

LOT 13

LOT 14

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *J. Hampton* 2-24-21
 Printed Name: _____ Date: _____
 Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

PRE-CONSTRUCTION SITE CONDITIONS (100-YR):
 TIME OF CONCENTRATION 28.60 MIN.
 $I = A+BX+CX^2+DX^3$

A	B	C	D
13.12	-1.043	-0.528	-0.528

RUNOFF COEFF. (GRASS)	0.35
RUNOFF COEFF. (ROOF)	0.95
RUNOFF COEFF. (GRAVEL)	0.60

DA. NO.	GRASS (SF)	ROOF (SF)	GRAVEL (SF)	TOTAL (SF)	C	I (IN/HR)	A (ACRE)	Q (CFS)
1	150548	2614	3654	156816	0.37	6.960	3.598	9.350
TOTAL	150548	2614	3654	156816	0.37	6.960	3.598	9.350

	TOTAL (SF)	PERVIOUS AREA (SF)	NON-PERVIOUS AREA (SF)	PERCENT OF PERVIOUS
1	156816	154202	2614	98.33%
TOTAL	156816	154202	2614	98.33%

VERA LANE (60' RIGHT-OF-WAY)

NOTES

- USDA NRCS SOIL TYPES
 - 1.1 POARCH SANDY LOAM (24)
 - 1.2 BONIFAY LOAMY SAND (38)

LEGEND

- DRAINAGE AREA LABEL
- DRAINAGE AREA
- STORMWATER RUNOFF FLOW DIRECTION
- STORM SEWER FLOW DIRECTION

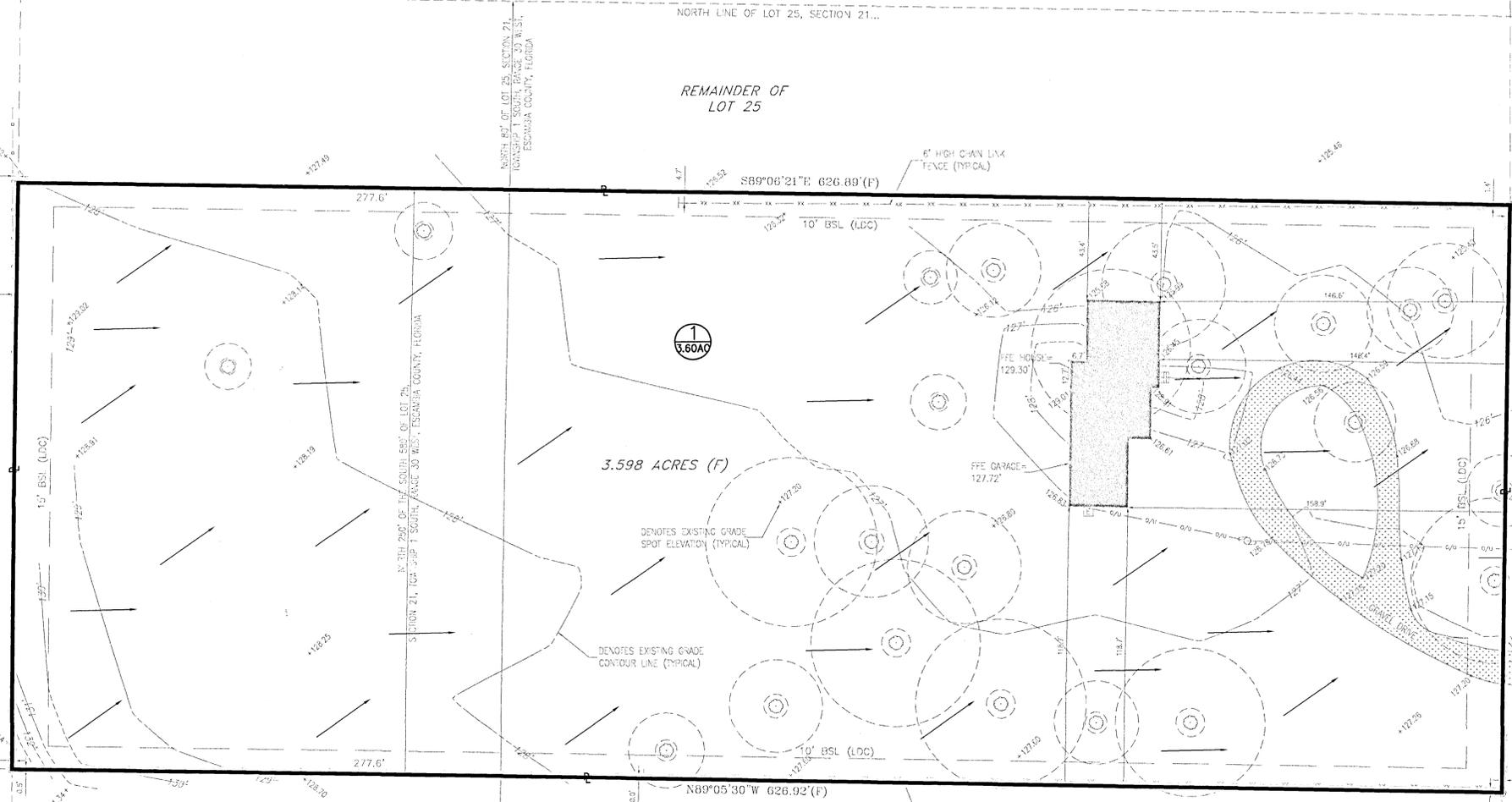
NORTHEAST CORNER OF LOT 25, SECTION 21, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, LAND EAST OF THE LOUISVILLE AND NASHVILLE RAILROAD

BENCHMARK 727-35-3:
 TOP OF CAPPED METAL ROD LS #72
 ELEVATION=125.12

BENCHMARK 727-35-1:
 TOP OF NAIL AND DISC LS
 ELEVATION=125.72

KELSON ROAD (66' RIGHT-OF-WAY)

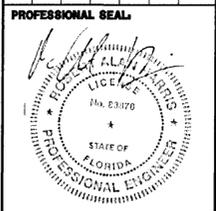
BRIESE LANE (RIGHT-OF-WAY WIDTH VARIES)



EXISTING DRAINAGE PLAN
 SCALE: 1"=30'-0"

LOT 25
 NATIONAL LAND SALES COMPANY
 SUBDIVISION OF SECTION 21,
 TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA
 COUNTY, FLORIDA (DEED BOOK 2, PAGE 90)

REMAINDER OF LOT 25



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PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
EXISTING DRAINAGE PLAN

DRAWN RJR	CHECKED RAH
PLOT DATE 02/12/2021	PROJECT NO. 19-006

SHEET
CO.1

LOT 13

LOT 26

LOT 27

PRE-CONSTRUCTION SITE CONDITIONS (100-YR):

TIME OF CONCENTRATION	40.40 MIN.		
$I = A+BX+CX^2+DX^3$			
A	B	C	D
13.12	-1.043	-0.528	-0.528

RUNOFF COEFF. (GRASS)	0.35
RUNOFF COEFF. (ROOF)	0.95
RUNOFF COEFF. (GRAVEL)	0.60
RUNOFF COEFF. (PAVING)	0.99

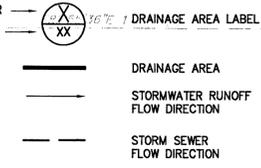
DA. NO.	GRASS (SF)	ROOF (SF)	GRAVEL (SF)	PAVING (SF)	TOTAL (SF)	C	I (IN/HR)	A (ACRE)	Q (CFS)
1	27832	0	0	0	27832	0.35	5.640	0.6389	1.270
2	10539	7200	0	7645	25384	0.71	5.640	0.5827	2.350
3	55375	0	6665	0	62040	0.38	5.640	1.4242	3.080
4	36395	2614	2551	0	41560	0.40	5.640	0.9541	2.170
TOTAL	130141	9814	9216	7645	156816	0.43	5.640	3.598	8.870

TOTAL (SF)	PERVIOUS AREA (SF)	NON-PERVIOUS AREA (SF)	PERCENT OF PERVIOUS
1	27832	0	100.00%
2	25384	14845	41.52%
3	62040	0	100.00%
4	41560	38946	93.71%
TOTAL	156816	17459	88.87%

NOTES 27-35-4:

- 1.1 POARCH SANDY LOAM (24)
- 1.2 BONIFAY LOAMY SAND (38)

VERA LANE (60' RIGHT-OF-WAY) LEGEND

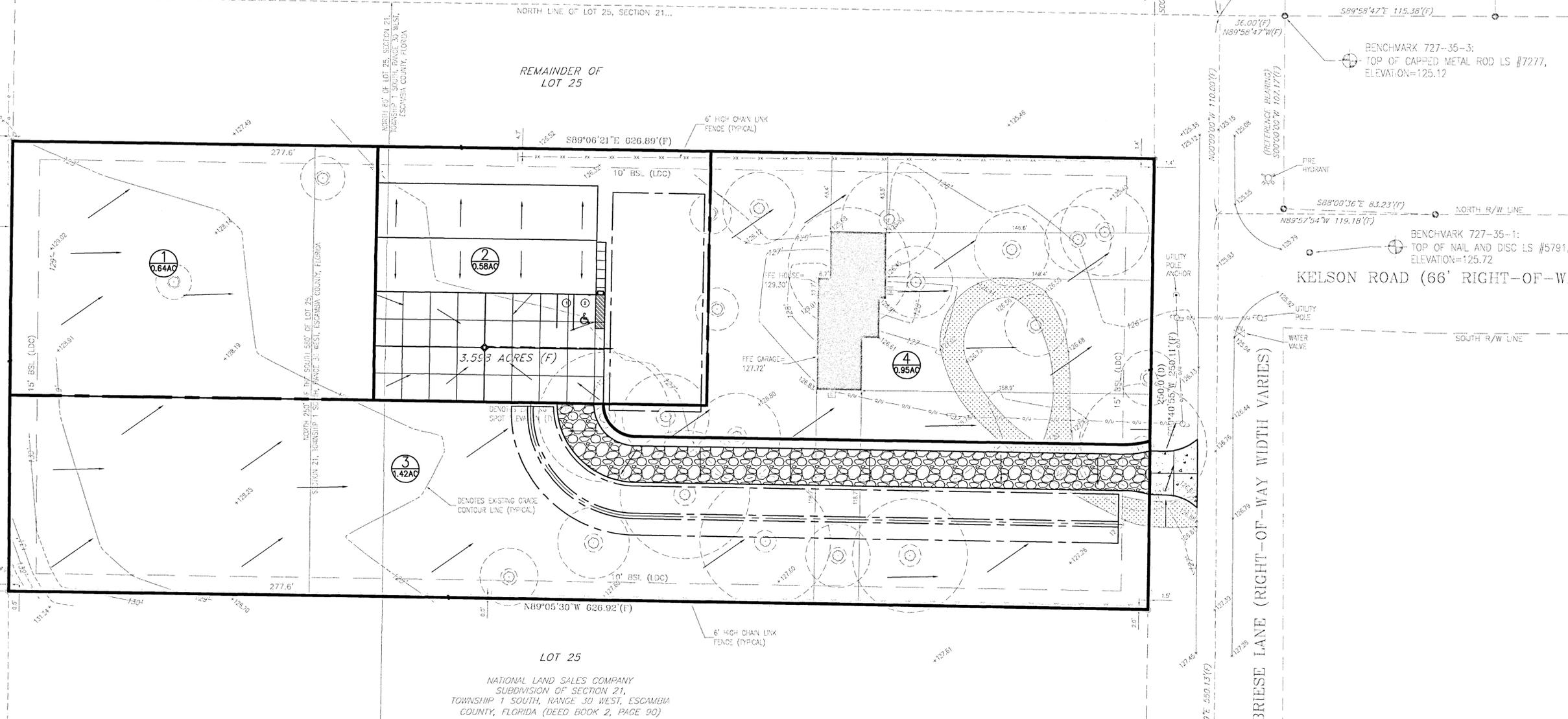


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PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
PROPOSED DRAINAGE PLAN

DRAWN RJR CHECKED RAH
 PLOT DATE 02/12/2021 PROJECT NO. 19-006

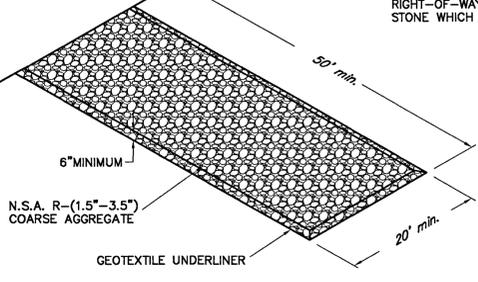
SHEET
CO.2



PROPOSED DRAINAGE PLAN
 SCALE: 1"=30'-0"

NATIONAL LAND SALES COMPANY
 SUBDIVISION OF SECTION 21,
 TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA
 COUNTY, FLORIDA (DEED BOOK 2, PAGE 90)

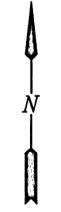
PUBLIC STREET



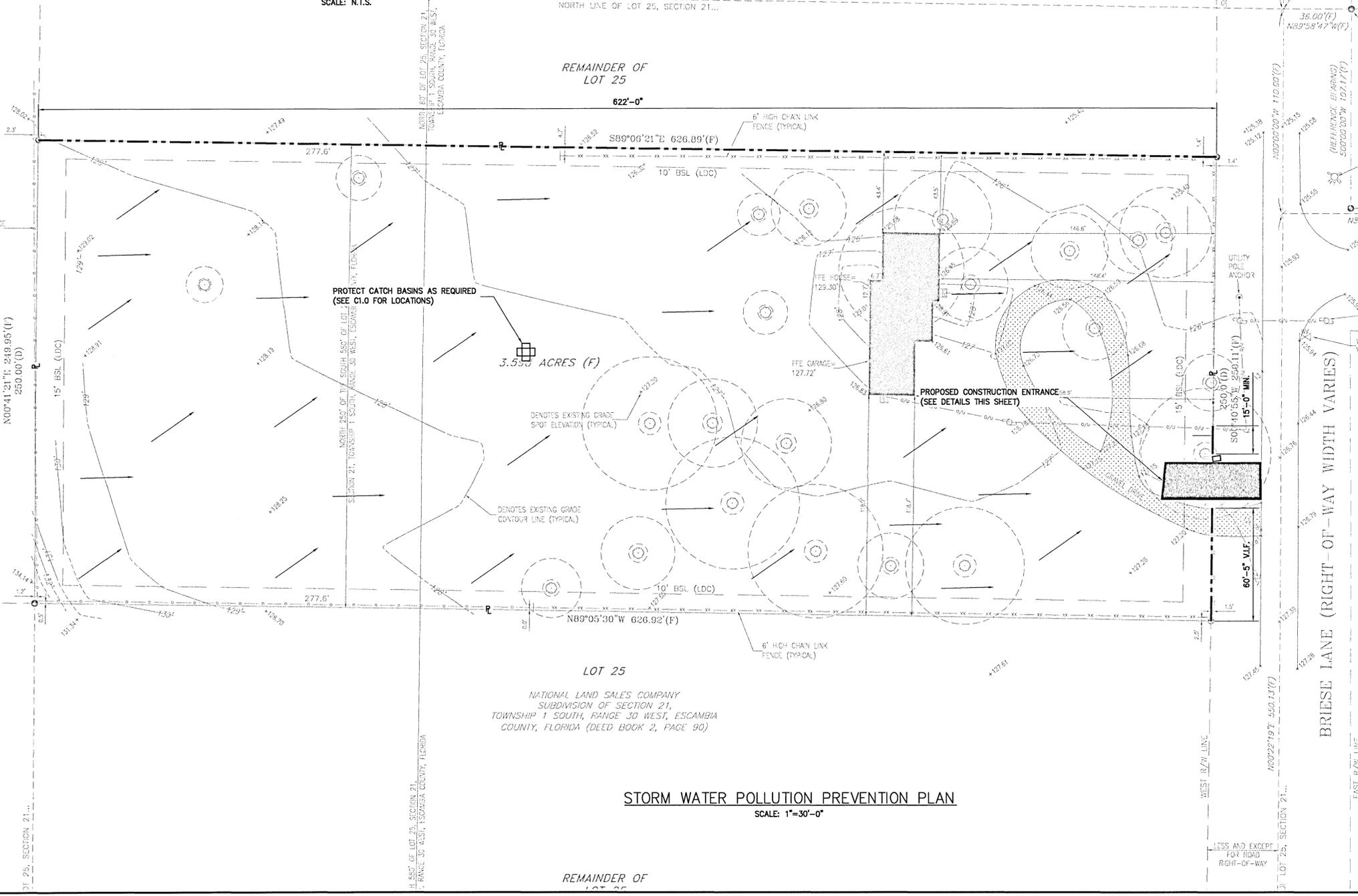
CONSTRUCTION DRIVEWAY DETAIL
SCALE: N.T.S.

- 1) THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 2) WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

- LEGEND**
- LOCATION OF SILT FENCING
 - HAY BALES
 - FLOW DIRECTION
 - V.I.F. VERIFY IN FIELD



- NOTES**
- GENERAL**
1. EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSTALLED BEFORE GRADING OPERATIONS AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF THE PROJECT.
 2. SILT FENCE SHALL BE INSTALLED CORRECTLY WITH THE BOTTOM OF THE FABRIC SECURELY BURIED. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SILT DEPOSITION HAS REACHED THE HALF WAY POINT OF THE FENCE HEIGHT.
 3. DROP INLETS, CATCH BASINS, OR PIPE INLETS SHALL BE PROTECTED AGAINST SILT TRANSPORT WITH SILT FENCES OR HAY BALES.
 4. EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED AFTER RAINFALL AND REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 5. THE CONTROL MEASURES SHOWN MAY NEED TO BE ADJUSTED TO FIT THE FIELD CONDITIONS. ADDITIONAL DEVICES MAY ALSO BE NECESSARY FOR ADEQUATE EROSION AND SEDIMENT CONTROL OR AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
 6. UPON COMPLETION OF SITWORK OPERATIONS, DISTRIBUTED AREAS SHALL BE STABILIZED AS SHOWN IN THE LANDSCAPE PLANS.
 7. THE CONTRACTOR SHALL INSTALL A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE. THE GEOMETRY OF THE ENTRANCE SHALL BE AS SHOWN ON THIS SHEET.
 8. DROP INLETS LOCATED IN PAVEMENT SHALL BE PROTECTED FROM SEDIMENT LOSS WITH GEOTEXTILE FABRIC UNTIL THE PAVEMENT IS CONSTRUCTED.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NPDES PERMIT AND THE STORM WATER POLLUTION PREVENTION PLAN.



- EROSION CONTROL REQUIREMENTS SHALL INCLUDE THE FOLLOWING:**
1. SOIL STABILIZATION SHALL BE COMPLETED AS SOON AS PRACTICAL BUT NOT LATER THAN FIVE (5) DAYS AFTER CLEARING OR INACTIVITY IN CONSTRUCTION. THE CITY ENGINEER, PUBLIC WORKS DIRECTOR, OR BUILDING OFFICIAL MAY SHORTEN THIS TIME FRAME BASED ON PROJECTED WEATHER CONDITIONS.
 2. IF SEEDING OR ANOTHER VEGETATIVE EROSION CONTROL METHOD IS USED, IT SHALL BECOME ESTABLISHED WITHIN TWO (2) WEEKS AND THE BUILDING OFFICIAL OR CITY ENGINEER MAY REQUIRE THE SITE HAVE ANOTHER METHOD IN PLACE UNTIL THE SOIL IS STABILIZED.
 3. SPECIAL TECHNIQUES THAT MEET THE DESIGN CRITERIA OUTLINE IN THE STORMWATER DESIGN MANUAL ON STEEP SLOPES OR IN DRAINAGE WAYS SHALL BE USED TO ENSURE STABILIZATION.
 4. SOIL STOCKPILES OR SIMILAR MATERIALS SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
 5. THE ENTIRE SITE SHALL BE STABILIZED TO CONTROL EROSION AT THE CLOSE OF CONSTRUCTION FOR ANY PROLONGED PERIODS IN EXCESS OF FORTY-EIGHT (48) HOURS.
 6. TECHNIQUES SHALL BE EMPLOYED TO PREVENT BLOWING OF DUST OR SEDIMENT FROM THE SITE.
 7. TECHNIQUES THAT DIVERT UPLAND RUNOFF PAST DISTURBED SLOPES SHALL BE EMPLOYED.
 8. THE USE OF TECHNIQUES TO PREVENT EROSION AND SEDIMENTATION FROM ENTERING PUBLIC ROADS OR OTHER AREAS INCLUDING DITCHES, STORM DRAINS, AND OTHER DRAINAGE FACILITIES.
- SEDIMENT CONTROL REQUIREMENTS INCLUDE ANY ONE OR A COMBINATION OF THE FOLLOWING:**
1. SETTLING BASINS, SEDIMENT TRAPS, OR TANKS AND PERIMETER CONTROLS.
 2. SETTLING BASINS THAT ARE DESIGNED IN A MANNER THAT ALLOWS ADAPTATION TO PROVIDE LONG-TERM STORM WATER MANAGEMENT, WHEN NECESSARY OR REQUIRED BY BUILDING CODE SERVICES DIVISION OR THE ENGINEERING DEPARTMENT.
 3. PROTECTION FOR ADJACENT PROPERTIES BY THE USE OF A VEGETATED BUFFER STRIP WHERE PRACTICAL AND THE USE OF PERIMETER CONTROLS.

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PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
STORM WATER POLLUTION PREVENTION

DRAWN RJR CHECKED RAH
PLOT DATE 02/12/2021 PROJECT NO. 19-006

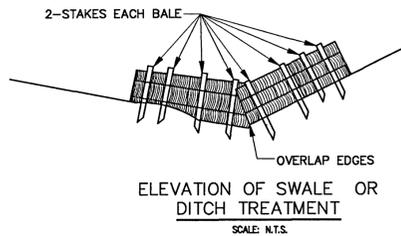
SHEET
CO.3

STORM WATER POLLUTION PREVENTION PLAN
SCALE: 1"=30'-0"

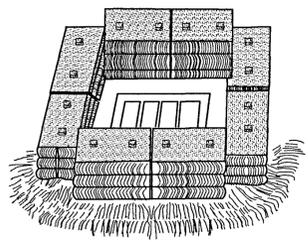
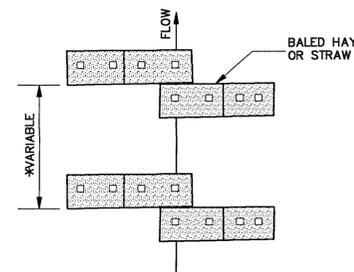
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DATE	BY
02/12/2021 <td>RAH </td>	RAH

FOR APPROVAL
A
MARK

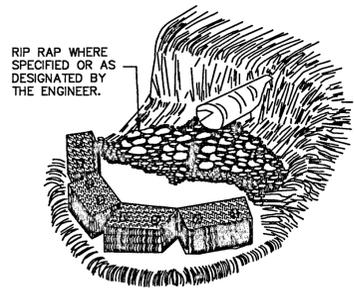


FALL OF DITCH (%)	DISTANCE* (ft)
0 - 1	100
1 - 2	50
> 2	25



EROSION CHECK NOTE:
1. EMBED ALL BALES 3" MINIMUM INTO GROUND AND STAKE (2" X 2" X 36") SECURELY.

HAY BALE PLACEMENTS
SCALE: N.T.S.



STANDARDS FOR HAY BALES

DEFINITION
A TEMPORARY BARRIER CONSTRUCTED WITH HAY BALES WITH A LIFE EXPECTANCY OF 3 MONTHS OR LESS. INSTALLED ACROSS OR AT THE TOE OF A SLOPE. HAY BALES TO BE USED IN CONJUNCTION WITH SILT FENCING AS REQUIRED OR AS DIRECTED BY GOVERNING AUTHORITY.

PURPOSE
A PURPOSE OF A HAY BALE DIKE IS TO INTERCEPT AND DETAIN SMALL AMOUNTS OF SEDIMENT FROM UNPROTECTED AREAS OF LIMITED EXTENT.

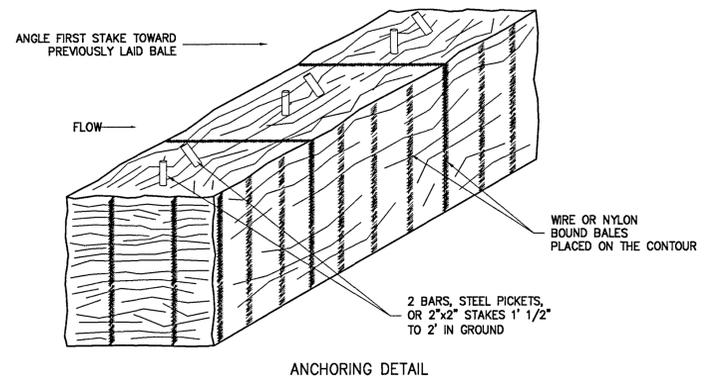
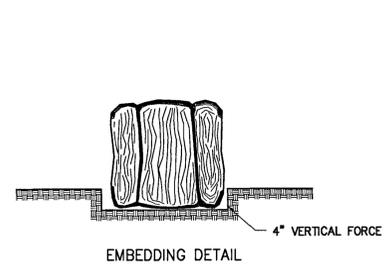
CONDITIONS WHERE PRACTICE APPLIES:
THE HAY BALE DIKE IS USED WHERE:

- NO OTHER PRACTICE IS FEASIBLE.
- THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR OTHER DRAINAGE WAY ABOVE THE BARRIER.
- EROSION WOULD OCCUR IN THE FORM OF SHEET AND RILL EROSION.
- CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE-HALF ACRE AND THE LENGTH OF SLOPE ABOVE THE DIKE IS LESS THAN 100 FEET. THE PRACTICE MAY ALSO BE USED FOR ALONE, SINGLE FAMILY LOT IF THE SLOPE IS LESS THAN 15 PERCENT. THE CONTRIBUTING DRAINAGE AREA IN THIS INSTANCE SHALL BE LESS THAN 1 ACRE AND THE LENGTH OF SLOPE ABOVE THE DIKE SHALL BE LESS THAN 200 FEET.

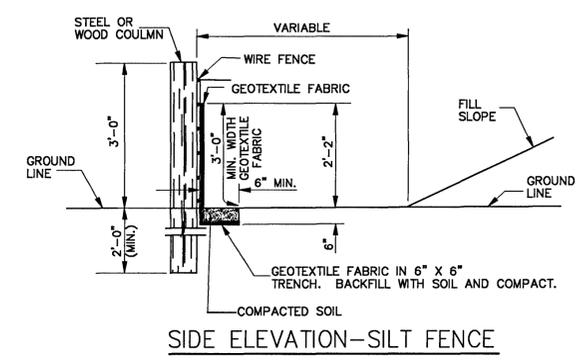
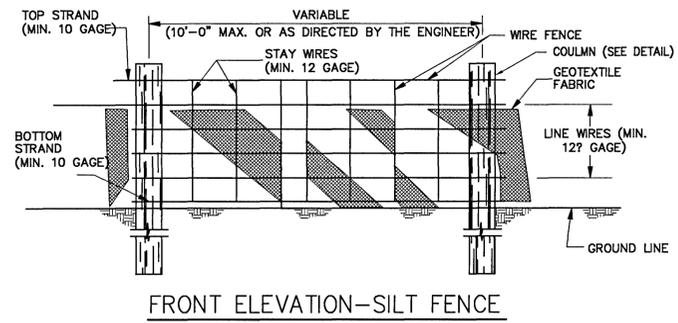
DESIGN CRITERIA
A DESIGN IS NOT REQUIRED. HAY BALES SHALL BE PLACED ON THE CONTOUR AND SHALL BE EITHER WIRE BOUND OR NYLON STRING TIED. SEE STANDARD DRAWING FOR HAY BALE DIKE FOR DETAILS.

GENERAL NOTES

- BALES SHALL BE PLACED IN A ROW WITH END TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL. A MINIMUM OF FOUR INCHES, WHERE POSSIBLE.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALE TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED BY CONTRACTOR.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES.

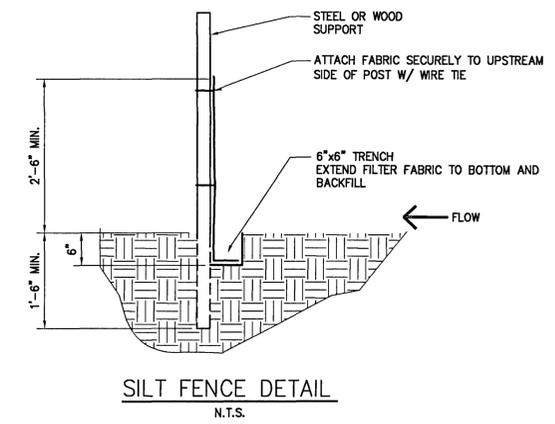
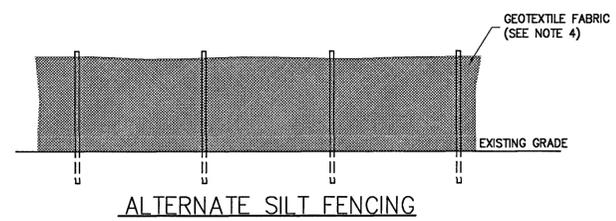


HAY BALE DIKE



SILT FENCE NOTES:

- WIRE SHALL BE MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
- GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.
- STEEL COLUMN SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WOOD POST SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND 3" OR MORE IN DIAMETER. WIRE FENCE SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
- GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.



STORM WATER POLLUTION PREVENTION PLAN EXHIBIT

1.0 GENERAL INFORMATION

A. PROJECT DESCRIPTION:
PROPOSED STRUCTURE
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

B. PROJECT OWNER:
XX XXXXX XXXX

C. CONSTRUCTION TYPE:
PAVING & DRAINAGE,
PARKING & DRIVES

D. SOIL DISTURBANCE ACTIVITIES:
SITE GRADING, DRAINAGE, TRENCHING, EXCAVATION, FILLING
AND OTHER RELATED ACTIVITIES.

E. SITE DESCRIPTION AND CHARACTERISTICS:
TOTAL SITE AREA: 3.79± ACRES
TOTAL DISTURBED AREA: 0.469± ACRES
RECEIVING WATERS: CARPENTER'S CREEK

F. GENERAL PERMIT:
STORM WATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES
- PERMIT NO. FLXXXXXX (SITES GREATER THAN X ACRES)

2.0 SEQUENCE OF MAJOR ACTIVITIES, CONTROL MEASURES, AND STABILIZATION DATES

MAJOR ACTIVITY	CONTROL MEASURES	TIMING/SEQUENCE	RESPONSIBLE CONTRACTOR	DATE BEGAN	DATE COMPLETED TEMPORARILY OR PERMANENTLY	DATE STABILIZED

3.0 GENERAL SWPPP NOTES

- CONTRACTOR TO OBTAIN GENERAL PERMIT AND COMPLY WITH REQUIREMENTS, REPORTING PROCEDURES, RECORDS DATABASE, NOTIFICATIONS & OTHER REQUIREMENTS AS REQUIRED BY THE PERMIT.
- CONTRACTOR TO POST NOTICE AT SITE IN ACCORDANCE WITH GENERAL PERMIT.
- CONTRACTOR TO MAINTAIN CONTROL MEASURES, IN EFFECTIVE OPERATING CONDITION, UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND PAVING COMPLETED.
- CONTRACTOR TO COMPLETE AND SUBMIT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO APPLICABLE REGULATING AUTHORITIES.
- CONTRACTOR TO COMPLETE AND SUBMIT NOTICE OF INTENT & NOTICE OF TERMINATION AS REQUIRED BY THE GENERAL PERMIT.
- STABILIZATION MEASURES OF DISTURBED AREAS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED SHALL BE INITIATED WITHIN 14 CALENDAR DAYS, UNLESS EARTH DISTURBING ACTIVITIES ARE TO RESUME WITHIN 21 CALENDAR DAYS.
- CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES, DEBRIS AND SEDIMENTATION WITHIN PROPERTY LINES AND SERVITUDE. ANY DEBRIS AND SEDIMENTATION ESCAPING THE CONSTRUCTION SITE SHALL BE IMMEDIATELY RECLAIMED BY THE CONTRACTOR. CONTRACTOR SHALL KEEP PUBLIC RIGHTS AS WAY OF STREETS CLEAN.
- SEDIMENT & EROSION CONTROL DEVICES INDICATED ON PLAN SHALL BE CONSIDERED A MINIMUM STANDARD. ADDITIONAL DEVICES AS REQUIRED BY GOVERNING AUTHORITIES SHALL BE PROVIDED, INSTALLED, INSPECTED AND MAINTAINED BY THE CONTRACTOR AT NO DIRECT COST TO OWNER OR ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT STORM DRAINAGE STRUCTURES AFFECTED BY CONSTRUCTION OF THIS PROJECT, INCLUDING MANHOLES, FLUMES, PIPES, PONDS, ETC., PRIOR TO COMPLETION OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENT, EROSION, OR POLLUTANTS, CAUSED BY THIS WORK.
- AT THE END OF EACH WORK DAY AND AFTER EVERY RAINSTORM, CONTRACTOR WILL BE REQUIRED TO SWEEP AND REMOVE DIRT, MUD, OR SILT THAT ACCUMULATES ON PUBLIC STREETS AS A RESULT OF CONSTRUCTION ACTIVITY FOR THIS PROJECT.
- ENDANGERED/THREATENED SPECIES REVIEW AND CULTURAL/ARCHAEOLOGY REVIEW LETTERS ARE ON FILE WITH THE OWNER.
- OPERATOR TO MARK-UP THIS TABLE AND PLAN WITH APPLICABLE DATES AND ACTIVITIES (I.E., DATE A SILT FENCE IS MOVED).

4.0 INSPECTING & REPORTING

- QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES AND LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE. INSPECTIONS SHALL BE PERFORMED AT LEAST ONCE EVERY 14 CALENDAR DAYS, BEFORE ANTICIPATED STORM EVENTS, AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.
- A REPORT SUMMARIZING THE SCOPE OF EACH INSPECTION AND ACTION REQUIRED AND/OR TAKEN MUST BE FILLED OUT AND SIGNED.
- INSPECTION REPORTS TO BE KEPT WITH THE SWPPP (ON-SITE).
- INSPECTIONS AND REPORTING TO BE PERFORMED IN ACCORDANCE WITH PERMIT.

5.0 SITE OPERATOR CERTIFICATION

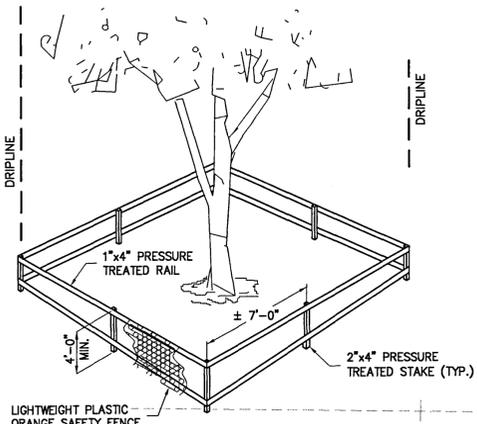
SITE OPERATOR HEREBY CERTIFIES THAT SWPPP ISSUES AND REQUIREMENTS AS SET FORTH IN GENERAL PERMIT HAVE BEEN SET.

SITE OPERATOR CERTIFICATION:

SIGNATURE _____ DATE _____



PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
SWPPP DETAILS AND NOTES



TREE BARRICADES SHOULD BE IN PLACE AROUND THE DRIPLINE OF THE PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT ORDER.

TREE BARRICADE
SCALE: N.T.S.

TREE ID #	COMMON NAME	SCIENTIFIC NAME	DBH (INCHES)
1	LIVE OAK	QUERCUS VIRGINIANA	46.5
2	LIVE OAK	QUERCUS VIRGINIANA	20.3
3	LIVE OAK	QUERCUS VIRGINIANA	32.3
4	LIVE OAK	QUERCUS VIRGINIANA	24.2
5	LIVE OAK	QUERCUS VIRGINIANA	27.2
6	LAUREL OAK	QUERCUS LAURIFOLIA	34.3
7	LIVE OAK	QUERCUS VIRGINIANA	26.4
8	RED CEDAR	JUNIPERUS VIRGINIANA	22.6
9	LIVE OAK	QUERCUS VIRGINIANA	41.7
10	LAUREL OAK	QUERCUS LAURIFOLIA	23.4
11	LIVE OAK	QUERCUS VIRGINIANA	47.6
12	LIVE OAK	QUERCUS VIRGINIANA	31.9
13	LIVE OAK	QUERCUS VIRGINIANA	44.1
14	SOUTHERN PECAN	CARYA ILLINDENSIS	26.4
15	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFOLIA	15.0
16	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFOLIA	15.6
17	LIVE OAK	QUERCUS VIRGINIANA	31.5
18	LIVE OAK	QUERCUS VIRGINIANA	47.0
19	LIVE OAK	QUERCUS VIRGINIANA	47.6
20	LAUREL OAK	QUERCUS LAURIFOLIA	26.0
21	LAUREL OAK	QUERCUS LAURIFOLIA	21.1
22	RED CEDAR	JUNIPERUS VIRGINIANA	13.0
23	LIVE OAK	QUERCUS VIRGINIANA	16.1

LEGEND

T-1 EXISTING TREE TO REMAIN W/ BARRICADE

NOTES

- TREE PROTECTION**
1. ROOT PRUNING SHALL BE PERFORMED ON ROOTS OF IMPACTED TREES REMAINING ON SITE. ROOTS MUST BE PRUNED OR CUT CLEANLY WITH APPROPRIATE EQUIPMENT (NOT TORN AS WITH USING A BACK HOE).
 2. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
 3. CONSTRUCTION TRAILERS, TRAFFIC AND STORAGE AREAS MUST REMAIN OUT OF TREES ROOT PROTECTION ZONE AT ALL TIMES. NO GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON SITE.
 4. TO PROTECT TREES STABILIZING ROOTS, TRENCHING SHOULD BE NO CLOSER THAN 6 FEET FROM TRUNK OF THE TREE REMAINING ON SITE.
 5. ALL TREE REMOVAL, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED.
 6. TREE SPECIES ARE DESIGNATED BY THE NUMBER NEXT TO THE SYMBOL ON THE PLAN:
 - 6.1. LIVE OAK (14)
 - 6.2. LAUREL OAK (4)
 - 6.3. RED CEDAR (2)
 - 6.4. SOUTHERN PECAN (1)
 - 6.5. SOUTHERN MAGNOLIA (2)

PROFESSIONAL SEAL

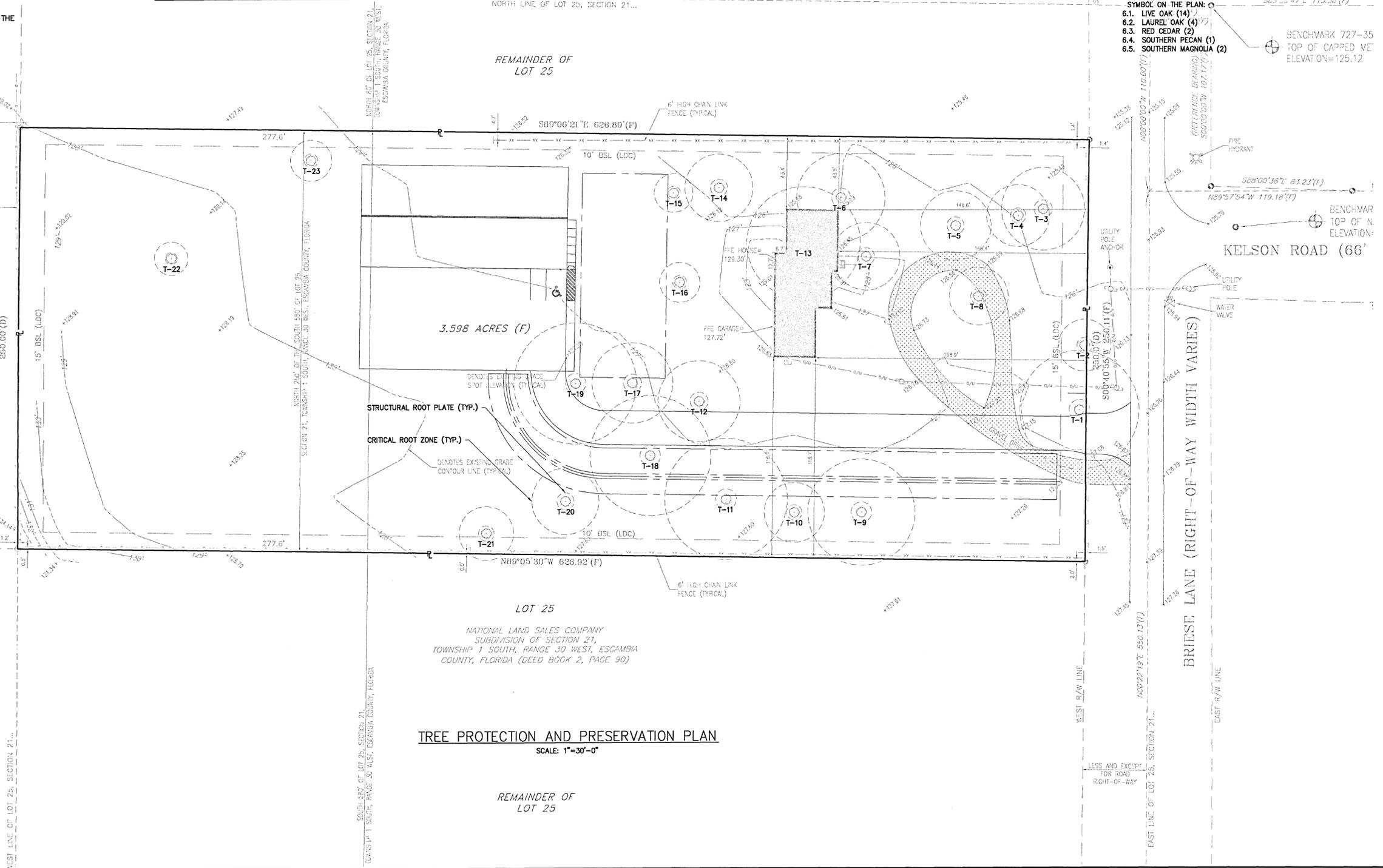


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PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
TREE PROTECTION & PRESERVATION PLAN

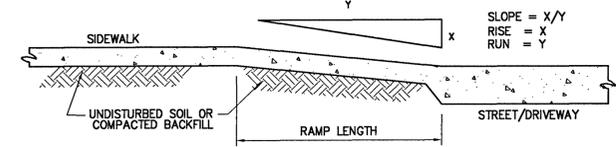
DRAWN: RJR
CHECKED: RAH
PLOT DATE: 02/12/2021
PROJECT NO.: 19-006

SHEET
C0.5



TREE PROTECTION AND PRESERVATION PLAN
SCALE: 1"=30'-0"

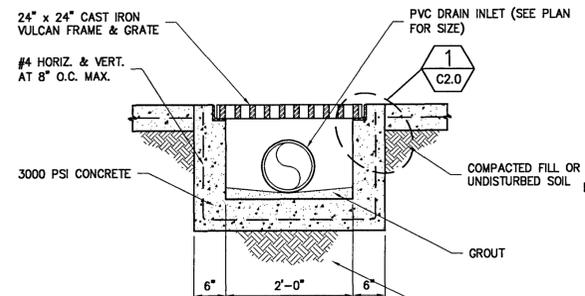
HAVE A CURB RAMP WITH A MAXIMUM SLOPE OF 1:20, MAXIMUM RISE OF 30" AND A MINIMUM LEVEL RAMP WIDTH OF 48".



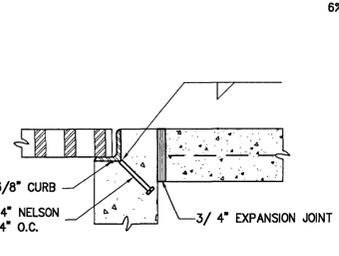
HANDICAPPED REQUIREMENTS
SCALE: NTS

NOTE:

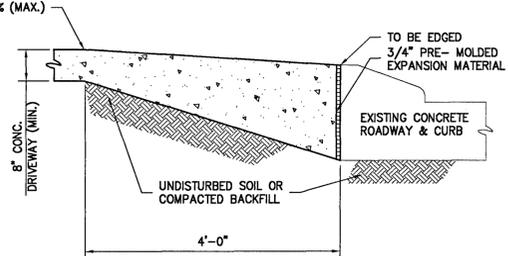
PARKING SPACES FOR PHYSICALLY HANDICAPPED PEOPLE SHALL BE AT LEAST 11' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 5' WIDE MINIMUM (SEE FIG. A). PARKING ACCESS AISLE SHALL BE PART OF THE ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE CIRCULATION ROUTE. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR PHYSICALLY HANDICAPPED PEOPLE BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.



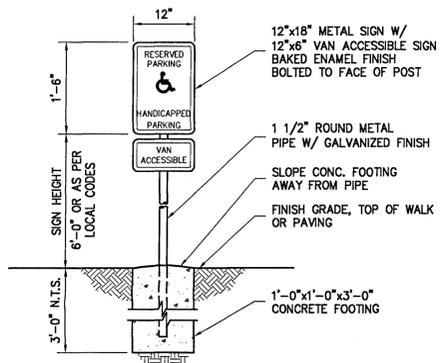
CATCH-BASIN SECTION
SCALE: 3/4"=1'-0"



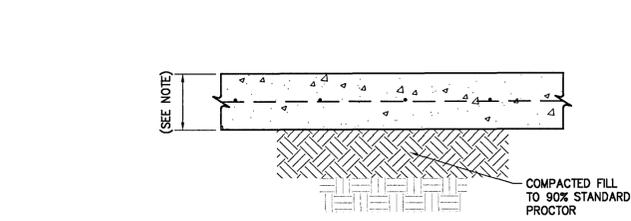
CURB ANGLE DETAIL
SCALE: 3/4"=1'-0"



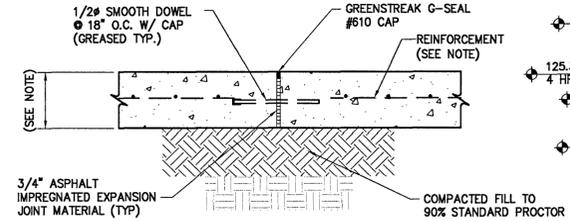
NEW DRIVEWAY CONNECTION TO EXISTING CONCRETE ROADWAY WITH ROLLOVER CURB (CURB TO REMAIN)
SCALE: 3/4"=1'-0"



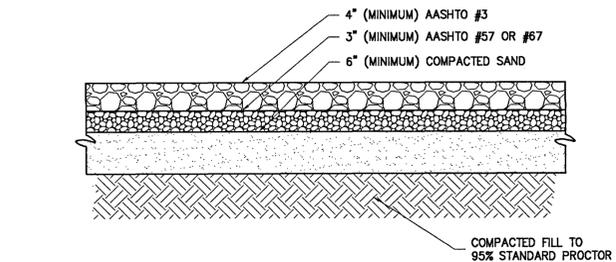
HANDICAP SIGN SPECIFICATIONS
SCALE: N.T.S.



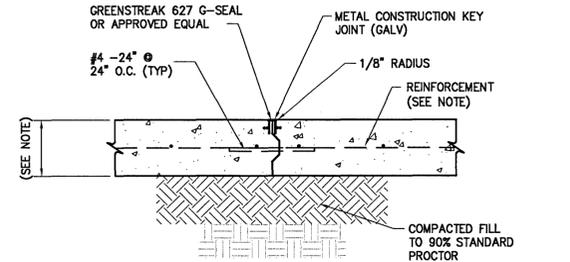
TYPICAL CONCRETE PAVING DETAIL
SCALE: 1"=1'-0"



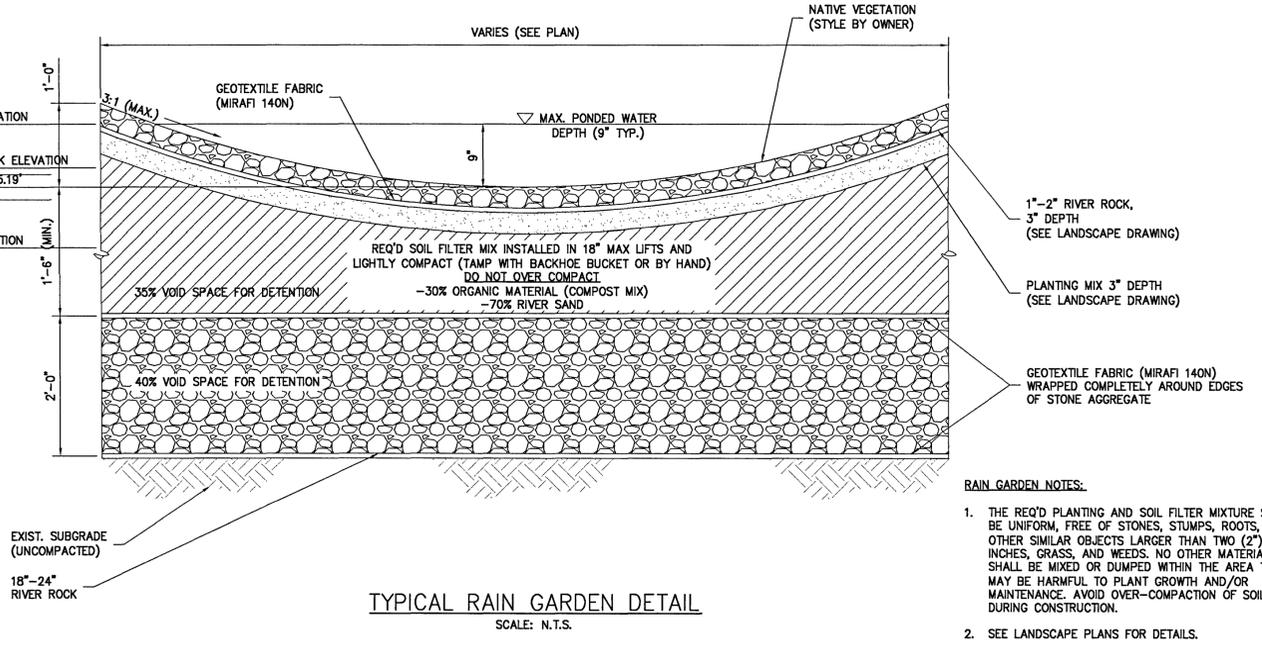
TYPICAL EXPANSION JOINT DETAIL (E.J.)
SCALE: 1"=1'-0"



PERVIOUS GRAVEL DETAIL
SCALE: 1"=1'-0"



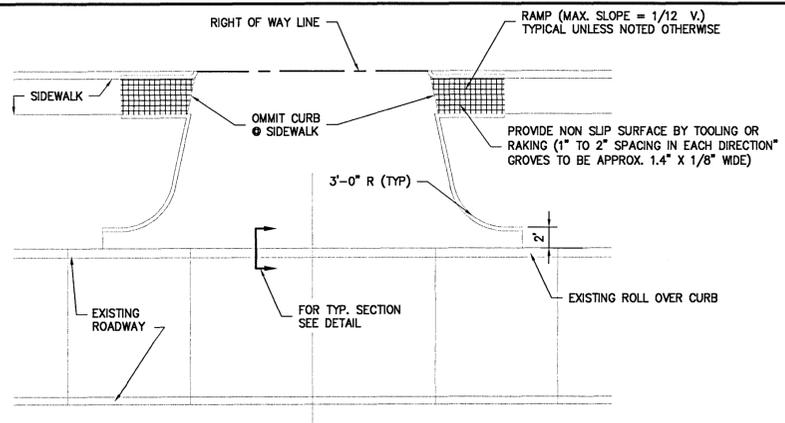
TYPICAL CONSTRUCTION JOINT DETAIL (C.J.)
SCALE: 1"=1'-0"



TYPICAL RAIN GARDEN DETAIL
SCALE: N.T.S.

RAIN GARDEN NOTES:

1. THE REQ'D PLANTING AND SOIL FILTER MIXTURE SHALL BE UNIFORM, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO (2") INCHES, GRASS, AND WEEDS. NO OTHER MATERIALS SHALL BE MIXED OR DUMPED WITHIN THE AREA THAT MAY BE HARMFUL TO PLANT GROWTH AND/OR MAINTENANCE. AVOID OVER-COMPACTION OF SOILS DURING CONSTRUCTION.
2. SEE LANDSCAPE PLANS FOR DETAILS.



PLAN OF NEW CURBED DRIVEWAY CONNECTING TO ROADWAY WITH OR WITHOUT CURBS
SCALE: NTS

NOTES

DRIVEWAYS

1. DRIVEWAYS BETWEEN STREET AND PROPERTY LINE SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, WITH A COMPRESSIVE STRENGTH OF 3,500 P.S.I. IN TWENTY-EIGHT (28) DAYS AND A MINIMUM THICKNESS OF SIX INCHES.
2. DRIVEWAYS BETWEEN STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING ROADWAY TO BE CONSTRUCTED IN ACCORDANCE WITH ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS.
3. EXACT LOCATIONS OF ROADWAY AND DRIVEWAY CURBING WILL BE DETERMINED IN THE FIELD BY A REPRESENTATIVE OF THE DEPARTMENT OF ENGINEERING.
4. CONTRACTOR WILL CONTACT THE DEPARTMENT OF ENGINEERING TWO (2) DAYS PRIOR TO THE FORMING OF THE DRIVEWAY CONNECTING TO THE ROADWAY.
5. INSTALL JOINTS AT CURBS TO MATCH PAVING JOINTS.
6. STORMWATER TIE-INS SHALL BE DONE IN ACCORDANCE WITH ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS FOR MATERIALS, PROCEDURES, ETC.
7. INSTALL REINFORCING CURBS PER ESCAMBIA COUNTY REQUIREMENTS.

DRAINAGE

1. CONCRETE SHALL BE 3000 PSI AT 28 DAYS (MINIMUM) FOR WORK IN ESCAMBIA COUNTY RIGHTS OF WAY.
2. 12" THICK LIMESTONE BEDDING FOUNDATION SHALL BE REQUIRED UNDER MANHOLES AND BASINS WITHIN ESCAMBIA COUNTY RIGHTS OF WAY.
3. WHEN DEPTH OF BOX OR MANHOLE IS FOUR FEET OR GREATER THE INSTALLATION OF STEPS WILL BE REQUIRED IN ACCORDANCE WITH ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS. VERIFY PRIOR TO COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL PERFORM DRAINAGE WORK IN ACCORDANCE WITH ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS AND CODES.

GENERAL

1. CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS, DIMENSIONS & GRADE ELEVATIONS.
2. FINISH GRADES SUBJECT TO CHANGE IN FIELD.
3. WORK WITHIN STREET RIGHTS OF WAY TO FOLLOW ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS.
4. CONTRACTOR HAS THE OPTION TO FORM OR SAW-CUT CONTROL JOINTS IN PAVING. SEE CIVIL PLAN FOR GRADING AND DRAINAGE DETAILS.
5. WORK TO RELOCATE EXISTING UTILITIES, FIRE HYDRANTS, ETC. SHALL CONFORM TO ESCAMBIA COUNTY DEPARTMENT OF PUBLIC WORKS BOARD STANDARD DETAILS.
6. CONTRACTOR/OWNER HAS THE OPTION OF 6" OR 5" THICKNESS OF PAVING. REINFORCEMENT SHALL NOT BE REQUIRED FOR 6" PAVING OPTION. REINFORCEMENT FOR THE 5" PAVING SHALL BE 6x12 O/1 WWF TYPICAL.
7. EXPANSION JOINT SHALL BE 3/4" BITUMINOUS WITH SNAP CAP AND MASTER FILL 300.
8. ALL JOINTS MUST BE RESTRAINED AND ALL DUCTILE IRON PIPES AND FITTINGS SHALL BE ENCLOSED IN A MINIMUM 8 MIL THICK POLYETHYLENE.

DATE	BY	DESCRIPTION	MARK
02/12/2021	RAH		A



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PROPOSED STRUCTURE
NEW CONSTRUCTION
8291 BRIESE LANE
CIVIL DETAILS AND NOTES

DRAWN RJR	CHECKED RAH
PLOT DATE 02/12/2021	PROJECT NO. 19-006

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