Detail #: WW-9



**Backflow Preventer Detail**  
 Revision Date: 2018  
 Detail #: PW-5

**Conflict Detail**  
 Revision Date: 2018  
 Detail #: PW-7

**Valve Box Setting Detail**  
 Revision Date: 2018  
 Detail #: PW-4

**Water Service Details**  
 Revision Date: 2018  
 Detail #: PW-9

**REVISION**

NO.	DATE	APPR.
1		
2		
3		
4		
5		

**NO. 1**

**DATE: 10/05/21**

**DESIGNED: CAG**

**DRAWN: KRD**

**CHECKED: SAG**

**SCALE: AS SHOWN**

**NOT RELEASED FOR CONSTRUCTION**

**STAY APT SUITES**

**DETAILS 2**

**PAVING & STORM DRAINAGE PLANS**

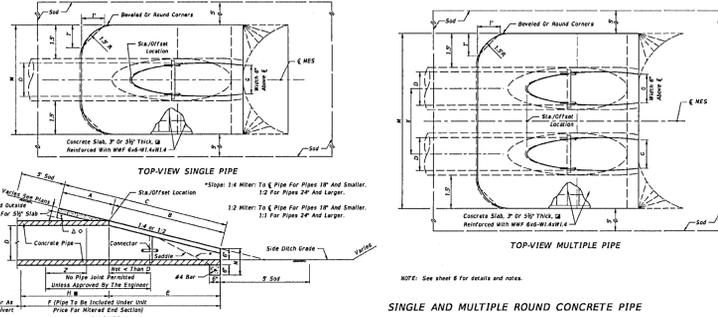
**PROJECT NO. 32101**

**SHEET NO. C510**

**GECI & ASSOCIATES, INC.**  
 ENGINEERS  
 2950 N. 12th Ave. PENSACOLA, FL 32503  
 Phone (850) 432-2929 - Fax (850) 432-2875  
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149  
 E-Mail: geci@geciengineering.com

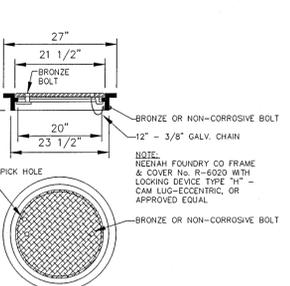
**FLORIDA PROFESSIONAL ENGINEER**  
 No. 32668  
 STEVE A. GECI  
 FLORIDA # 33668

DIMENSIONS AND QUANTITIES														
D	K	A	B	C	E	F	G	H	CONCRETE SLAB (CY) (1)			ROOFING (SF)		
									Single	Double	Triple	Single	Double	Triple
12"	24"	18"	24"	30"	36"	42"	48"	54"	0.39	0.78	1.17	27	54	81
18"	36"	27"	36"	45"	54"	63"	72"	81"	0.58	1.16	1.74	40	80	120
24"	48"	36"	48"	60"	72"	84"	96"	108"	0.77	1.54	2.31	53	106	159
30"	60"	45"	60"	75"	90"	105"	120"	135"	0.96	1.92	2.88	64	128	192
36"	72"	54"	72"	90"	108"	126"	144"	162"	1.15	2.30	3.45	75	150	225
42"	84"	63"	84"	105"	126"	147"	168"	189"	1.34	2.68	4.02	86	172	258
48"	96"	72"	96"	120"	144"	168"	192"	216"	1.53	3.06	4.59	97	194	291
54"	108"	81"	108"	135"	162"	189"	216"	243"	1.72	3.44	5.16	108	216	324
60"	120"	90"	120"	150"	180"	210"	240"	270"	1.91	3.82	5.73	119	238	357
66"	132"	99"	132"	165"	198"	231"	264"	297"	2.10	4.20	6.30	130	260	390
72"	144"	108"	144"	180"	216"	252"	288"	324"	2.29	4.58	6.87	141	282	423
78"	156"	117"	156"	195"	234"	282"	324"	366"	2.48	4.96	7.44	152	304	456
84"	168"	126"	168"	210"	252"	306"	360"	414"	2.67	5.34	8.01	163	326	489
90"	180"	135"	180"	225"	270"	324"	384"	450"	2.86	5.72	8.58	174	348	522
96"	192"	144"	192"	240"	288"	354"	432"	510"	3.05	6.10	9.15	185	370	555
102"	204"	153"	204"	255"	306"	378"	456"	540"	3.24	6.48	9.72	196	392	588
108"	216"	162"	216"	270"	324"	408"	492"	618"	3.43	6.86	10.29	207	414	627
114"	228"	171"	228"	285"	342"	441"	528"	696"	3.62	7.24	10.86	218	436	660
120"	240"	180"	240"	300"	360"	474"	576"	774"	3.81	7.62	11.43	229	458	693

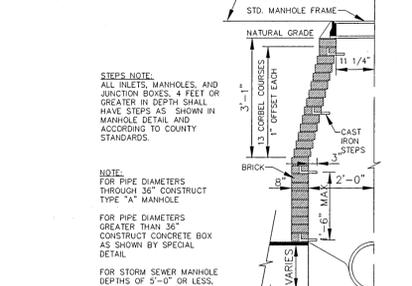


SINGLE AND MULTIPLE ROUND CONCRETE PIPE

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/17	STANDARD PLANS	430-021	1 of 6

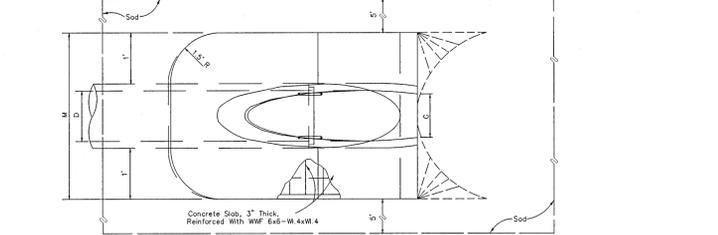


STANDARD COUNTY INLET FRAME & COVER

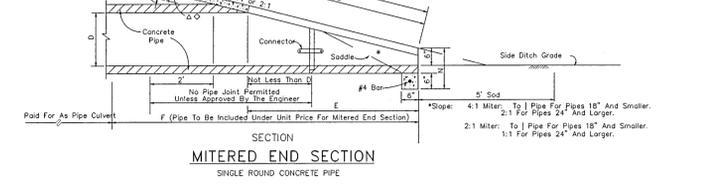


TYPICAL SECTION TYPE "A" MANHOLE

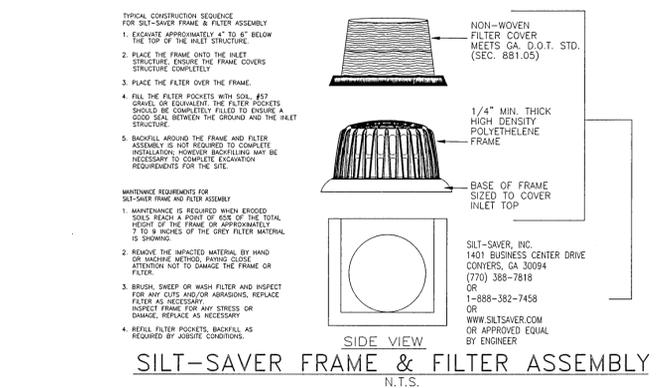
DIMENSIONS AND QUANTITIES														
D	K	A	B	C	E	F	G	M	CONCRETE SLAB (CY) (1)			ROOFING (SF)		
									Single	Double	Triple	Single	Double	Triple
12"	24"	18"	24"	30"	36"	42"	48"	54"	0.39	0.78	1.17	27	54	81
18"	36"	27"	36"	45"	54"	63"	72"	81"	0.58	1.16	1.74	40	80	120
24"	48"	36"	48"	60"	72"	84"	96"	108"	0.77	1.54	2.31	53	106	159
30"	60"	45"	60"	75"	90"	105"	120"	135"	0.96	1.92	2.88	64	128	192
36"	72"	54"	72"	90"	108"	126"	144"	162"	1.15	2.30	3.45	75	150	225
42"	84"	63"	84"	105"	126"	147"	168"	189"	1.34	2.68	4.02	86	172	258
48"	96"	72"	96"	120"	144"	168"	192"	216"	1.53	3.06	4.59	97	194	291
54"	108"	81"	108"	135"	162"	189"	216"	243"	1.72	3.44	5.16	108	216	324
60"	120"	90"	120"	150"	180"	210"	240"	270"	1.91	3.82	5.73	119	238	357
66"	132"	99"	132"	165"	198"	231"	264"	297"	2.10	4.20	6.30	130	260	390
72"	144"	108"	144"	180"	216"	252"	288"	324"	2.29	4.58	6.87	141	282	423
78"	156"	117"	156"	195"	234"	282"	324"	366"	2.48	4.96	7.44	152	304	456
84"	168"	126"	168"	210"	252"	306"	360"	414"	2.67	5.34	8.01	163	326	489
90"	180"	135"	180"	225"	270"	324"	384"	450"	2.86	5.72	8.58	174	348	522
96"	192"	144"	192"	240"	288"	354"	432"	510"	3.05	6.10	9.15	185	370	555
102"	204"	153"	204"	255"	306"	378"	456"	540"	3.24	6.48	9.72	196	392	588
108"	216"	162"	216"	270"	324"	408"	492"	574"	3.43	6.86	10.29	207	414	627
114"	228"	171"	228"	285"	342"	441"	528"	618"	3.62	7.24	10.86	218	436	660
120"	240"	180"	240"	300"	360"	474"	576"	774"	3.81	7.62	11.43	229	458	693



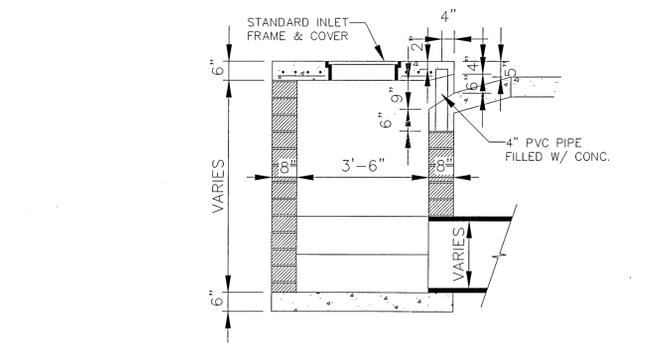
MITERED END SECTION SINGLE ROUND CONCRETE PIPE



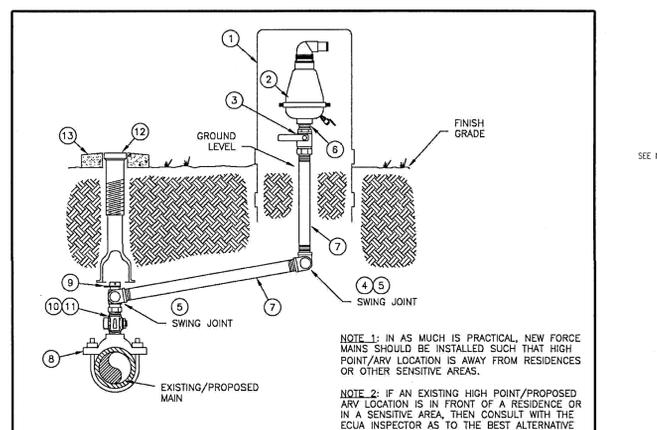
SECTION MITERED END SECTION SINGLE ROUND CONCRETE PIPE



SILT-SAVER FRAME & FILTER ASSEMBLY

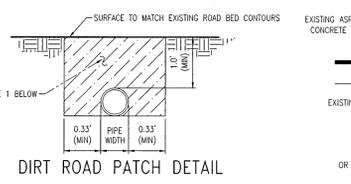


SECTION "B-B" TYPE "A", "A-1", "C" & "C-1" INLET



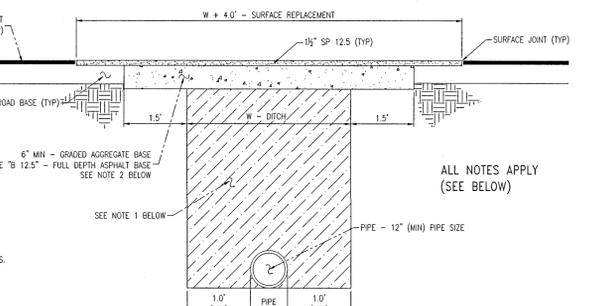
MATERIALS	
1	ENCLOSURE, WATER PLUS CORPORATION, MODEL #131632 GREEN, WITH PIN ALLEN LOCK
2	AIR RELEASE VALVE 2" NPT, ARI MODEL D-025P
3	2" BALL VALVE, 316 S.S.
4	2" STANDARD 90° ELBOW, 316 S.S.
5	2" STREET 90° ELBOW, 316 S.S.
6	2" SHORT NIPPLE, 316 S.S.
7	2" PIPE, 316 S.S. LENGTH AS REQUIRED, 2" ANGLE MIN. (3.3% SLOPE)
8	1 MAIN SIZE x 2" DOUBLE STRAP TAPPING SADDLE, IRON SADDLE WITH 316 S.S. STRAPS
9	1 2" x 90° FIPxPIP ANGLE BALL VALVE FORD PART NO. BA11777W
10	1 2" CLOSE NIPPLE, 316 S.S. (EXISTING 2" BRASS CORPORATION STOP)
11	1 2" BRASS CORPORATION STOP FORD PART FB400-7-NL (NEW AIR RELEASE VALVE ASSEMBLY INSTALLATION)
12	1 VALVE BOX WITH LID LABELED "SEWER"
13	1 CONCRETE VALVE BOX COLLAR

AIR RELEASE/VACUUM VALVE - AUTOMATIC FOR 10" AND SMALLER MAINS

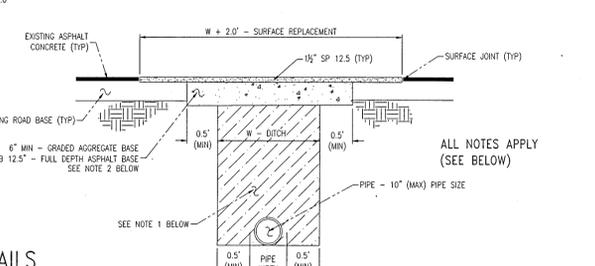


DIRT ROAD PATCH DETAIL

NOTES:  
 1. DIRT ROAD PATCH WORK SUB-BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 6" LIFTS. EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.  
 2. GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.  
 3. ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.  
 4. LONGITUDINAL ROAD CUTS THAT AFFECT ONE TRAVEL LANE SHALL REQUIRE MILLING AND REPAIRING OF THE AFFECTED TRAVEL LANE 5.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL. LONGITUDINAL ROAD CUTS THAT AFFECT BOTH TRAVEL LANES SHALL REQUIRE MILLING AND REPAIRING OF THE ENTIRE ROADWAY 5.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL.



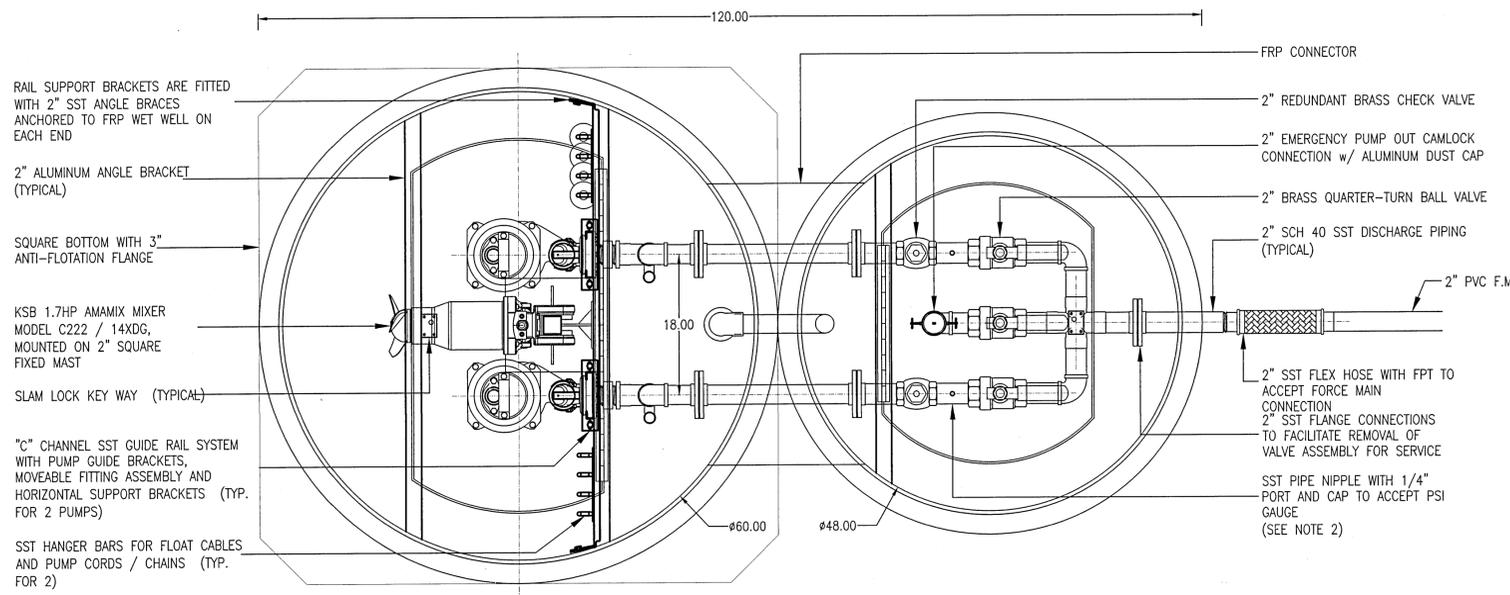
PAVED ROAD (LARGE PATCH) DETAIL



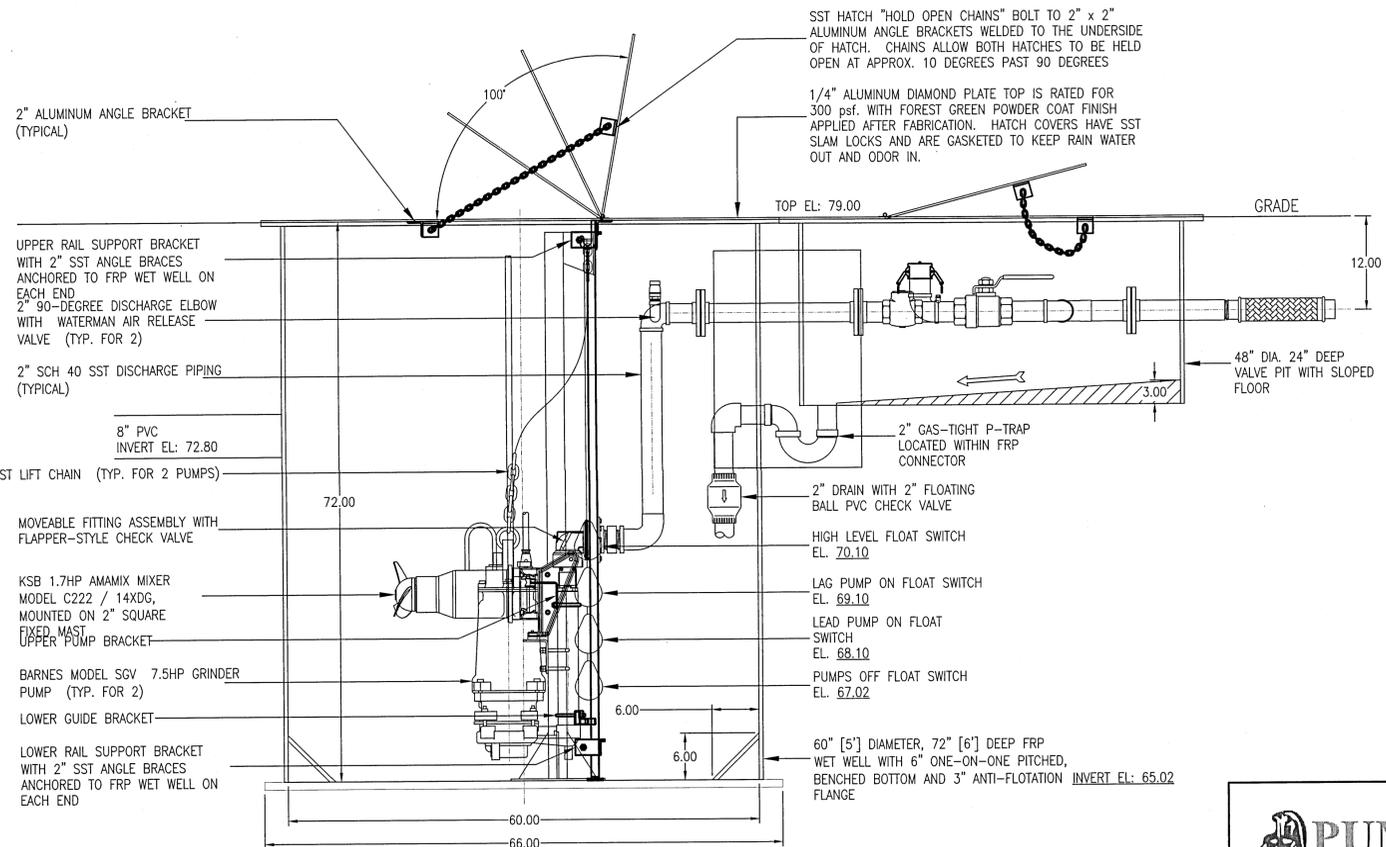
PAVED ROAD (SMALL PATCH) DETAIL

ESCAMBIA COUNTY PATCH DETAILS

DATE	APPR.
REVISION	
NO.	1 2 3 4 5
NO.	1 2 3 4 5
DESIGNED: CAG	CHECKED: SAG
DRAWN: KRD	DATE: 10/05/21
<p>NOT RELEASED FOR CONSTRUCTION</p> <p>SCALE: AS SHOWN</p>	
<p>STAY APT SUITES</p> <p>DETAILS 3</p> <p>PAVING &amp; STORM DRAINAGE PLANS</p>	
PROJECT NO.	SHEET NO.
32101	C520



TOP VIEW



WET WELL ELEVATION

CONTROL PANEL MUST MEET DEP STANDARDS

DUPLEX PUMP CONTROL PANEL WITH ATTACHED SST "AIR BREAK" BOX MOUNTS TO ALUMINUM BACK BOARD

CONTROL PANEL ENCLOSURE AND "AIR BREAK" BOX TO RECEIVE FOREST GREEN POWDER COAT FINISH AFTER FABRICATION

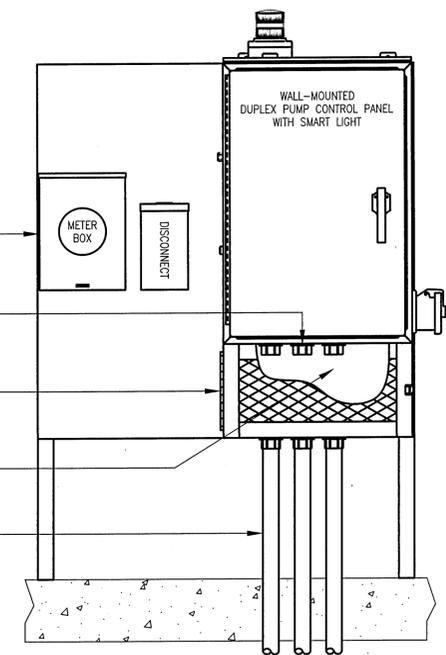
THE 100 AMP POWER DISCONNECT AND METER TO BE INSTALLED BY ELECTRICAL CONTRACTOR.

CONDUIT HUBS SHALL BE PACKED WITH SEALING COMPOUND TO PREVENT PESTS, MOISTURE, AND SEWER GASES FROM ENTERING THE PANEL

ALUMINUM "AIR-BREAK" BOX HAS A HINGED EXPANDED METAL DOOR WITH LATCH AND PADLOCK HASP. 12"H WITH WIDTH AND DEPTH TO MATCH CONTROL PANEL

CUTAWAY TO SHOW CONDUIT HUBS AND ENTRY OF CONDUIT FROM WET WELL

THREE 2" CONDUITS FROM WET WELL SHALL BE ROUTED FOR ENTRY INTO THE "AIR BREAK" BOX



CONTROL PANEL ENCLOSURE DETAIL

PUMP DATA TABLE	
MANUFACTURER	KSB
MODEL	AMAREZ KRTS 40-250/122XG-S
VOLTAGE	230
PHASE	3
HP	10
RPM	3500
GPM	70
TDH	195

- NOTES:
1. THE PUMPS MUST HAVE A 5-YEAR 100% REPAIR PARTS AND LABOR WARRANTY AS PROVIDED BY THE PUMP MANUFACTURER.
  2. PRESSURE GAUGE TO BE SIZED TO READ NO MORE THAN 1-1/2 TIMES THE MAXIMUM PRESSURE PUMP PROVIDES AT DEAD HEAD.
  3. CONTROL PANEL MUST MEET DEP STANDARDS.
  4. CONTROL PANEL ENCLOSURE AND "AIR BREAK" BOX TO RECEIVE FOREST GREEN POWDER COAT FINISH AFTER FABRICATION.

**PUMP & PROCESS**  
equipment incorporated

Butch Branton - Municipal Sales  
3820 Hopkins Street · Pensacola, FL 32505  
850.432.0334 Ofc · 850.432.1336 Fax  
1.888.GO4.PUMP · www.ppeinc.net

TITLE:	STA APT SUITES PENSACOLA, FLORIDA DUPLEX LIFT STATION with MIXER	
CREATED BY:	DS	APPROVED BY: BB
SCALE:	NTS	REVISION: 3
DATE:	07/19/21	SHEET: 1 OF: 1

REVISION

NO.	DATE	APPR.
1		
2		
3		
4		
5		

GECI & ASSOCIATES, INC.  
ENGINEERS  
2950 N. 12th Ave. PENSACOLA, FL 32503  
Phone (850) 432-2929 - Fax (850) 432-2875  
E-Mail: gec@geciengineering.com  
CERTIFICATE OF AUTHORIZATION NUMBER 00005149  
DATE: 10/05/21

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG

NOT RELEASED FOR CONSTRUCTION

FLORIDA PROFESSIONAL ENGINEER STATE # 33658

STAY APT SUITES  
LIFT STATION DETAIL  
PAVING & STORM DRAINAGE PLANS

PROJECT NO. SHEET NO.  
32101 C530