



CONSTRUCTION PLANS FOR WHITETAIL RUN

A 38 LOT SUBDIVISION IN A PORTION OF SECTION 1 TOWNSHIP 1 SOUTH RANGE 32 WEST
ESCAMBIA COUNTY, FLORIDA

ZONED: LDR

FUTURE LAND USE: MU-S

DEVELOPER:
BRELAND HOMES COASTAL, LLC
9949-A BELLATON AVE.
DAPHNE, AL 36526

SITE DATA

Property Owners: Peggy McDonald, Erwin White, Sharon Harrel, Selton White,
Joan White, Nathan & Daniel White
33371 Juniper Rd
Seminole, AL 36574

Developer: Breland Homes Coastal, LLC
9949-A Bellaton Ave.
Daphne, AL 36526

Surveyor: Mullins, LLC
801 W. Romana St. Ste. A
Pensacola, FL 32502
(251) 263-3513 - kevin@mullinsllc.net
Kevin Gardner, PLS - FL License # 7258

Engineer: Mullins, LLC
801 W. Romana St. Ste. A
Pensacola, FL 32502
(251) 975-0653 - eric@mullinsllc.net
Eric Lane, P.E. - FL License # 86920

Gross Project Area: 9.77 Acres
Wetland Area: 0 Acres
Gross Density: 3.89 Units / Acre (Residential)
Current Zoning: LDR
Type of Subdivision: Single-Family
Number of Lots: 38 Lots
Contour Interval: One-Foot
Datum: Florida North NAD1983 & NGVD88
Street Length: 984 L.F.
Type of Streets: Private
R/W Width: 50'
Pavement Width: 26' B.O.C. To B.O.C.
Street Maintenance: Private
Stormwater Maintenance: Private
Min. Lot Area: 52,00' x 136.0' (7,100 SF)
Min. Lot Width at Building Line: 52.00 feet
Min. Depth of Front Yard: 25 feet
Min. Depth of Rear Yard: 25 feet
Min. Width of Each Side Yard: On each side, 5 feet or 10% of the lot width at the street right-of-way, whichever is greater, but not required to exceed 15 feet
Max. Building Height (feet): 45 feet

LEGAL DESCRIPTION

ALL THAT PART OF THE NORTH 330 FEET OF THE EAST 1,329 FEET OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 32 WEST, SUBJECT TO A 33 FOOT ROAD EASEMENT ON THE EAST AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" REBAR FOUND AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 SECTION 1, TOWNSHIP 1 SOUTH, RANGE 32 WEST, ESCAMBIA COUNTY, FLORIDA, THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1 N 86°19'58" W A DISTANCE OF 33.72' TO A 1/2" REBAR FOUND ON THE WESTERLY MARGIN OF THE RIGHT OF WAY FOR BRIDLEWOOD ROAD, SAID POINT FURTHER DESCRIBED AS THE POINT OF BEGINNING;

THENCE FROM THE POINT OF BEGINNING AND ALONG SAID WESTERLY MARGIN S 02°55'52" W A DISTANCE OF 326.17' TO A CAPPED 1/2" REBAR SET (MULLINS LB 8349);

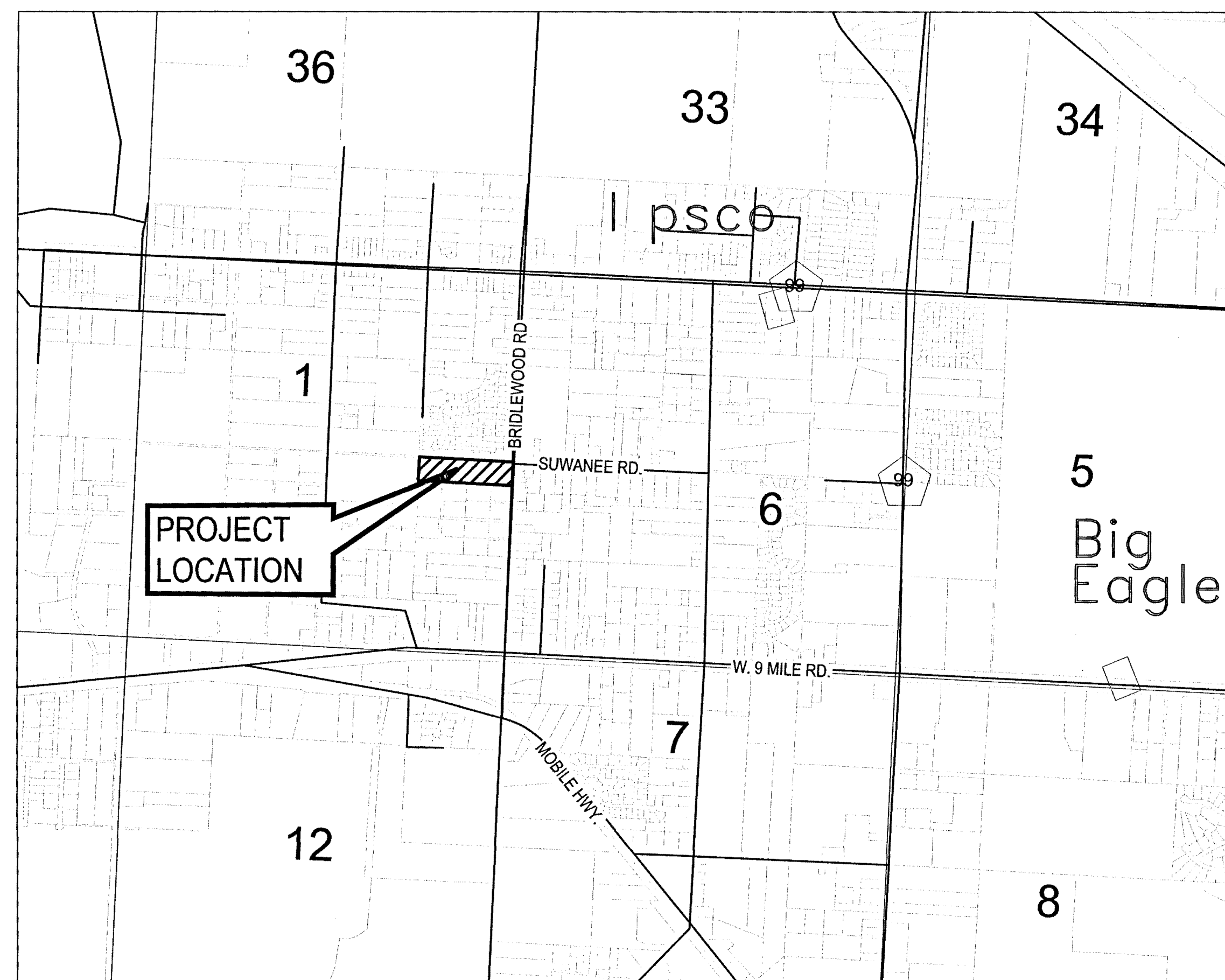
THENCE LEAVING SAID WESTERLY MARGIN N 86°55'58" W A DISTANCE OF 1,300.38' TO A 1/2" REBAR FOUND;

THENCE N 02°50'03" E A DISTANCE OF 328.70' TO A 5/8" REBAR FOUND ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1;

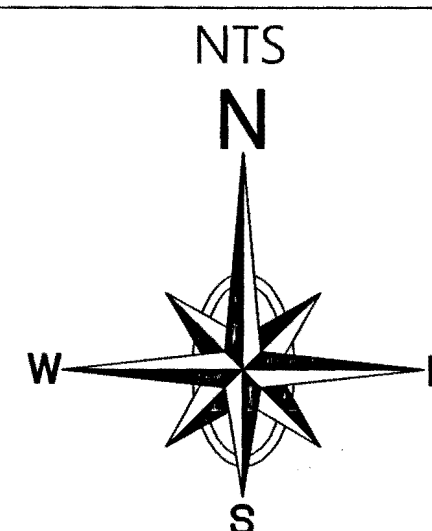
THENCE RUNNING ALONG SAID SOUTH 1/4 LINE S 86°27'54" E A DISTANCE OF 32.92' TO A CONCRETE MONUMENT FOUND (PRM LB 7212) AT THE SOUTHWEST CORNER OF LOT 8, BLOCK D, BUSBEE PLANTATION AS RECORDED IN PLAT BOOK 18 PAGE 1, ESCAMBIA COUNTY, FLORIDA;

THENCE ALONG THE SOUTHERLY LINE OF SAID BUSBEE PLANTATION S 86°48'54" E A DISTANCE OF 1,121.27' TO A CONCRETE MONUMENT FOUND (PRM LB 7212) AT THE SOUTHEAST CORNER OF LOT 20;

THENCE LEAVING SAID SOUTHERLY LINE OF BUSBEE PLANTATION S 86°57'01" E A DISTANCE OF 146.75' TO THE POINT OF BEGINNING, CONTAINING 9.77 ACRES, MORE OR LESS.



LOCATION MAP



****ISSUED FOR CONSTRUCTION****

April 2021

DRAINAGE FEE

Imperv. Surf. 30,492 Sq ft

Stormwater Ret. .10 % (F)

Total Drainage Fee \$152.46

Pond Maint. Fee: Private

Approved *Eric Lane* 5-12-21
Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

ECUA Engineering Manual Reference Note*

ECUA Engineering Manual Reference Note
These shall be included in the upper right corner of this sheet.
*applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua-fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☒ YES ☐ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type	Location
Specification	Detail	Plans
D-20 15" Low Pressure Sewer Service	☐	☒
D-22 Low Pressure Flushing Connections	☐	☒
	☐	☐
	☐	☐

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

MINIMUM GRINDER OPERATING POINT WILL BE 12 GPM @ 50 PSI

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SHOP DRAWINGS
TO BE SUBMITTED TO:
MULLINS, LLC
ATTN: ERIC LANE, P.E.
801 W. ROMANA ST. STE. A
PENSACOLA, FL 32502

PLANS PREPARED BY:

MULLINS, LLC
CIVIL ENGINEERING, DEVELOPMENT DESIGN
SURVEYING

801 W. Romana Street, Suite A, Pensacola, FL 32502

(850) 462-8412

Mullins Project No. 20-124P

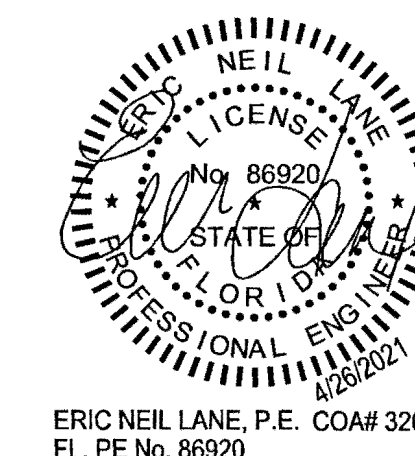
NOTE: THE SCALE OF THESE PLANS MAY
HAVE CHANGED DUE TO REPRODUCTION.

CONSTRUCTION PLAN
SET APRIL 2021

ENGINEERING STATEMENT

ALL PROPOSED ROADWAYS, DRAINAGE, AND
OTHER IMPROVEMENTS ARE DESIGNED TO
COMPLY WITH ALL APPLICABLE FEDERAL, STATE,
AND LOCAL DEVELOPMENT REQUIREMENTS.

ENGINEER OF RECORD: ERIC NEIL LANE P.E.
P.E. NO. 86920



GENERAL NOTES:

1. THE CONTRACTORS SHALL NOTIFY THE COUNTY DESIGN ENGINEER OR DESIGNEE, AND THE ECUA INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION.
2. ALL CONDITIONS AND STIPULATIONS OF THE CONSTRUCTION PERMITS AND THE APPROVALS ISSUED BY THE ESCAMBIA COUNTY ENGINEER AND ECUA SHALL BE COMPLIED WITHIN EVERY DETAIL.
3. ALL ROADS DAMAGED BY CONSTRUCTION OPERATIONS ARE TO BE PATCHED OR RECONSTRUCTED AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE.
4. THE CONTRACTOR SHALL TAKE STEPS NECESSARY TO PREVENT EROSION AND ANY OFF SITE SEDIMENT TRANSPORT RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION BY PROVIDING SILT FENCE AND/OR STAKED HAY BALES AS REQUIRED BY FDOT SPECIFICATION 104, THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL, LATEST EDITION, OR AS INDICATED ON THE PLANS. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ASSOCIATED DISTURBED AREAS ARE STABILIZED AS TO REDUCE SEDIMENT RUNOFF, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR DESIGNEE.
5. ANY NECESSARY PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ESCAMBIA COUNTY OR ITS DESIGNEE AND ECUA WILL ASSIST THE CONTRACTOR WITH REQUIRED PERMITS.
6. THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE PROJECT PRIOR TO BIDDING AND/OR CONSTRUCTION.
7. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PRESERVE OR RELOCATE ALL BENCHMARKS (VERTICAL CONTROL) AS NEEDED DURING CONSTRUCTION. ALL PUBLIC OR PRIVATE CORNER MONUMENTATION SHALL BE PROTECTED. IF A PUBLIC OR PRIVATE CORNER MONUMENTATION IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR DESIGNEE IMMEDIATELY. ANY ESCAMBIA COUNTY HARN/GPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF ANY HARN/GPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS ARE DISTURBED OR DESTROYED THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE MONUMENTS AND HAVE THE MONUMENTS POSITION DETERMINED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER USING GUIDELINES AS ESTABLISHED BY NATIONAL GEODETIC SURVEY FOR BLUE BOOKING AND APPROVAL.
8. EXISTING DRAINAGE FEATURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL MATCH EXISTING CONDITIONS AT THE BEGINNING AND END OF CONSTRUCTION AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE AND ECUA.
10. EXISTING STREETS AND DRIVES SHALL BE MAINTAINED TO LOCAL TRAFFIC AND PROPERTY OWNERS.
11. ALL ROADWAY CONSTRUCTION SHALL COMPLY WITH THE ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION.
12. ALL MATERIALS, TESTING AND CONSTRUCTION METHODS SHALL CONFORM TO THE ESCAMBIA COUNTY OR ECUA TECHNICAL SPECIFICATIONS, LATEST EDITION.
13. ANY REFERENCE TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, DIVISION 1 GENERAL REQUIREMENTS AND COVENANTS, SHALL BE EXCLUDED AND NOT APPLICABLE TO ANY SPECIFICATION REFERRED HEREIN OR OTHERWISE LISTED IN THESE PLANS OR RELATED DOCUMENTS OR THE ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS.
14. EXISTING STREET AND ROAD NAME SIGNS ON THE PROJECT SHALL BE KEPT VISIBLE AT ALL TIMES FOR THE FACILITATION OF ACCESS BY EMERGENCY VEHICLES. ALL OTHER EXISTING SIGNS THAT CONFLICT WITH CONSTRUCTION OPERATIONS SHALL BE TAKEN DOWN AND STOCKPILED WITHIN THE R/W LIMITS BY THE CONTRACTOR, AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE. ANY EXISTING SIGNS THAT ARE TO BE RELOCATED AND ARE DAMAGED BEYOND USE BY THE CONTRACTOR, SHALL BE REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
15. CONTRACTOR SHALL COMPLY WITH ALL F.D.E.P. AND ARMY CORP. OF ENGINEERS REQUIREMENTS.
16. IN THE EVENT THAT SURVEY MONUMENTATION OR REFERENCE POINTS ARE MISSING OR HAVE BEEN DESTROYED, PLEASE CONTACT:
ESCAMBIA COUNTY SURVEYOR
3363 WEST PARK PLACE
PENSACOLA, FLORIDA 32505
PH: (850) 595-3427
17. GRADED AGGREGATE BASE SHALL BE REQUIRED WHERE THE SEASONAL HIGH GROUND WATER ENCLOSES WITHIN TWO (2) FEET OF THE BOTTOM OF BASE.
18. TREES WITHIN LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED IN PLANS.
19. ALL COMPACTED FILL SHALL BE PLACED IN FOUR INCH (4") LIFTS FOR HAND POWERED TAMPERS AND EIGHT INCH (8") LIFTS FOR HEAVY EQUIPMENT OPERATED TAMPERS.
20. MAINTENANCE OF TRAFFIC AS PER FDOT INDEX 600.
21. THE CONTRACTOR SHALL, AT A MINIMUM, MATCH EXISTING SIGNING AND PAVEMENT MARKINGS. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST FDOT DESIGN STANDARDS. THE CONTRACTOR SHALL CONTACT THE COUNTY TRAFFIC DEPARTMENT PRIOR TO INSTALLATION OF ANY SIGNING AND PAVEMENT MARKINGS.
22. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
23. TEMPORARY BENCHMARKS HAVE BEEN ESTABLISHED ON THIS PROPERTY WHICH SHOULD BE USED BY THE CONTRACTOR DURING CONSTRUCTION. DESCRIPTIONS OF THE BENCHMARKS CAN BE FOUND IN THESE PLANS.
24. CLEARING AND GRUBBING SHALL BE LIMITED TO THE ROADWAY RIGHT-OF-WAY, DRAINAGE EASEMENTS AND DETENTION PONDS. NO ADDITIONAL CLEARING OTHER THAN SPECIFIED ON THE PLANS SHALL BE ALLOWED, UNLESS PROPER PERMITS ARE OBTAINED THROUGH THE COUNTY.
25. ALL UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES SHALL BE INSTALLED PRIOR TO CURB AND BASE CONSTRUCTION.
26. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTING WITH THE SOILS ENGINEER. PAYMENT FOR TESTING WILL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
27. THE CONTRACTOR SHALL ADJUST ALL VALVE BOX AND MANHOLE CASTINGS TO MATCH FINAL SURFACE ELEVATIONS.
28. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY AND ECUA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY AND ECUA ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION. AND PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY THE REGISTERED FLORIDA PROFESSIONAL ENGINEER.
29. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
30. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBIA COUNTY AND ECUA A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434/(850) 698-4613. AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
31. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
32. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
33. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DESIGN ENGINEER, ESCAMBIA COUNTY AND/OR ECUA. ANY DEVIATIONS MAY RESULT IN DELAYS IN ESCAMBIA COUNTY OR ECUA ACCEPTANCE OF IMPROVEMENTS.

DRAINAGE NOTES:

1. CONSTRUCT THE STORMWATER MANAGEMENT FACILITY INCLUDING INLET STRUCTURE, FILTER SYSTEM (TEMP OR FINAL), AND OUTFALL SYSTEM AND STABILIZE WITH SOD. DO NOT CLEAR ANY OTHER AREAS OF THE SITE UNTIL POND IS STABILIZED.
2. CLEAR THE REMAINING PORTION OF THE SITE, THAT IS APPROVED FOR DRAINAGE, AND CREATE DIVERSION CHANNELS TO DIRECT STORMWATER FLOW TO THE POND. WHERE NEEDED, CHECK DAMS CONSTRUCTED OF HAY BALES, SHALL BE USED TO TRAP SEDIMENT BEFORE IT REACHES THE POND.
3. ENDWALL DIMENSIONS, LOCATIONS AND POSITIONS ARE FOR ROUND AND ELLIPTICAL CONCRETE PIPE AND FOR ROUND AND PIPE -ARCH CORRUGATED METAL PIPE. ROUND CONCRETE PIPE SHOWN.
4. FRONT SLOPE AND DITCH TRANSITIONS SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 280.
5. ENDWALLS MAY BE CAST IN PLACE OR PRECAST CONCRETE. REINFORCING STEEL SHALL BE GRADES 40 OR 60. ADDITIONAL REINFORCEMENT NECESSARY FOR HANDLING PRECAST UNITS SHALL BE DETERMINED BY THE CONTRACTOR OR THE SUPPLIER. COST OF REINFORCEMENT SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR CONCRETE. (ENDWALLS).
6. ALL EXPOSED CORNERS AND EDGES OF CONCRETE ARE TO BE CHAMFERED 3/4".
7. CONSTRUCTION OF THE ROADWAY AND DRAINAGE SYSTEMS SHALL CONFORM TO THE MOST RECENT FDOT ROAD AND BRIDGE MANUAL AND SUPPLEMENTS.
8. CONCRETE MEETING THE REQUIREMENTS OF ASTM C-478 (4000 PSI) MAY BE USED IN LIEU OF CLASS 1 CONCRETE IN PRECAST ITEMS MANUFACTURED IN PLANTS WHICH ARE UNDER THE STANDARD OPERATING PROCEDURES FOR THE INSPECTION OF PRECAST DRAINAGE PRODUCTS.
9. ON OUTFALL DITCHES WITH SIDE SLOPES FLATTER THAN 1 1/2' : 1, PROVIDE 20' TRANSITIONS FROM THE ENDWALL TO THE FLATTER SIDE SLOPES, RIGHT OF WAY PERMITTING.
10. FOR SODDING AROUND ENDWALLS SEE INDEX NO. 281.
11. PIPE LENGTH PLAN QUANTITIES SHALL BE BASED ON THE PIPE END LOCATIONS SHOWN IN THE STANDARD LOCATION CONTROL END VIEW, OR LENGTHS BASED ON SPECIAL ENDWALL LOCATIONS CALLED FOR IN THE PLANS.

CONSTRUCTION SEQUENCE:

1. THE FOLLOWING SEQUENCE OF CONSTRUCTION SHALL BE FOLLOWED:
 - A) CONSTRUCT TREE PROTECTION BARRICADES AND SEDIMENTATION/EROSION CONTROLS AND CLEARLY FLAG THE LIMITS OF CONSTRUCTION. DO NOT BEGIN CONSTRUCTION UNTIL EROSION CONTROL DEVICES HAVE BEEN INSPECTED AND APPROVED BY THE LOCAL PERMITTING AUTHORITY.
 - B) CONSTRUCT ALL STORMWATER MANAGEMENT FACILITIES. DO NOT CLEAR ANY OTHER AREAS OF THE SITE UNTIL THE POND/SWALE IS STABILIZED.
 - C) CLEAR THE REMAINING PORTION OF THE SITE, THAT IS APPROVED FOR DRAINAGE, AND CREATE DIVERSION BERMS OR CHANNELS TO DIRECT RUNOFF TO THE STORMWATER FACILITIES WHERE NEEDED, CHECK DAMS CONSISTING OF HAY BALES OR OTHER MATERIALS SHALL BE USED TO TRAP ANY SEDIMENTS BEFORE THEY REACH THE POND/SWALE.
 - D) CONSTRUCT UTILITIES AND OTHER IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED DRAWINGS.
 - E) SEED/SOD AND LANDSCAPE IN ACCORDANCE WITH THE APPROVED DRAWINGS.
 - F) OBTAIN A STORMWATER OPERATION AND MAINTENANCE PERMIT. RECORD DRAWINGS SHALL BE FILED WITH THE LOCAL PERMITTING AUTHORITY.

LAYOUT NOTES:

1. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE ALL NECESSARY STEPS TO PROVIDE FOR UTILITY PROTECTION.
3. REFERENCE BENCHMARKS EXISTS ON THIS PROPERTY AS SHOWN HEREON.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LAYOUT AND ALIGNMENT OF ALL BUILDINGS, DRIVEWAYS, PARKING AREAS, ROADS AND OTHER FACILITIES. CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON ANY APPARENT CONFLICTS, AND PRIOR TO CONSTRUCTING SAID IMPROVEMENTS.
5. CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY REGARDING ANY APPARENT CONFLICTS IN THE PROPOSED IMPROVEMENTS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.

EARTHWORK NOTE:

1. NO REPRESENTATION IS MADE REGARDING A BALANCED SITE. THE CONTRACTOR SHALL DETERMINE IF ANY ADDITIONAL FILL IS REQUIRED AND PROVIDE SAME AT NO ADDITIONAL COST TO THE OWNER. LIKEWISE, ANY EXCESS MATERIAL SHALL BE HAULED FROM THE SITE AND PROPERLY DISPOSED OF AT NO ADDITIONAL COST.

UTILITY NOTES:

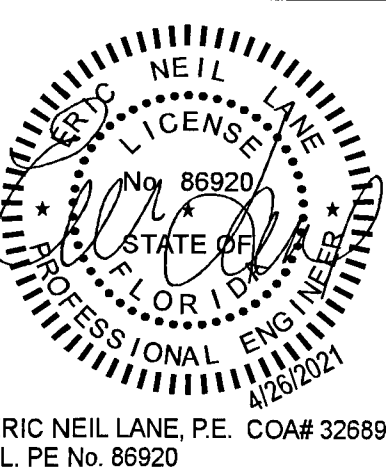
1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES.
 2. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION SO THAT THE UTILITY OWNER CAN SPOT VERIFY AND/OR EXPOSE THEIR UTILITIES.
- KNOWN UTILITIES OWNERS INCLUDE:
- | | |
|--|---|
| SANITARY SEWER AND WATER - ECUA
MR. PERRY WHITE
P.O. BOX 17089
PENSACOLA, FL 32522-7089
PH: (850) 698-4613 | ELECTRIC - GULF POWER
MR. ALLEN THOMPSON
5120 DOGWOOD DRIVE
MILTON, FL 32570
PH: (850) 549-1225 |
| NATURAL GAS - PENSACOLA ENERGY
MRS. DIANE MOORE
1625 ATWOOD DRIVE
PENSACOLA, FL 32514
PH: (850) 474-5319 | CABLE - COX CABLE
MR. TROY YOUNG
2421 EXECUTIVE PLAZA
PENSACOLA, FL 32504
PH: (850) 857-4564 |
| TELEPHONE - AT&T FLORIDA
MR. STEVE KENNINGTON
6689 MAGNOLIA STREET
MILTON, FL 32570
PH: (850) 812-4848 | SUNSHINE STATE ONE-CALL
7200 LAKE ELLENOR DRIVE, SUITE
ORLANDO, FL 32809
PH: (800) 432-4770 |
| TRAFFIC DEPARTMENT - ESCAMBIA COUNTY PUBLIC WORKS
MR. JOHNNY COX
3363 WEST PARK PLACE
PENSACOLA, FL 32505
PH: (850) 595-3404 | |
3. AT&T FLORIDA WILL COMPLETE ALL WORK DURING THE HOURS OF 7:30 AM - 4:30 PM, MONDAY THRU FRIDAY. NO NIGHT OR WEEKEND WORK.
 4. ALL CABLE DAMAGE MUST BE REPORTED TO THE AT&T FLORIDA REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.
 5. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
 6. UTILITIES ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. NECESSARY REPAIRS SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS AND SHALL BE TO THE SATISFACTION OF THE UTILITY OWNERS.
 7. WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALES MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
 8. ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, TO ACCOMPLISH THIS REQUIREMENT. COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.
 9. ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. THIS NOTE SHOULD ALSO INDICATE A MINIMUM 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF ROAD IS IN CUT.
 10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.
 11. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

EROSION NOTES:

1. EROSION PROTECTION: SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.
3. POND SLOPES SHALL BE SODDED.
4. GRADES AT CURBS ARE AT FLOWLINE.
5. EROSION CONTROL MATTING SHALL BE BONTERRA CF9 OR EQUAL APPROVED BY THE ENGINEER. INLET FILTER SYSTEMS SHALL BE SILT-SAVER, INC. OR EQUAL APPROVED BY THE ENGINEER.
6. CONTRACTOR SHALL RETAIN ALL SOIL EROSION SEDIMENTATION ON-SITE. (BUT NOT IN THE WETLANDS)
7. ALL DISTURBED AREAS NOT SPECIFICALLY SHOWN TO BE SODDED SHALL BE GRASSED AND MULCHED. THE GRASS SEED SHALL BE 20 PARTS BERMUODA AND 80 PARTS PENSACOLA BAHIA. APPLICATION SHALL BE 100 POUNDS PER ACRE. IF CONSTRUCTION OCCURS DURING THE MONTHS OF OCTOBER THROUGH JANUARY, SEEDING SHALL BE 50 PARTS WINTER RYE AND 50 PARTS PENSACOLA BAHIA AT 100 POUNDS PER ACRE. SEEDED AREAS SHALL BE FERTILIZED WITH 8-8-8 NPK DRY FERTILIZER AT THE RATE OF 800 POUNDS PER ACRE.
8. ALL AREAS TO BE GRASSED AND MULCHED SHALL HAVE A MINIMUM OF ONE INCH OF TOPSOIL DISTRIBUTED PRIOR TO SEEDING.
9. FUNCTIONAL EROSION AND SILTATION CONTROLS SHALL BE INSTALLED AS NEEDED THROUGHOUT THE CLEARED AREAS AND AS SHOWN ON THE CONSTRUCTION PLANS IMMEDIATELY SUBSEQUENT TO ESTABLISHED ROUGH GRADE.
10. ALL EROSION CONTROL STRUCTURES SHALL BE IN PLACE BEFORE DEMOLITION BEGINS.
11. CONSTRUCT FILTER FENCES, HAY BALES AND TREE BARRICADES.
12. STRIP THE TOP SOIL AND STOCK PILE FOR USE IN LANDSCAPED AREAS.
13. STABILIZE CONSTRUCTION DRIVEWAYS WITH GRAVEL AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE.
14. INSTALL UTILITIES AND DRAINAGE PIPES PROTECTING INLETS w/STAKED HAY BALES OR FILTER FENCE TO PREVENT EROSION FORM ENTERING THE DRAINAGE SYSTEMS. CONSTRUCT STORMWATER MANAGEMENT CONTROL STRUCTURES. (FILTRATION, RATE CONTROL, ETC.)
15. CONSTRUCT BUILDINGS, PARKING AND OTHER IMPROVEMENTS AS SHOWN ON THE PLANS; MAINTAIN SEDIMENTATION, EROSION AND TREE PROTECTION MEASURES.
16. FINAL GRADE THE SITE AND LANDSCAPE AS PER PLANS AND SPECIFICATIONS, STABILIZING ALL DISTURBED AREAS.
17. USE RAIL FENCE AROUND PROTECTED TREES.
18. NO HEAVY EQUIPMENT IN NATURAL AREAS, ALL PLANTING TO BE DONE BY HAND.
19. ALL DISTURBED AREAS SHALL BE SATISFACTORILY STABILIZED. UNLESS OTHERWISE SPECIFIED, SOD SHALL BE PROVIDED IN THE FOLLOWING AREAS:
 - A) ALL SLOPES 3:1 AND STEEPER.
 - B) ENTIRE AREA BETWEEN SIDEWALKS AND BACK OF ROAD CURB.
 - C) INTERIOR SLOPES OF PONDS AND SWALES, AND IN A THREE-FOOT WIDE STRIP ALONG THE TOP-OF BANK OF ALL PONDS AND SWALES.
 - D) IN A TWO-FOOT WIDE STRIP ALONG ALL BUILDINGS, STRUCTURES, ROADS WHERE NO SIDEWALKS RUN PARALLEL, AND OUTER EDGES OF ALL SIDEWALKS. OTHER AREAS MAY BE SEEDED AND MULCH, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL MAINTAIN GRASSED AREAS UNTIL PLANTS HAVE TAKEN ROOT AND THE AREA IS SATISFACTORILY STABILIZED.
 - E) CONSTRUCTION ENTRANCE TO BE CONSTRUCTED OF 6 INCHES (MIN) #57 STONE TO PREVENT TRACKING ONTO STREETS.
20. THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
21. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS
22. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH AND/OR HYDROSEED. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105.
23. DEVELOPER/CONTRACTOR/HOMEOWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR COMPLIANCE PERIOD.
24. ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
25. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/ANRWFD.
26. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
27. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

REVISIONS

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ERIC NEIL LANE, P.E. COA# 32689
FL, PE No. 86920

Construction Plans for

Whitetail Run

Escambia County, FL

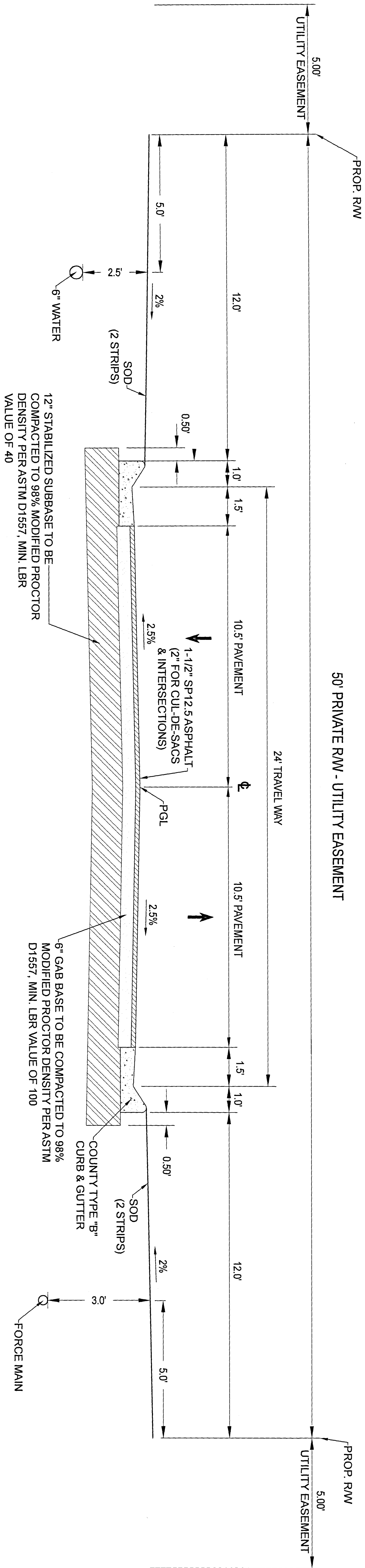
PREPARED FOR: Breland Homes Coastal, LLC

General Notes

Job No. 20-124P
Date: 4/26/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

2

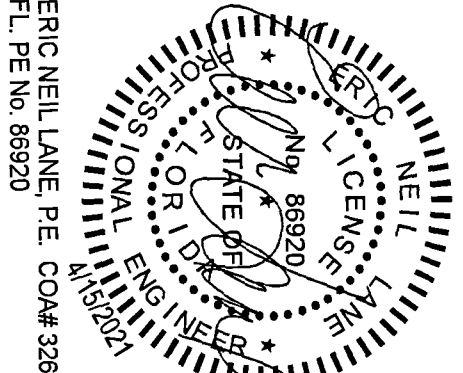


TYPICAL ROADWAY SECTION
NOT TO SCALE

REVISIONS	
Date: ---	
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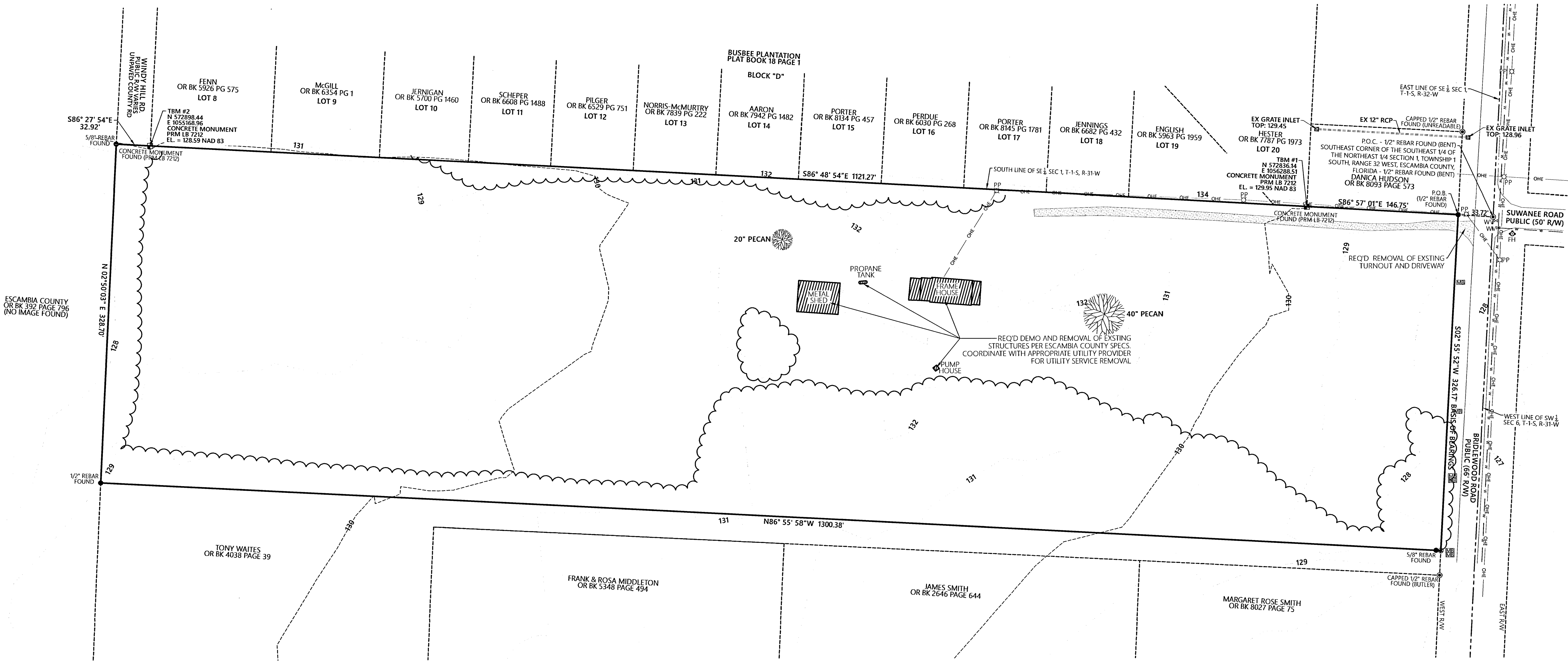


Construction Plans for
Whitetail Run
Escambia County, FL
PREPARED FOR: Breland Homes Coastal, LLC

Typical Roadway
Section

Job No. 20-124P
Date: 4/15/2021
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SHEET NUMBER



LEGAL DESCRIPTION

ALL THAT PART OF THE NORTH 330 FEET OF THE EAST 1,329 FEET OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 32 WEST, SUBJECT TO A 33 FOOT ROAD EASEMENT ON THE EAST AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" REBAR FOUND AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 SECTION 1, TOWNSHIP 1 SOUTH, RANGE 32 WEST, ESCAMBIA COUNTY, FLORIDA, THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1 N 86°19'58" W A DISTANCE OF 33.72' TO A 1/2" REBAR FOUND ON THE WESTERLY MARGIN OF THE RIGHT OF WAY FOR BRIDLEWOOD ROAD, SAID POINT FURTHER DESCRIBED AS THE POINT OF BEGINNING;

THENCE FROM THE POINT OF BEGINNING AND ALONG SAID WESTERLY MARGIN S 02°55'52" W A DISTANCE OF 326.17' TO A CAPPED 1/2" REBAR SET(MULLINS LB 8349);

THENCE LEAVING SAID WESTERLY MARGIN N 86°55'58" W A DISTANCE OF 1,300.38" TO A 1/2" REBAR FOUND;

THENCE N 02°50'03" E A DISTANCE OF 328.70' TO A 5/8" REBAR FOUND ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1;

THENCE RUNNING ALONG SAID SOUTH 1/4 LINE S 86°27'54" E A DISTANCE OF 32.92' TO A CONCRETE MONUMENT FOUND(PRM LB 7212) AT THE SOUTHWEST CORNER OF LOT 8, BLOCK D, BUSBEE PLANTATION AS RECORDED IN PLAT BOOK 18 PAGE 1, ESCAMBIA COUNTY, FLORIDA;

THENCE ALONG THE SOUTHERLY LINE OF SAID BUSBEE PLANTATION S 86°48'54" E A DISTANCE OF 1,121.27' TO A CONCRETE MONUMENT FOUND(PRM LB 7212) AT THE SOUTHEAST CORNER OF LOT 20;

THENCE LEAVING SAID SOUTHERLY LINE OF BUSBEE PLANTATION S 86°57'01" E A DISTANCE OF 146.75' TO THE POINT OF BEGINNING, CONTAINING 9.77 ACRES, MORE OR LESS.

NOTES:

- FOR RESIDENTIAL LOTS, TREE REMOVAL PRIOR TO CONSTRUCTION OF THE DWELLING, SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING.
- NO PROTECTED TREES THAT ARE NOT LOCATED WITHIN APPROVED LIMITS OF CONSTRUCTION (INFRASTRUCTURE AREAS, PONDS, ROADS) MAY BE REMOVED WITHOUT APPROVAL FROM ESCAMBIA COUNTY. RESIDENTIAL LOTS AND ANY OTHER AREA OUTSIDE OF THE APPROVED LIMITS OF CLEARING SHALL REMAIN VEGETATED AND/OR IN ITS CURRENT STATE.
- CONTRACTOR SHALL BE REQUIRED TO REMOVE ANY EXISTING DEBRIS/TRASH PILES FROM THE SITE AND PROPERLY DISPOSE.

SYMBOLS & ABBREVIATIONS

●	CAPPED REBAR SET
○	CAPPED REBAR TO BE SET
●	CAPPED REBAR FOUND
●	REBAR FOUND
●	CONCRETE PRM FOUND
PP	EXISTING UTILITY POLE
WV	EXISTING WATER VALVE
WV	EXISTING FIRE HYDRANT
WV	EXISTING WALKBOX
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
()	RECORD PER DEED/MAP
CRF	CAPPED REBAR FOUND
PRM	PERMANENT REFERENCE MONUMENT
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
RI	RADIUS POINT
INV	INVERT
R/W	RIGHT OF WAY
ESMNT	EASEMENT
SF	SQUARE FEET
AC	ACRES
— OHE —	OVERHEAD ELECTRICAL LINES
— X — X —	FENCE
— — —	BOUNDARY
— — —	ADJOINING BOUNDARY
— — —	SECTION LINE
— — —	EXISTING TREE LINE

Construction Plans for
Whitetail Run
Escambia County, FL

Existing Conditions
and Demo Plan

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
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SHEET NUMBER

4

REVISIONS

Date	...
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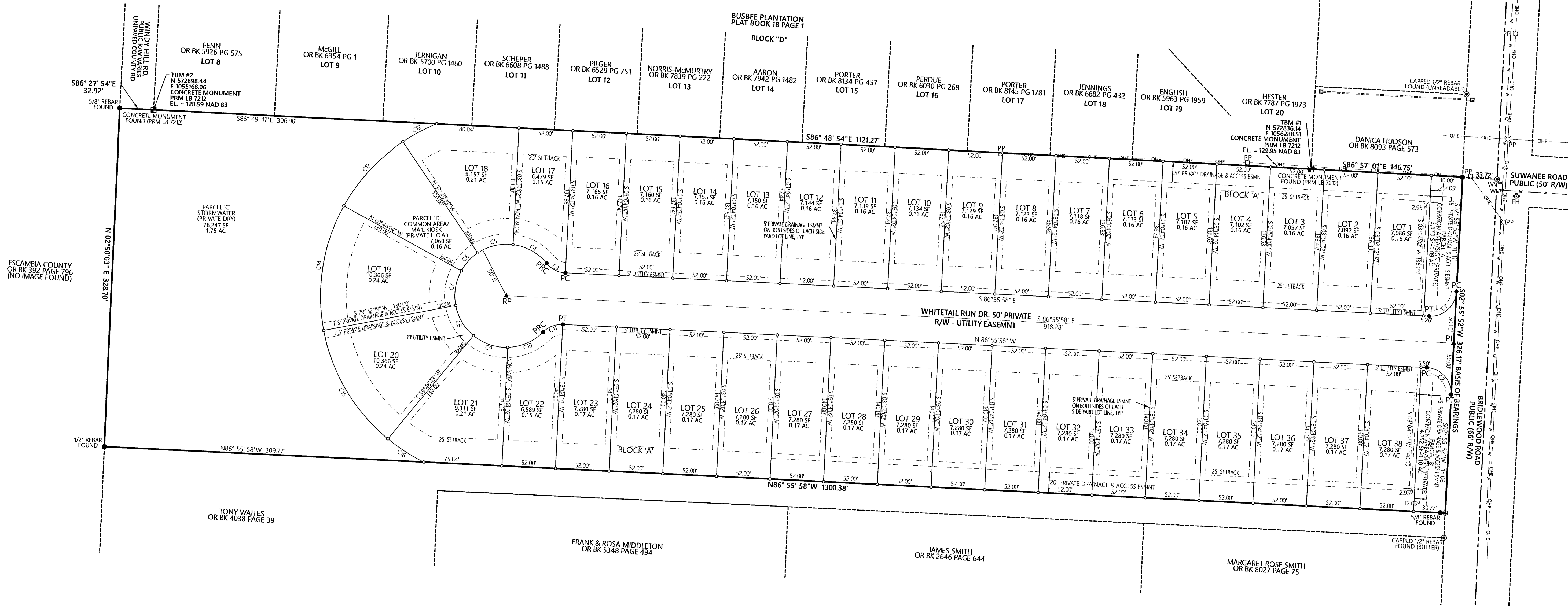
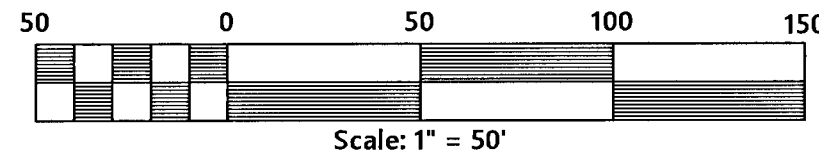
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SURVEYING

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ERIC NEIL LANE, P.E. COA# 32689
FL. PE No. 86920

NEIL LANE
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 86920
4/15/2021

PREPARED FOR: Breland Homes Coastal, LLC



NOTES:

1. PROPERTY CONTAINS 38 LOTS AND 4 PARCELS.
2. PROPERTY ZONED: LOW DENSITY RESIDENTIAL (LDR).
3. FUTURE LAND USE: MU-S
4. NO HERITAGE TREES EXIST ON-SITE.
5. NO WETLANDS EXIST ON-SITE.
6. SUBDIVISION SIGN WILL BE LOCATED IN PRIVATE PARCEL "A" AND/OR "B". A SEPARATE PERMIT SHALL BE REQUIRED PRIOR TO INSTALLATION.

SITE DATA

TAX PARCEL ID: 29-IN-31-2103-000-000
OVERALL SITE AREA: 9.77 ACRES (9.77 BUILDABLE)
SETBACK REQUIREMENTS:
FRONT SETBACK: TWENTY-FIVE FEET (25')
REAR SETBACK: TWENTY-FIVE FEET (25')
SIDES: FIVE FEET (5') OR TEN PERCENT (10%) OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS LESS, BUT AT LEAST FIVE FEET (5').

OWNERSHIP:

LOTS - INDIVIDUAL OWNERSHIP
STREET RIGHT-OF-WAYS - PUBLIC
PARCEL 'A' - COMMON AREA - SIGN/GREEN SPACE - PRIVATE H.O.A.
PARCEL 'B' - COMMON AREA - SIGN/GREEN SPACE - PRIVATE H.O.A.
PARCEL 'C' - COMMON AREA - STORMWATER FACILITY - PUBLIC
PARCEL 'D' - COMMON AREA - MAIL KIOSK - PRIVATE H.O.A.

Curve Table					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.33'	35.40'	N 47°59'57" E	90°08'10"
C2	25.00'	39.21'	35.31'	N 42°00'03" W	88°51'50"
C3	25.00'	21.03'	20.41'	S 62°50'17" E	48°11'23"
C4	50.00'	38.15'	37.23'	N 60°16'01" W	43°42'51"
C5	50.00'	35.97'	35.20'	S 78°55'57" W	41°13'13"
C6	50.00'	23.61'	23.39'	S 42°47'38" W	27°03'25"
C7	50.00'	34.67'	33.98'	S 09°24'08" W	39°43'36"
C8	50.00'	34.67'	33.98'	S 30°19'29" E	39°43'36"
C9	50.00'	35.97'	35.20'	S 70°47'54" E	41°13'13"
C10	50.00'	38.15'	37.23'	N 66°44'04" E	43°42'51"
C11	25.00'	21.03'	20.41'	S 68°58'20" W	48°11'23"
C12	180.00'	36.82'	36.75'	S 62°10'56" W	11°43'11"
C13	180.00'	85.00'	84.21'	S 42°47'38" W	27°03'25"
C14	180.00'	124.81'	123.32'	S 09°24'08" W	39°43'36"
C15	180.00'	124.81'	123.32'	S 30°19'29" E	39°43'36"
C16	180.00'	41.43'	41.34'	S 56°46'56" E	13°11'18"

UTILITY NOTE:

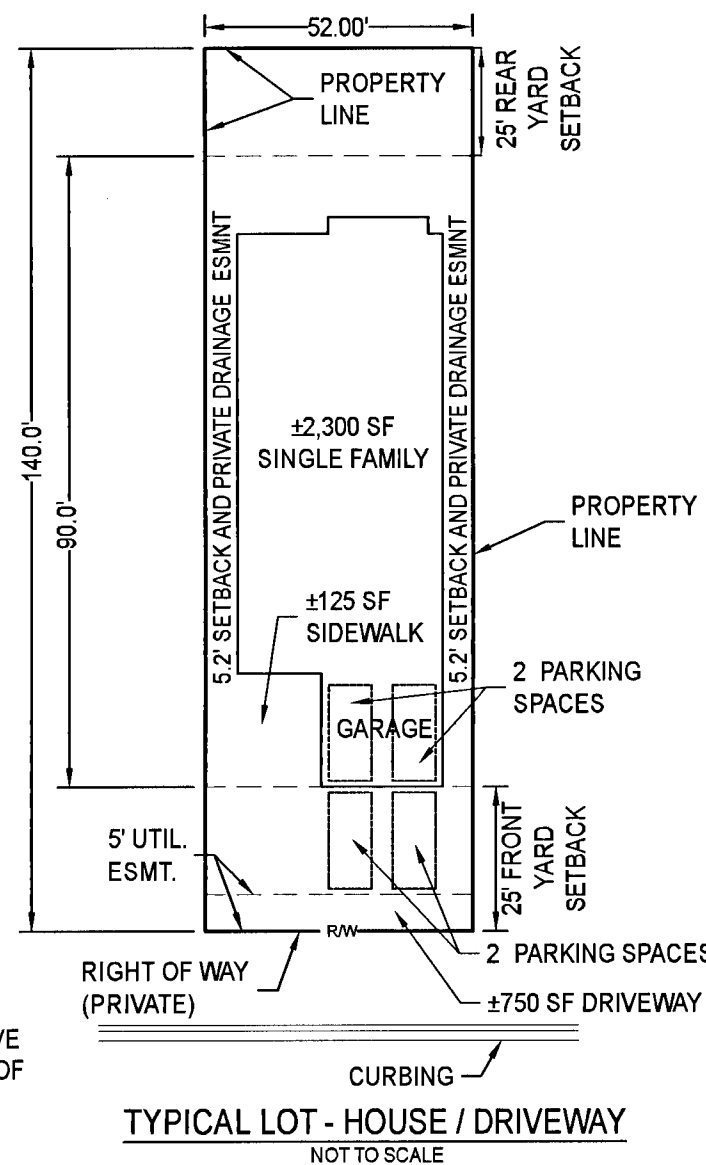
UTILITY SERVICES SHALL BE PLACED AS SHOWN ON PLANS AND NOT BE LOCATED UNDERNEATH THE PROPOSED DRIVEWAYS.

PRIVATE EASEMENT NOTE:

UNLESS OTHERWISE SHOWN, THERE IS A 5' PRIVATE DRAINAGE EASEMENT ON BOTH SIDES OF EACH SIDE LOT LINE.

HOMEBUILDERS NOTES:

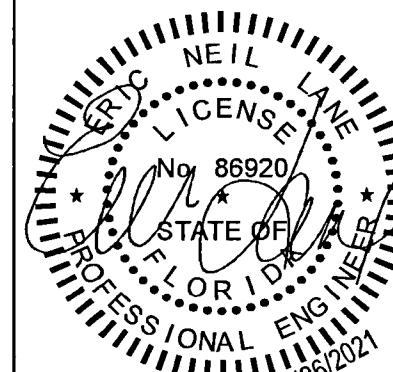
1. INSTALL SILT FENCE ALONG ALL DOWN GRADIENT LOT BOUNDARY LINES.
2. PROVIDE 12" WIDE, 4" THICK, FDOT #1 AGGREGATE CONSTRUCTION ACCESS DRIVE ON EACH LOT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION.



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ERIC NEIL LANE, P.E. CO#A 32689
FL PE No. 88920

Construction Plans for
Whitetail Run
Escambia County, FL

Layout Plan

Job No. 20-124P
Date: 4/26/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

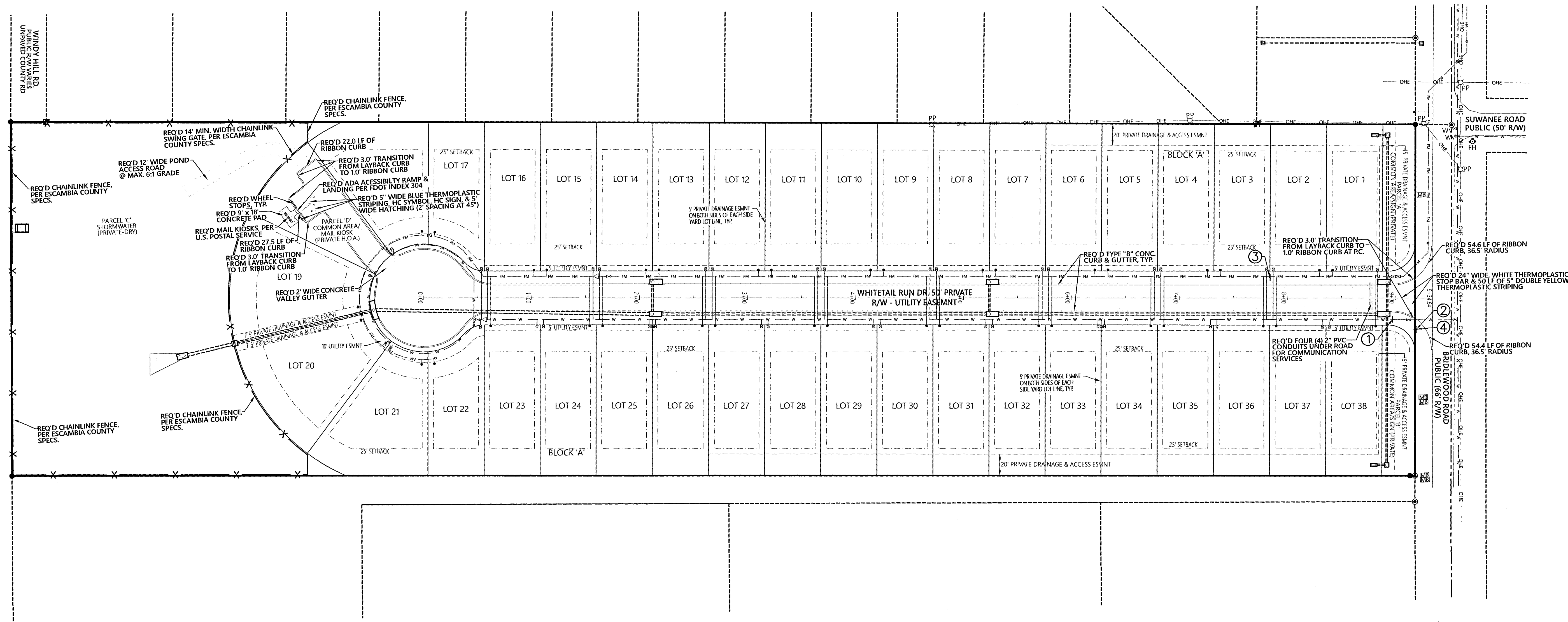
5

PREPARED FOR: Breland Homes Coastal, LLC

Diagram illustrating the placement of four license plates on a vehicle's front view:

- R1-1** (Plate 1)
- D3-1 (SEE DETAIL)** (Plate 2) - Includes a **FREE NAME** label.
- R2-1** (Plate 3) - Includes a **SPEED LIMIT 25** sign.
- W14-1P** (Plate 4) - Includes a **DEAD END** sign with a right-pointing arrow.

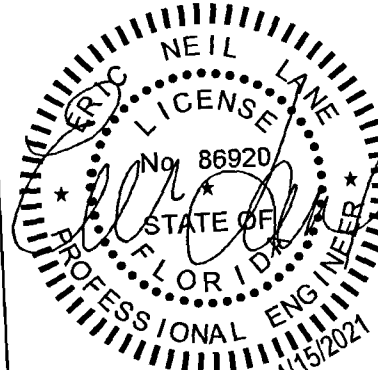
CONDUIT NOTE
1) CONTRACTOR IS REQUIRED TO MARK THE LOCATION OF
INSTALLED 2" PVC CONDUIT.



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ERIC NEIL LANE, P.E. COA# 3268
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Construction Plans for
Whitetail Run
Escambia County, FL

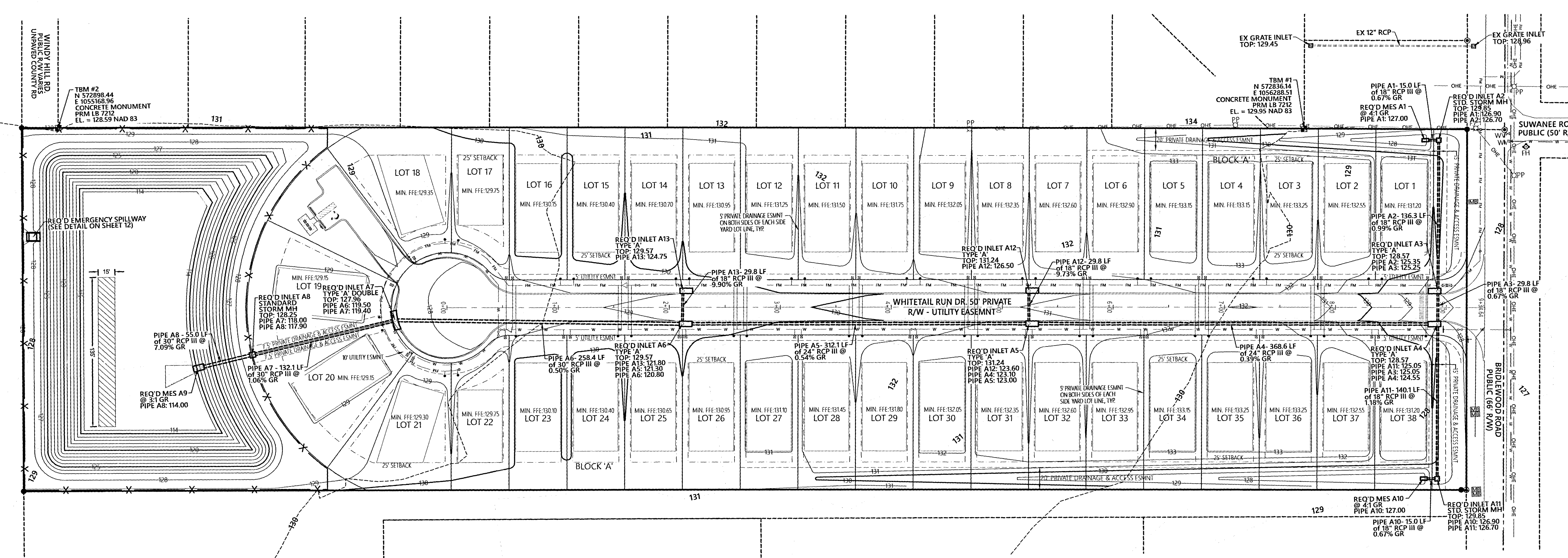
Company: Breland Homes Coastal, LLC

Site Plan

Job No. 20-124P
Date: 4/15/202
Drawn By: CAB
Checked By: ENL

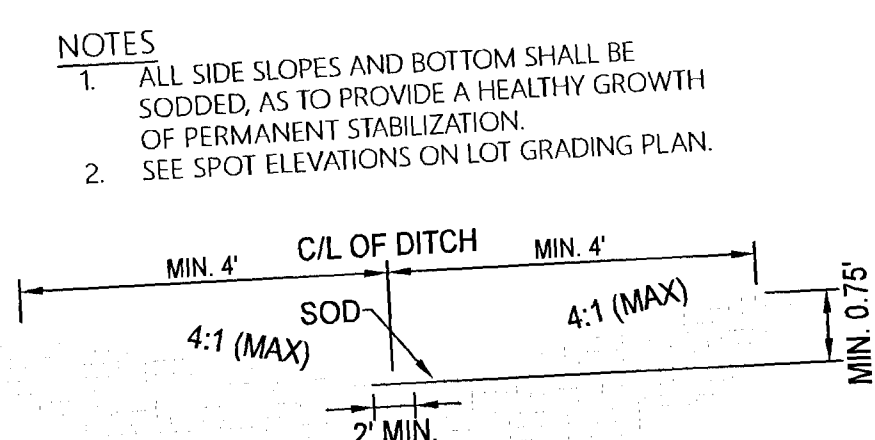
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6



EARTHWORK GENERAL NOTES

- 1) SITE TOPOGRAPHY MAPS AND OTHER TOPOGRAPHIC DATA SHOWN ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS ARE FOR THE INFORMATION OF THE CONTRACTOR. THE CONTRACTOR SHALL MAKE SUCH ADDITIONAL INVESTIGATIONS AS REQUIRED TO ACQUAINT HIMSELF ADEQUATELY WITH THE SITE TOPOGRAPHY, AND THE SUBSURFACE SOIL CONDITIONS FOR PREPARATION OF HIS BID, AND FOR THE SUCCESSFUL EXECUTION OF THE WORK.
- 2) ALL PROPOSED CONTOUR ELEVATIONS SHOWN ARE FINISH GRADE.
- 3) PROTECTION OF WORK: THE CONTRACTOR IS TO BE SOLELY RESPONSIBLE FOR THE PROTECTION OF HIS WORK. SUCH GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER MAY DIRECT THE CONTRACTOR TO PERFORM NECESSARY GRADING AND DRAINAGE TO PREVENT SURFACE RUN OFF FROM DAMAGING THE WORK OR ADJACENT PROPERTY.
- 4) CONTRACTOR SHALL BE REQUIRED TO INSTALL SILT FENCES, HAY BALES, ETC., TO PREVENT EROSION OF DISTURBED EARTH AND FILL AREAS. SILT FENCES SHALL BE REQUIRED, IF NECESSARY TO PREVENT LOOSE DIRT FROM WASHING ONTO STREETS AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL UNTIL FINAL INSPECTION BY THE COUNTY.
- 5) EARTH FILL SHALL BE PLACED IN UNIFORM LAYERS OR LIFTS NOT TO EXCEED 6 INCHES COMPACTED THICKNESS.
- 6) NO SLOPE SHALL BE GREATER THAN 3:1.
- 7) ALL LOTS SHALL BE GRADED SO THAT RUN-OFF WILL BE DIRECTED TO THE STREET OR TO DRAINAGE WAYS IN A DEDICATED EASEMENT. LOTS WILL BE GRADED UNDER SEPARATE BUILDING PERMITS.
- 8) RIGHT-OF-WAY SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
- 9) ALL STORM PIPES SHALL HAVE A MINIMUM OF 1 FOOT OF COVER.
- 10) IF PERCHED GROUNDWATER IS ENCOUNTERED THE CONTRACTOR SHALL INSTALL 30 LF OF TYPE 1 UNDERDRAIN ON BOTH SIDES OF EVERY TYPE 'A' INLET. SEE DETAIL ON SHEET 18.
- 11) LOTS 19 - 22 SHALL BE USED AS A TEMPORARY DISPOSAL SITE FOR EXCAVATED MATERIAL. THE TEMPORARY DISPOSAL AREA SHALL BE ENCOMPASSED WITH SILT FENCE. DOUBLE ROWS IF NECESSARY.



SPOT ELEVATION LEGEND

- FL - FLOW LINE
- HP - HIGH POINT
- FG - FINISHED GRADE
- LP - LOW POINT
- TC - TOP OF CURB
- ← FLOW ARROW

PRIVATE EASEMENT NOTE:
UNLESS OTHERWISE SHOWN, THERE IS A 5' PRIVATE DRAINAGE EASEMENT ON BOTH SIDES OF EACH SIDE LOT LINE.

STORM PIPE AND INLET QUANTITIES

DESCRIPTION	QUANTITY
18" RCP III	395.8 LF
24" RCP III	680.7 LF
30" RCP III	445.5 LF
TYPE 'A' SINGLE	6
TYPE 'A' DOUBLE	1
STANDARD STORM MH	3
30" MITERED END SEC	1
18" MITERED END SEC	2

GRADING NOTE
ALL PROPOSED GRADES SHOWN OUTSIDE OF ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS, AND POND PARCEL IS FOR VISUALIZATION PURPOSES FOR THE HOME BUILDER ONLY. THE CONTRACTOR SHALL ONLY GRADE ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS AND POND PARCEL.

REVISIONS

Date	By	Description

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ERIC NEIL LANE, P.E.
FL PE No. 86920
COA# 32689

Construction Plans for
Whitetail Run
Escambia County, FL

Grading and
Drainage Plan

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

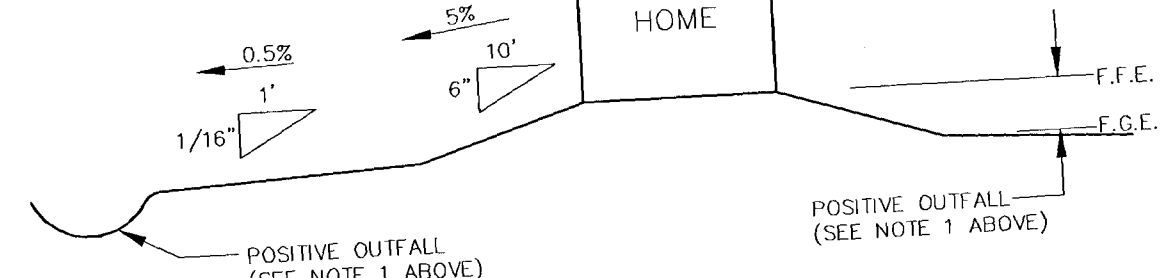
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LEGEND:

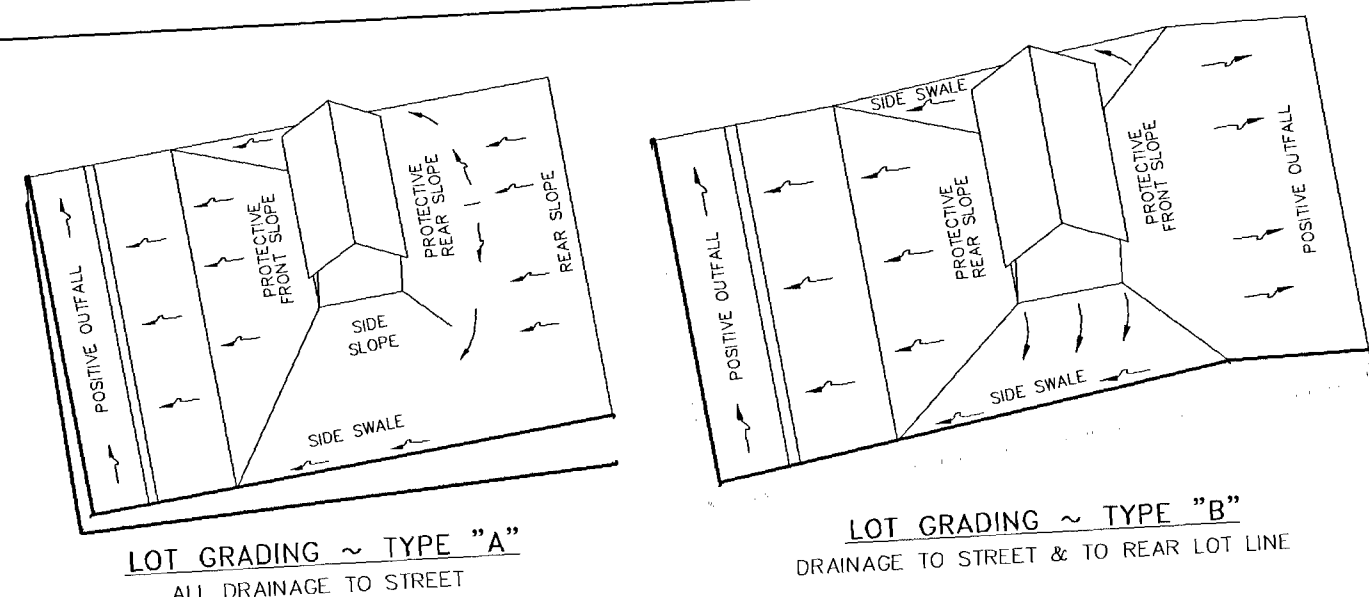
F.F.E. - FINISH HABITABLE FLOOR ELEVATION
F.G.E. - FINISH GRADE ELEVATION
STORMWATER FLOW DIRECTION ARROW
GRADE SLOPE (MINIMUM)
MINIMUM GRADE

NOTE: GRADING DRAINS TO A POSITIVE OUTFALL. VARIATIONS IN GRADING ARE ACCEPTABLE.



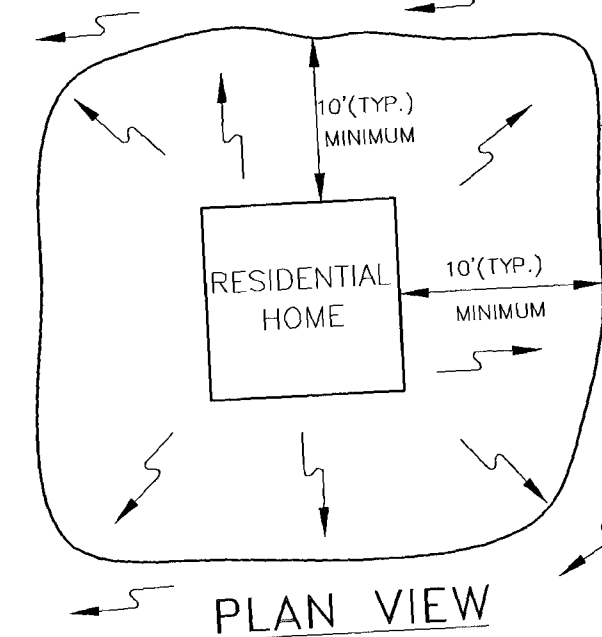
ELEVATION VIEW

MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN

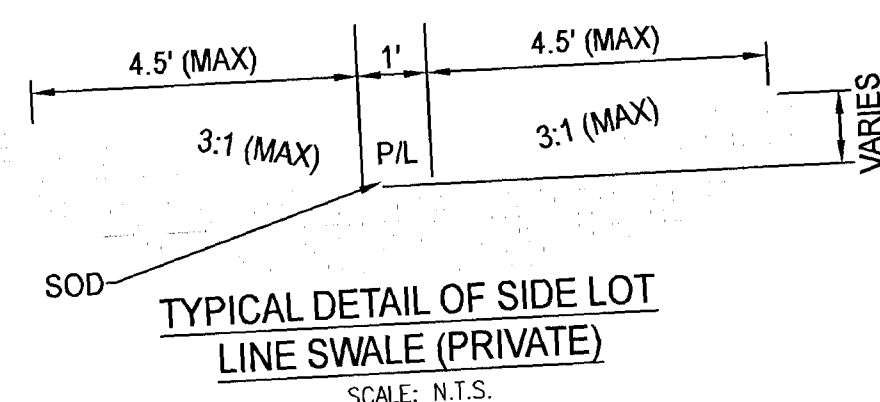


NOTES:

1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM, CURB AND GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBIA COUNTY OR STATE DRAINAGE SYSTEM.
2. FINISH FLOOR ELEVATIONS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
3. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
4. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MAINTAIN THE REMAINDER OF THE LOT.
5. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
6. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
7. ALL NEW RUNOFF, DOWNSPOUTS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
8. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
9. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS IF NECESSARY).



PLAN VIEW



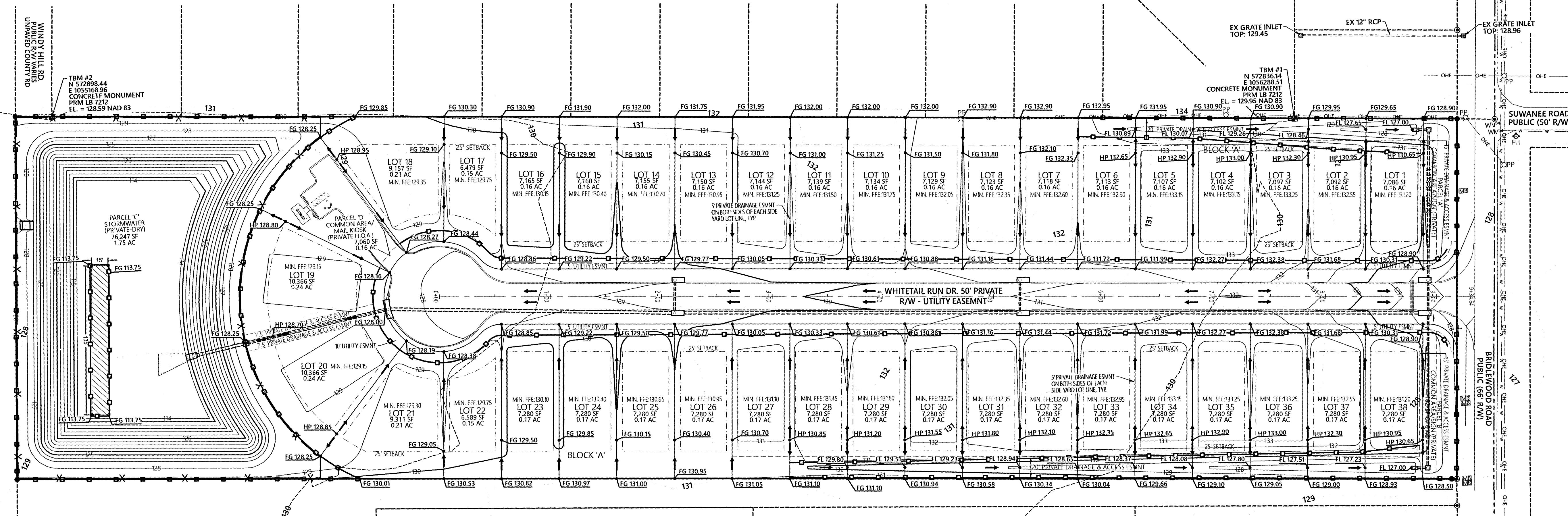
TYPICAL DETAIL OF SIDE LOT LINE SWALE (PRIVATE)

SCALE: N.T.S.

GRADING NOTE
ALL PROPOSED GRADES SHOWN OUTSIDE OF ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS, AND POND PARCEL IS FOR VISUALIZATION PURPOSES FOR THE HOME BUILDER ONLY. THE CONTRACTOR SHALL ONLY GRADE ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS AND POND PARCEL.

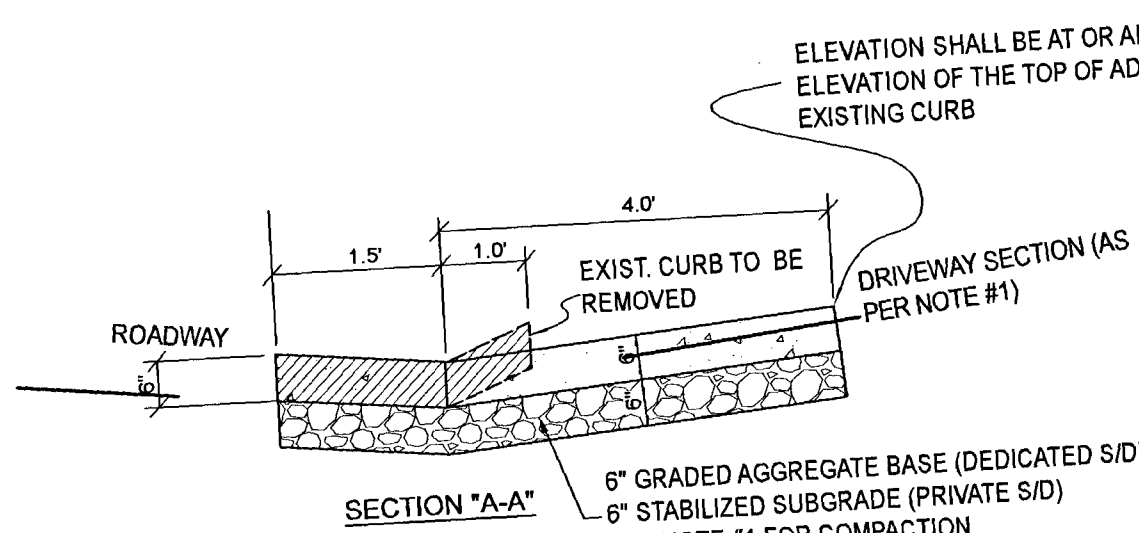
LEGEND

FL - FLOW LINE
HP - HIGH POINT
FG - FINISHED GRADE
LP - LOW POINT
TC - TOP OF CURB
← FLOW ARROW

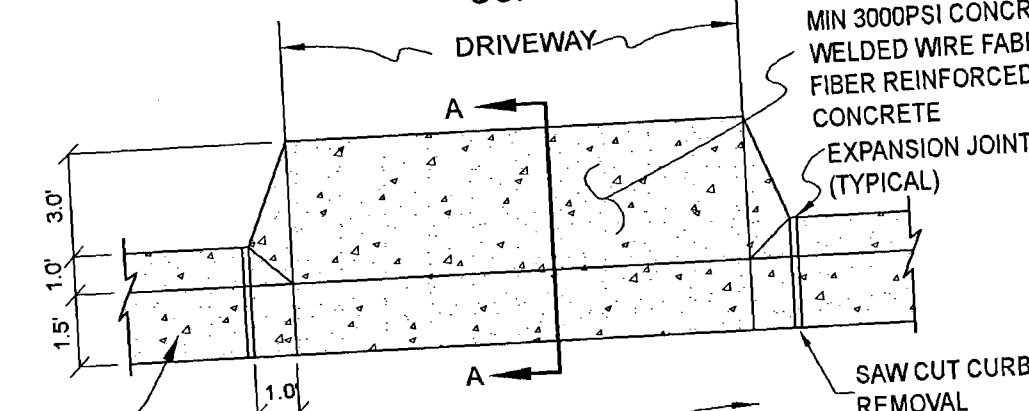


TYPE I

CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



SECTION VIEW



PLAN VIEW

NOTES:

1. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.
2. DRIVEWAY SECTIONS ABUTTING CURB OR CURB CUT SHALL BE 6" CONCRETE WITH 6" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE - 98% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
3. FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT, IF NECESSARY, REFER TO F.D.O.T. INDEX DETAILS.
4. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR NEW SUBDIVISION (CURB & GUTTER) ROADWAY CONDITIONS
NOT TO SCALE

HOMEBUILDERS NOTES

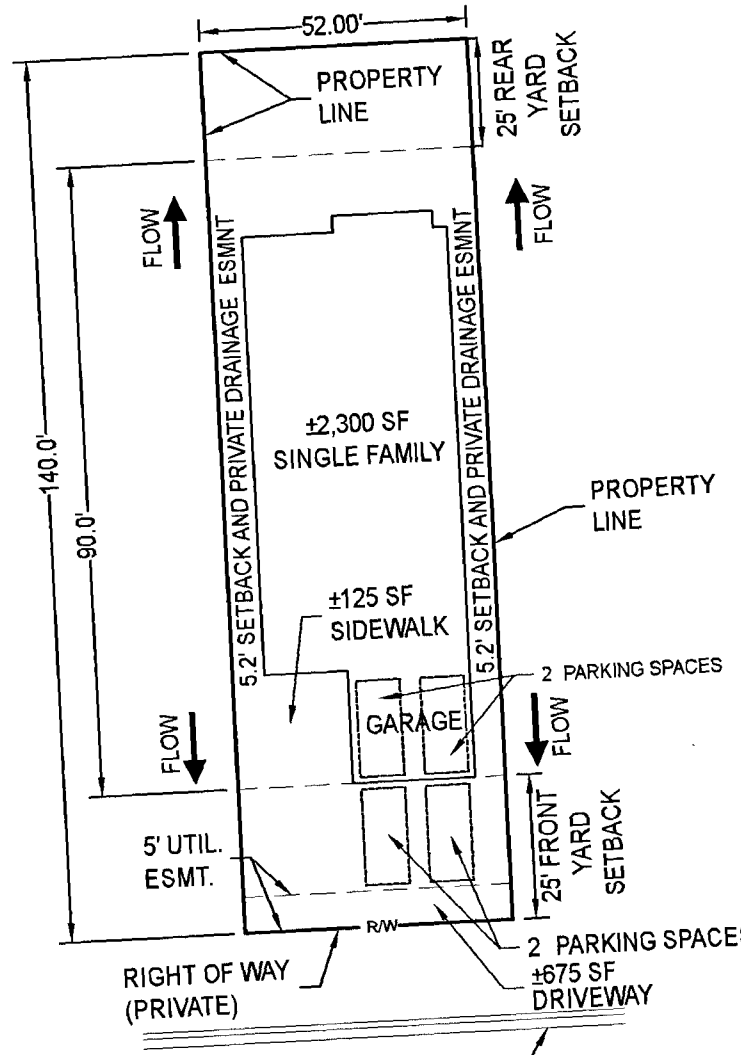
1. INSTALL SILT FENCE ALONG ALL DOWN GRADIENT LOT BOUNDARY LINES.
2. PROVIDE 12" WIDE, 4" THICK, FDOT #1 AGGREGATE CONSTRUCTION ACCESS DRIVE ON EACH LOT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION.
3. FOR RESIDENTIAL LOTS, TREE REMOVAL PRIOR TO CONSTRUCTION OF THE DWELLING, SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BEFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0270G, MAP REVISION DATED SEPTEMBER 29, 2006.

GENERAL NOTES:

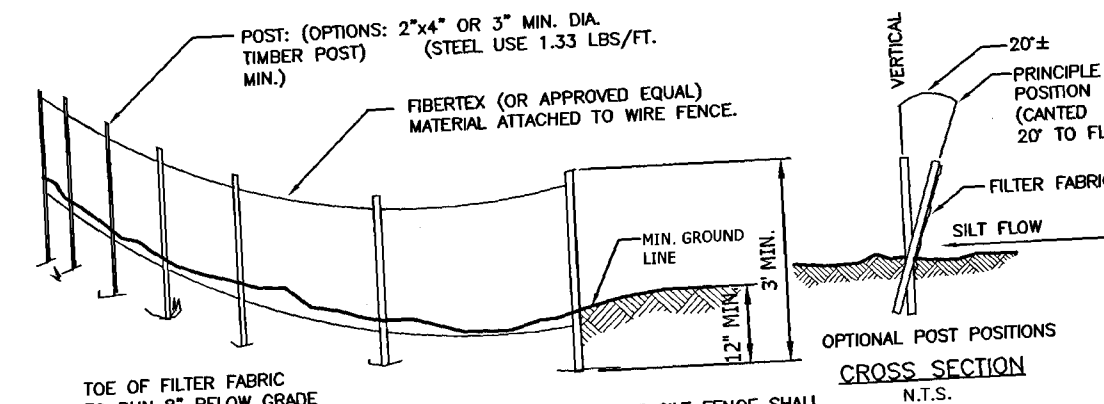
1. HOUSE EQUIPMENT (ie AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF THE SIDE YARD SWALES.
2. INSTALLATION AND/OR FUNCTION OF THE SIDE YARD SWALES AND CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR AND TREATMENT OF SIDE SWALES SHALL BE CONSTRUCTED BY HOMEOWNER.
3. NO FENCES SHALL BE INSTALLED IN PRIVATE DRAINAGE/ACCESS EASEMENTS.
4. LOT CLEARING MAY NOT BE PERFORMED BY GENERAL CONTRACTOR. RIGHT-OF-WAY SHOULDER STABILIZATION ALONG HIGHWAY 97 SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.



TYPICAL LOT - HOUSE / DRIVEWAY/GRADING
NOT TO SCALE

MAXIMUM IMPERVIOUS EACH LOT	
BUILDINGS = 3,200 SF	
DRIVEWAY = 675 SF	
SIDEWALK = 125 SF	
TOTAL = 4,000 SF	

IMPERVIOUS AREA SITE PLAN	
EXISTING IMPERVIOUS	1,813 SF
PROPOSED LOTS ONLY IMPERVIOUS	0.04 AC
PROPOSED IMPROVEMENTS IMPERVIOUS	152,000 SF
PROPOSED IMPROVEMENTS IMPERVIOUS	3.49 AC
TOTAL	30,492 SF
TOTAL	0.70 AC
TOTAL	4.19 AC



TYPE III SILT FENCE DETAIL
NOT TO SCALE

CONSTRUCTION ENTRANCE NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

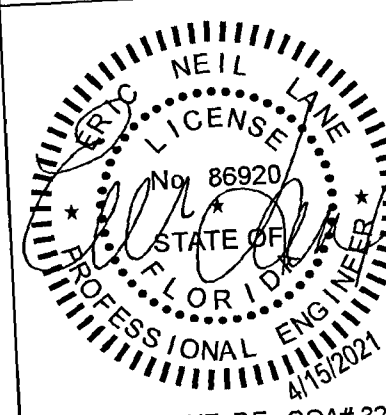
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

4. OFFSITE VEHICLE TRACKING OF SEDIMENTS AND GENERATION OF DUST SHALL BE MINIMIZED. STABILIZED CONSTRUCTION ACCESS ROAD SHALL BE UTILIZED TO REDUCE OFF-SITE TRACKING. OFFSITE VEHICLE TRACKING SHALL BE CONSIDERED AT A FREQUENCY NECESSARY TO MINIMIZE IMPACTS. FREQUENCY WASH AREA SHOULD BE CONSIDERED IF OFFSITE TRACKING BECOMES EXCESSIVE.

TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE

REVISIONS
Date: ---
By: ---
Date: ---
By: ---
Date: ---
By: ---
Date: ---
By: ---

MULLINS, LLC
CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING
801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412



ERIC NEIL LANE, P.E. CO# 86920
FL. PE No. 86920

Construction Plans for
Whitetail Run
Escambia County, FL

Lot Grading Plan

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

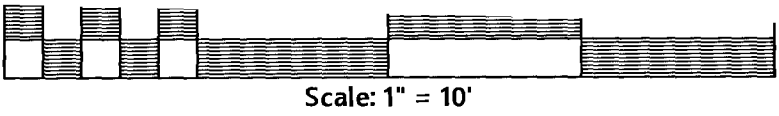
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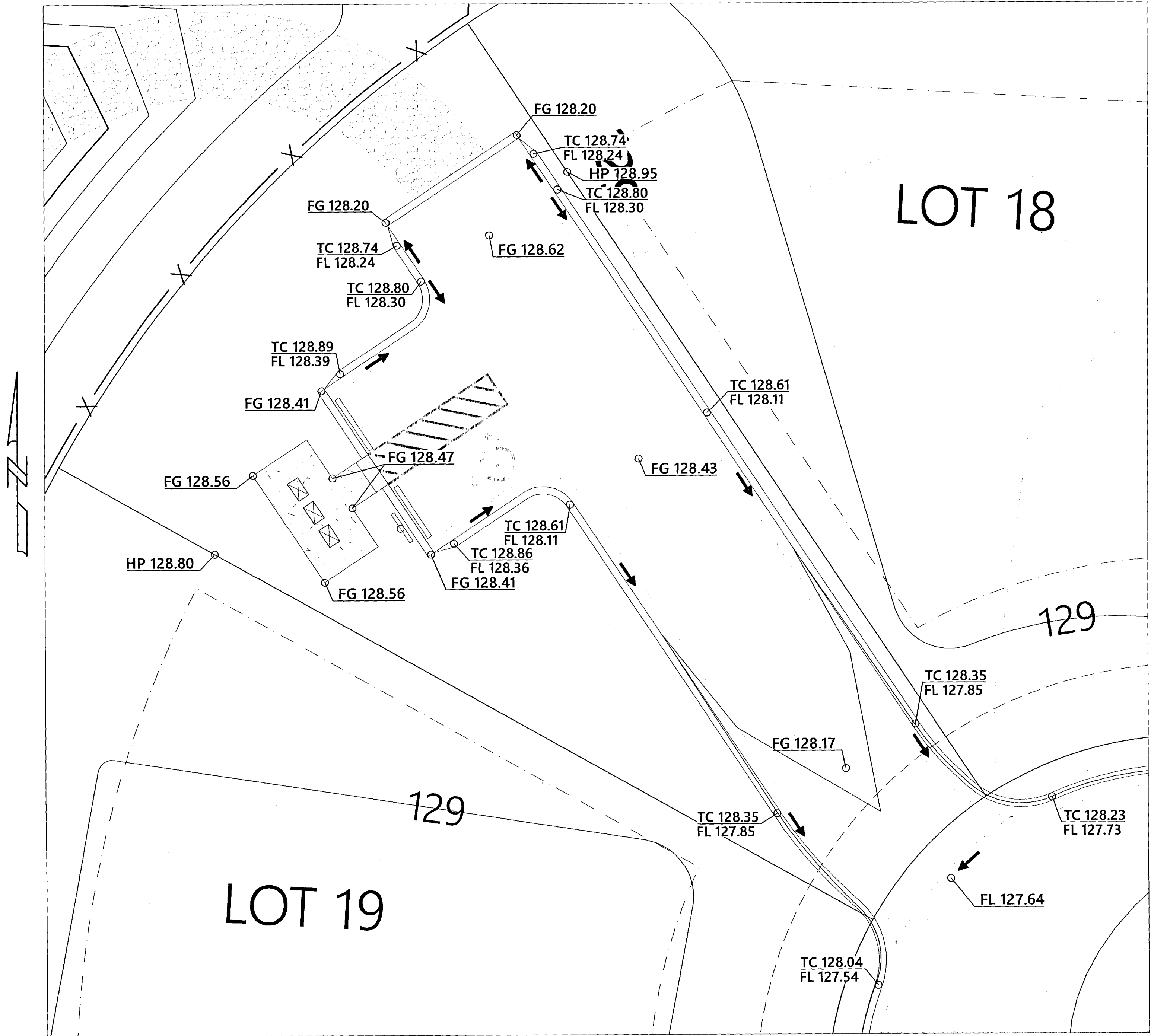
PREPARED FOR: Beland Homes Coastal, LLC

GRADING NOTE
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DRAINAGE EASEMENTS, AND POND PARCEL IS FOR VISUALIZATION PURPOSES
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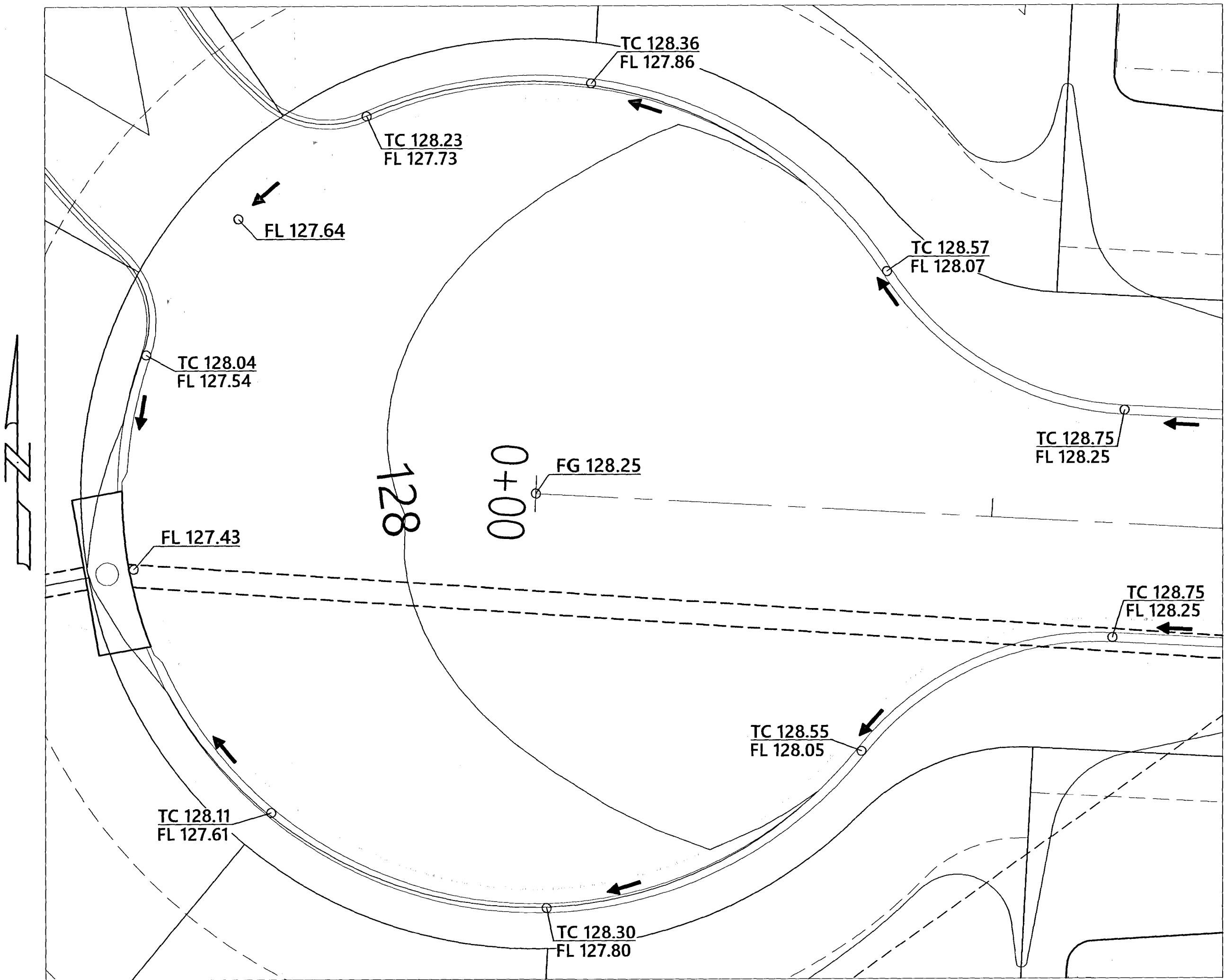
- LEGEND
- FL - FLOW LINE
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 - FG - FINISHED GRADE
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 - TC - TOP OF CURB
 - ← FLOW ARROW



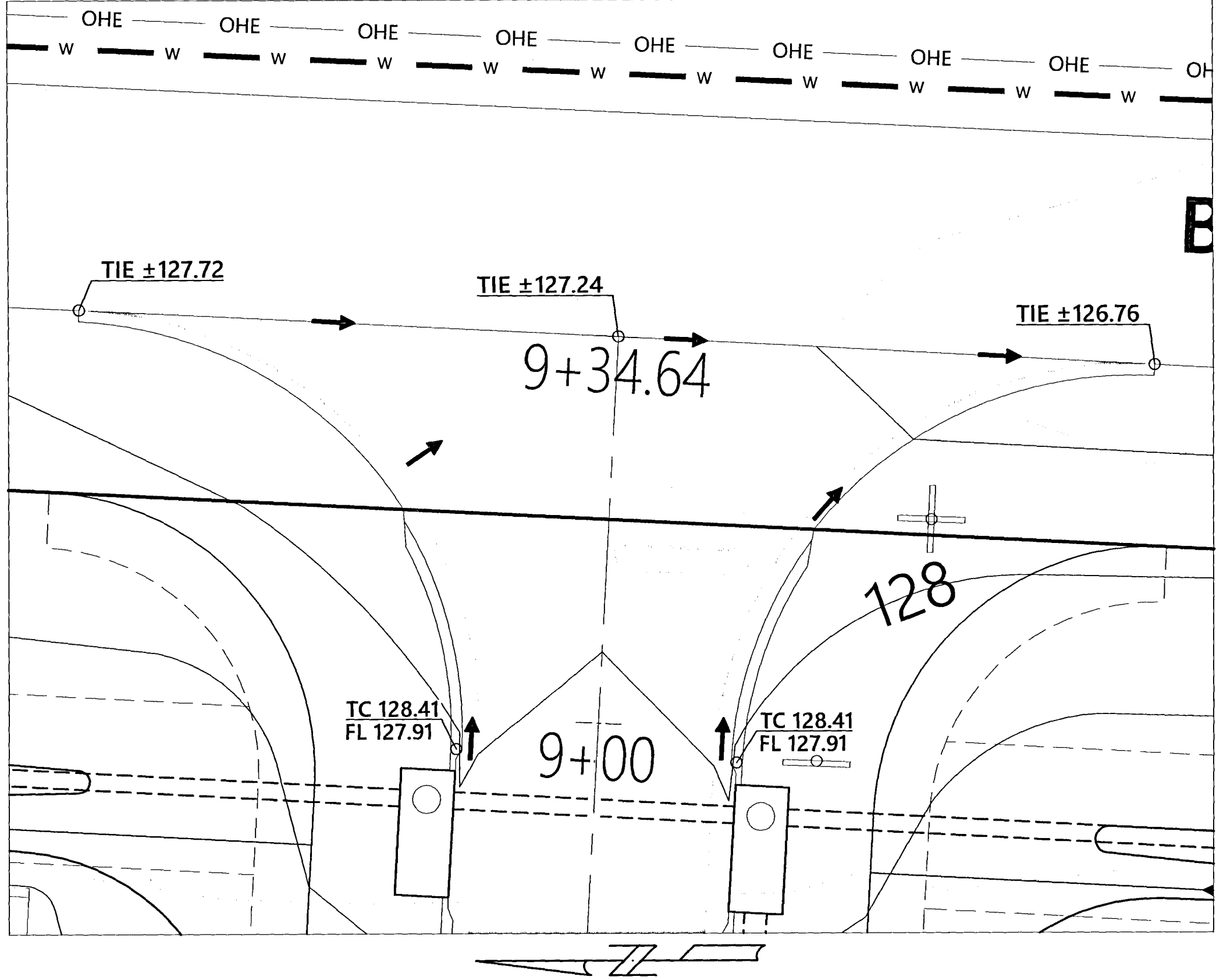
PARCEL 'D' - COMMON AREA/MAIL KIOSK



WHITETAIL RUN DR. CUL-DE-SAC



WHITETAIL RUN DR./BRIDLEWOOD RD. INTERSECTION



REVISIONS

NO.	DATE	DESCRIPTION
1	04/15/2021	ISSUED FOR PERMIT
2	04/15/2021	ISSUED FOR PERMIT
3	04/15/2021	ISSUED FOR PERMIT
4	04/15/2021	ISSUED FOR PERMIT
5	04/15/2021	ISSUED FOR PERMIT
6	04/15/2021	ISSUED FOR PERMIT
7	04/15/2021	ISSUED FOR PERMIT
8	04/15/2021	ISSUED FOR PERMIT
9	04/15/2021	ISSUED FOR PERMIT
10	04/15/2021	ISSUED FOR PERMIT

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firm listed on face, shall remain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

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(850) 462-8412

ERIC NEIL LANE, P.E. CO.# 32689
FL PE No. 86920

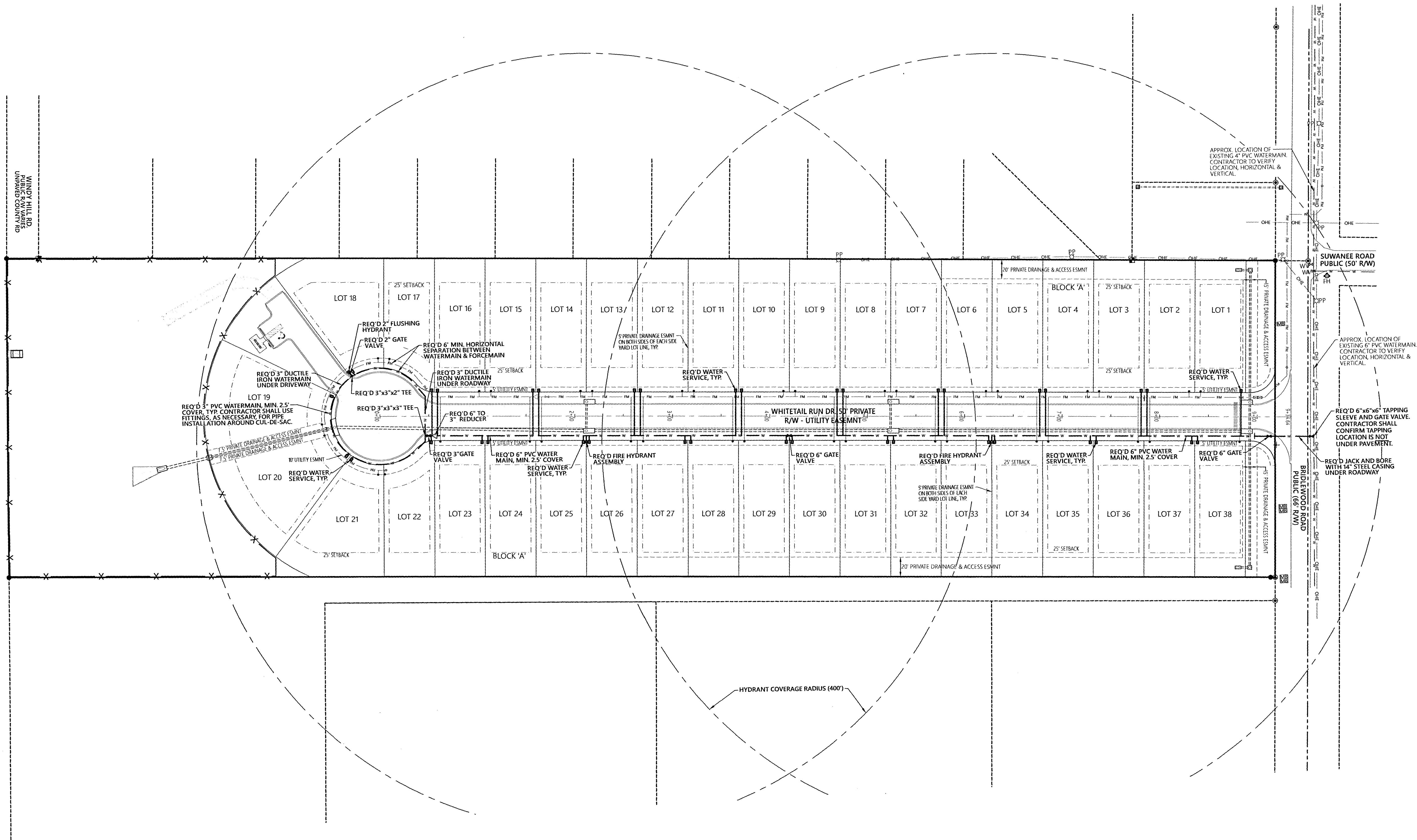
Construction Plans for
Whitetail Run
Escambia County, FL

PREPARED FOR: Breland Homes Coastal, LLC

Detailed Grading
Plan

Job No: 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

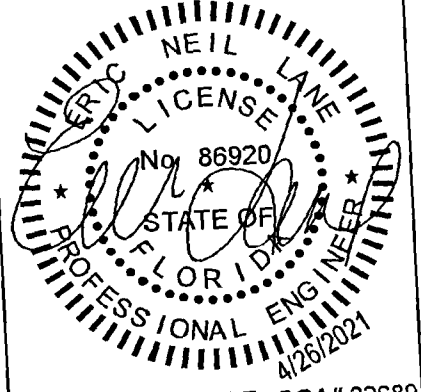
SHEET NUMBER
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REVISIONS	
Date	---
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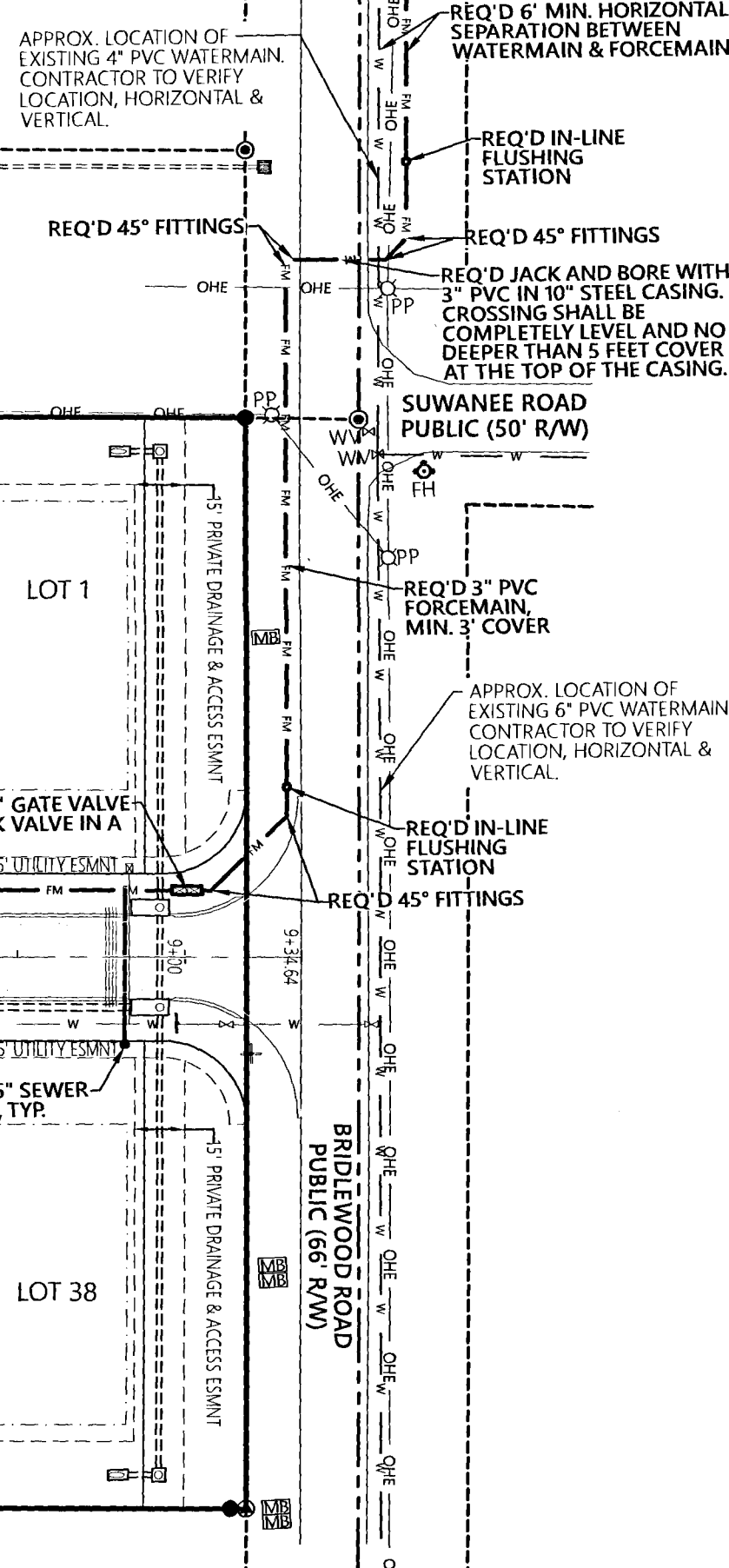
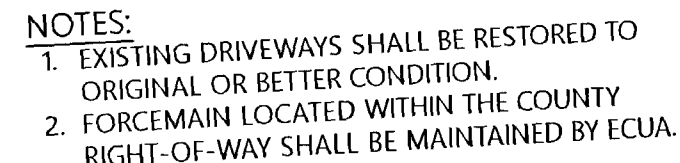
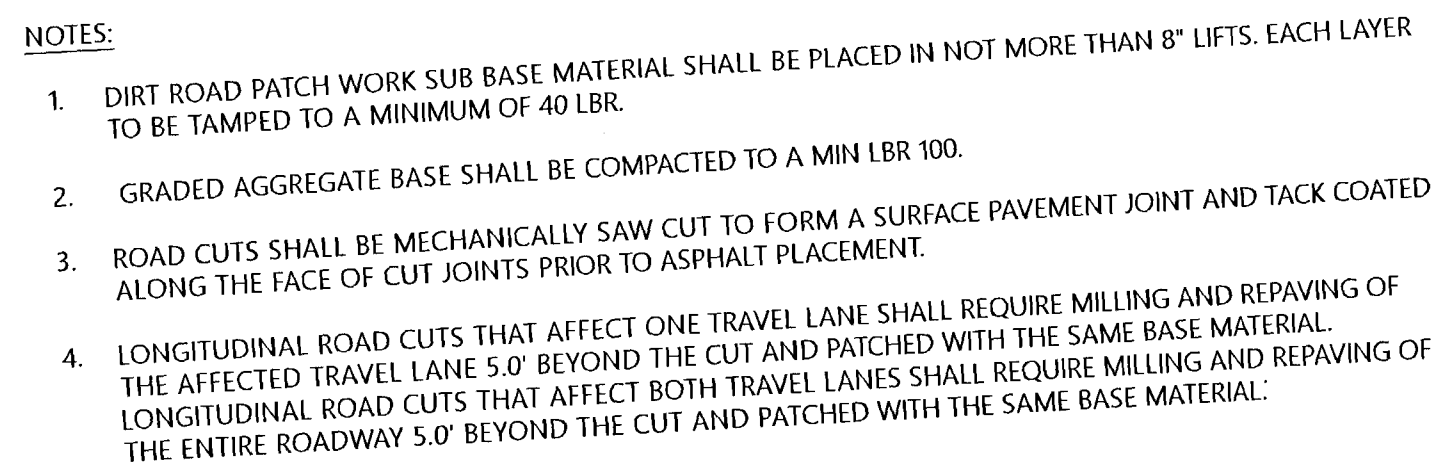
Construction Plans for
Whitetail Run
Escambia County, FL
PREPARED FOR: Ireland Homes Coastal, LLC

Water Distribution
Plan

Job No. 20-124P
Date: 4/26/2021
Drawn By: CAB
Checked By: ENL

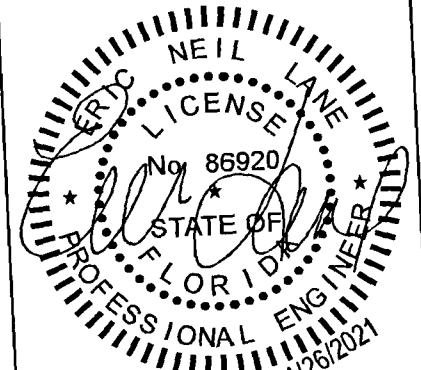
SHEET NUMBER

10

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FL. PE No. 86920

Construction Plans for
Whitetail Run
Escambia County, FL

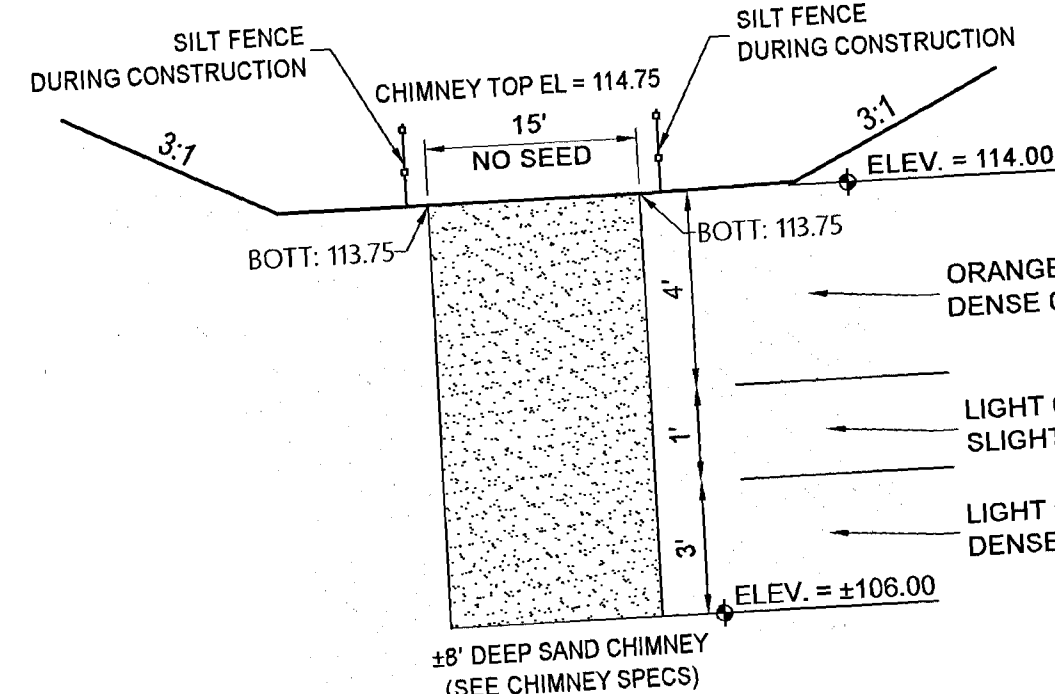
Sanitary Sewer Plan

Job No. 20-124P
Date: 4/26/202
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

11

PREPARED FOR: Breland Homes Coastal, LLC

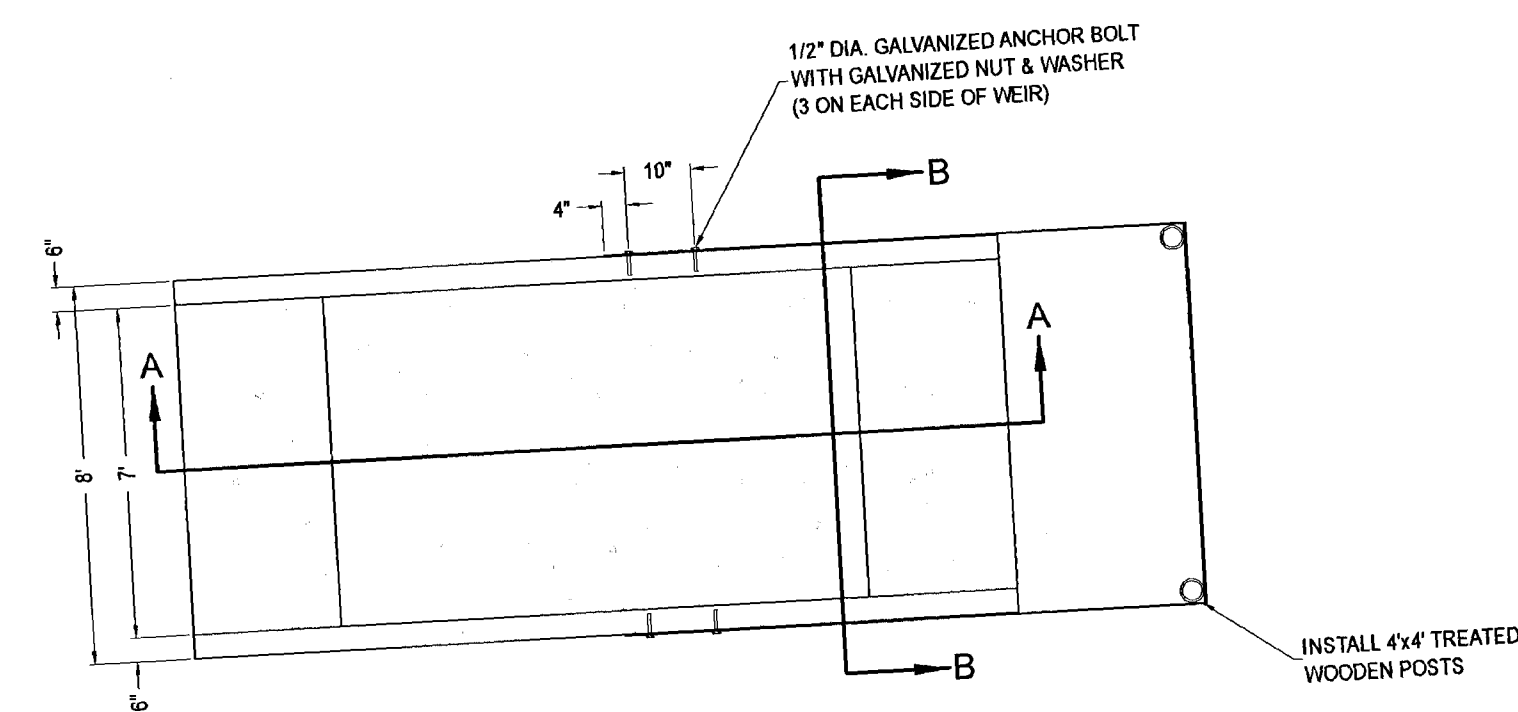


TYPICAL SECTION SAND CHIMNEY
NOT TO SCALE

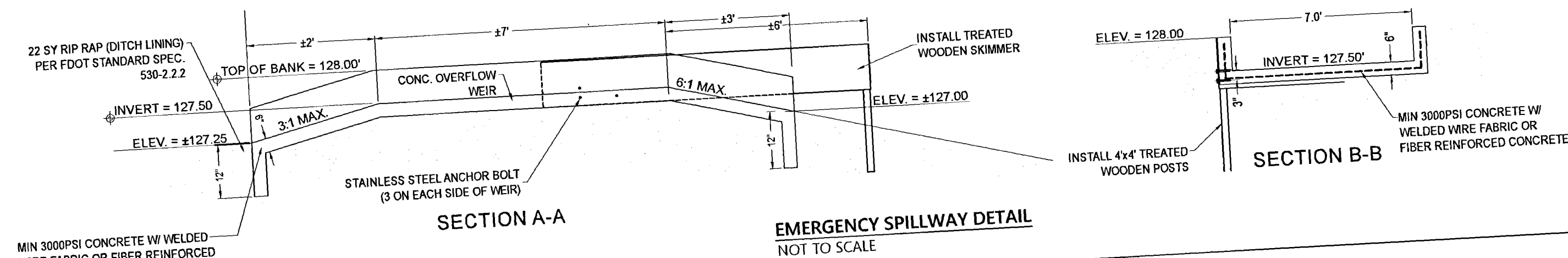
** SEE GEOTECHNICAL ENGINEERING REPORT, LMJ, ADDENDUM TO REPORT OF GEOTECHNICAL
EXPLORATION BRIDLEWOOD ROAD SUBDIVISION STORMWATER POND ESCAMBA COUNTY, FL, FILE
20-196 FOR SAND CHIMNEY DESIGN. THE ESTIMATED OUTFLOW RATE IS 225FT³/DAY/PERIMETER
FOOT OF CHIMNEY.

CHIMNEY SPEC: CHIMNEY BACKFILL MATERIAL SHOULD BE CLEAN SAND CONTAINING LESS THAN 4% FINES WITH A CHIMNEY BACKFILL PERMEABILITY OF 30 FEET PER DAY WHEN COMPACTED TO 100 PERCENT OF A MINIMUM STANDARD PROCTOR TEST (ASTM D698). A SAMPLE OF THE CHIMNEY SAND SHOULD BE SUBMITTED TO LMI FOR TESTING AT THE END OF THE INSTALLATION PRIOR TO PURCHASE. LMI RECOMMENDS STANDARD PROCTOR TEST (ASTM D698) OF THE BACKFILL PRIOR TO PURCHASE. LMI RECOMMENDS THE SUBMITTER TO LMI FOR TESTING AT THE END OF THE CHIMNEY SAND AT THE BOTTOM OF THE CHIMNEY MOUNDING AT LEAST 10 FEET OF THE CHIMNEY SAND AT THE BOTTOM OF THE CHIMNEY MOUND. IF THE TOP OF THE CHIMNEY TO PROMOTE THE SETTLEMENT OF FINES AWAY FROM THE CHIMNEY MOUND. IF THE TOP OF THE MOUND BECOMES SILTED OVER DURING CONSTRUCTION, IT SHOULD BE SCRAPED OFF AND THE MOUND REPLACED WITH SIMILAR CLEAN CHIMNEY SAND MATERIAL.

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SECTION A-A



EMERGENCY SPILLWAY DETAIL
NOT TO SCALE

GENERAL NOTES:

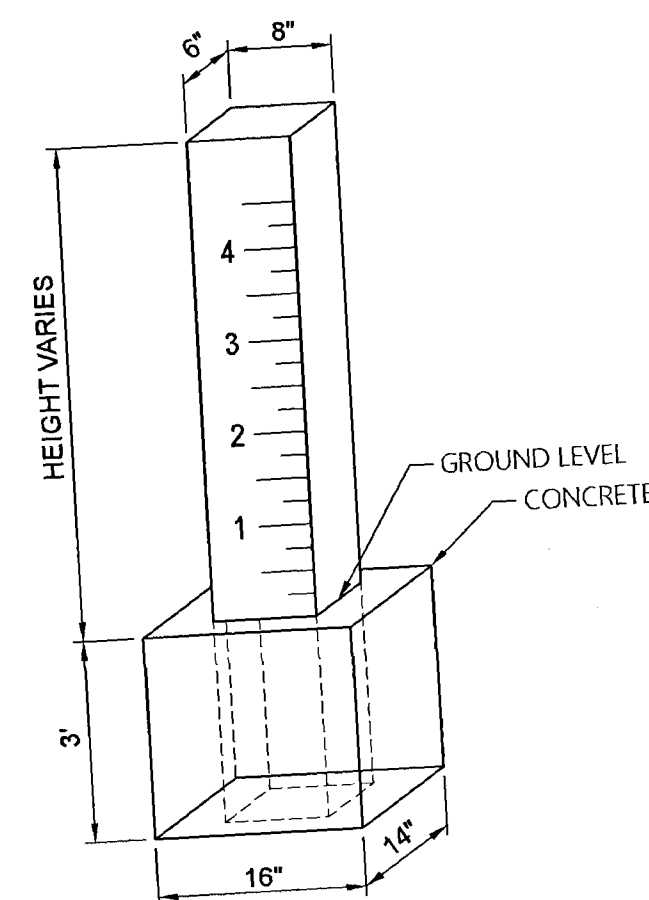
- GENERAL NOTES:**
1. IN THE EVENT THAT A STRUCTURAL FAILURE (SINK FEATURE) OCCURS DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY SHALL CEASE AND A FLORIDA REGISTERED GEOTECHNICAL ENGINEER SHALL BE CONTACTED IMMEDIATELY. A CORRECTIVE MEASURES PLAN MUST BE APPROVED BY THE NFWF/MD AND IMPLEMENTED PRIOR TO RESUMING CONSTRUCTION.
 2. SEED AND MULCH AREA WITHIN THE BOTTOM OF THE PROPOSED STRIP SHOULD BE PLANTED WITH A WINTER MIX OF CENTIPEDE GRASS SEED AND ANNUAL RYE GRASS SEED. IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS. TOP OF FILTER SHALL NOT BE SEED.
 3. SLOPES SHALL BE STABILIZED WITH SOD IMMEDIATELY UPON CONSTRUCTION.
 4. STRIP PROPOSED BERM AREAS PLUS A MARGIN OF 3' OUTSIDE THE BERM FOOTPRINT (BUT DO NOT EXTEND WORK ONTO ADJACENT PROPERTY OR STRIP PROPOSED BERM AREAS PLUS A MARGIN OF 3' OUTSIDE THE BERM FOOTPRINT AND SMALL ROOTS IN HIGH DENSITY).
 5. (GUT AND CLAY BUFFER) OF ALL SURFACE VEGETATION AND ROOT MAT (LARGE ROOTS AND SANDS WITH NO MORE THAN 50% PASSING THE US NO. 200 SIEVE, (GUT AND CLAY FINES), DO NOT USE "PIPE CLAY", A MARLED AND SANDY FAT CLAY TO FAT CLAY WITH HIGH PLASTICITY AND MORE THAN 40% SOIL FINES.
 6. BERM SOILS SHALL CONSIST OF SILTY SURFACE VEGETATION AND ROOT MAT (LARGE ROOTS AND SANDS WITH NO MORE THAN 50% PASSING THE US NO. 200 SIEVE, (GUT AND CLAY FINES), DO NOT USE "PIPE CLAY", A MARLED AND SANDY FAT CLAY TO FAT CLAY WITH HIGH PLASTICITY AND MORE THAN 40% SOIL FINES.
 7. PLACE BERM SOILS TO A PROPOSED LINES AND GRADES IN MAXIMUM 12" LOOSE LAYERS TO A DENSITY NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST ASTM 1557. MOISTURE CONDITION THE SOILS BY DRYING OR WETTING TO AID COMPACTION.
 8. TEST THE DENSITY OF THE SOILS TO DETERMINE IF THE REQUIRED COMPACTION DENSITY HAS BEEN ACHIEVED. PERFORM AT LEAST ONE FIELD DENSITY TEST IN EACH COMPACTED LIFT FOR EVERY 50' TO 75' OF BERM LENGTH. ALTERNATING THE TESTS INSIDE AND OUTSIDE OF CENTERLINE DENSITY TESTS. FIRM, PERFORM FURTHER MOISTURE CONDITIONING AND RE-CONSTRUCTION AS NECESSARY IN LIFT AREAS WITH FAILING DENSITY, AND RETEST.
 9. PROVIDE TOPSOIL AND SOD COVER ON THE FINISHED BERM SLOPES TO PREVENT EROSION.
 10. SLOPES 3:1 OR STEEPER SHALL BE SODDED AND PINNED.
 11. A REGISTERED PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEY, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.

Sand Chimney Dimension Requirements for

Whitetrail Run
Prepared by: Mullins, LLC

Prepared by: Mullins, LLC		Acres	Square Feet
		10.89	474,368
Basin Area	Volume (CF)	Time (days)	
Item	19,765	3	
Treatment Volume Required (1 1/2")	531,293	10	
Total Pond Volume Required (13.44")	545,077		
Total Pond Volume Provided			
Required Percolation Rate	6,588	cf/day	
Required Percolation Rate	53,129	cf/day	
Sand Chimney Rate, per Geo	225	cf/day/lin ft	
Total Perimeter Required	9.8	lin ft	
Total Perimeter for Treatment Volume	236.1	lin ft	
Total Perimeter for Pond Volume	300.0	lin ft	
Total Perimeter Provided			
Existing Grade	129	ft	
Chimney Depth Req. From Ex. Grade	21 min.	ft	
Bottom Elevation of Chimney	106	ft	
Bottom Elevation of Pond	114	ft	
Chimney Depth	8	ft	

Treatment Volume Drawdown Time	0.29	days
Pond Volume Drawdown Time	7.87	days



NOTE:

NOTE: THE GAUGE SHALL BE CONSTRUCTED OF PRESSURE TREATED SQUARE POSTS MEASURING 6"x6" WITH BOTH R SIDES ROUTED WITH 16" NUMBERS AND GAUGING MARKS. THE ROUTED "H" POINT THE POST SHALL BE ONE PAINTED WITH WHITE WATER. THE MINIMUM DEPTH OF THE POND THE FOOT FOTALLER THAN THE MAXIMUM DEPTH WITH A DIMENSION OF 16"x14"x3" IN SHALL BE EMBEDDED IN CONCRETE WITH A DIMENSION OF 16"x14"x3" IN THE DEPTH. THE GAUGE SHALL BE PLACED NEAR THE DEEPEST AREA OF THE POND, AND SHALL BE POSITIONED SO THAT IT CAN BE REACHED FROM THE NEAREST POINT OF PUBLIC ACCESS. THE POINT OF DEPTH SHALL BE REFERENCED TO THE DEEPEST POINT OF THE POND.

DETENTION POND DEPTH GAUGE
NOT TO SCALE

Summary Table of Storm Events at West Outfall Location

SCS TR-20 METHOD - STORM EVENT: FDOT-CRITICAL DURATION

DURATION	100 YEAR EVENT		
	PRE (CFS)	POST (CFS)	PEAK POND ELV. (FT)
1 HR	10.18	0.00	116.88
2 HR	13.57	0.00	118.61
4 HR	15.20	0.00	120.54
8 HR	17.85	0.00	122.66
24 HR	6.60	0.00	125.06

NOTES

- NOTES:
1) TOP OF THE POND = 128.00
2) NO DISCHARGE POND CALCULATION:
BASIN AREA: $10.89 \text{ AC} \times 43560 = 474,368 \text{ SF}$
REQUIRED VOLUME: $474,368 \text{ SF} \times (13.4412) = 531,293 \text{ CF}$
PROVIDED VOLUME: 545,077 CF

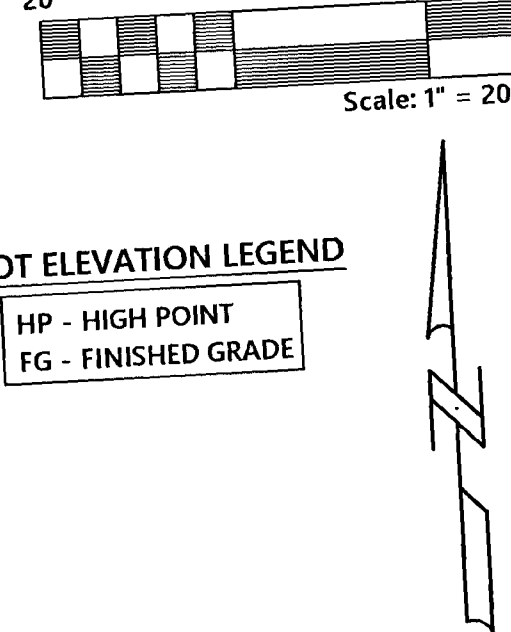
SCS TR-20 METHOD - STORM EVENT: TYPE III-24HR

YEAR EVENT	PRE (CFS)	POST (CFS)	PEAK POND ELEVATION (FT)
1	5.23	0.00	117.39
2	8.09	0.00	118.61
5	12.72	0.00	120.35
10	16.49	0.00	121.62
25	19.79	0.00	122.65
50	23.39	0.00	123.72
100	28.28	0.00	125.06

MAXIMUM IMPERVIOUS EACH LOT
BUILDINGS = 3,200 SF
DRIVEWAY = 675 SF
SIDEWALK = 125 SF
TOTAL = 4,000 SF

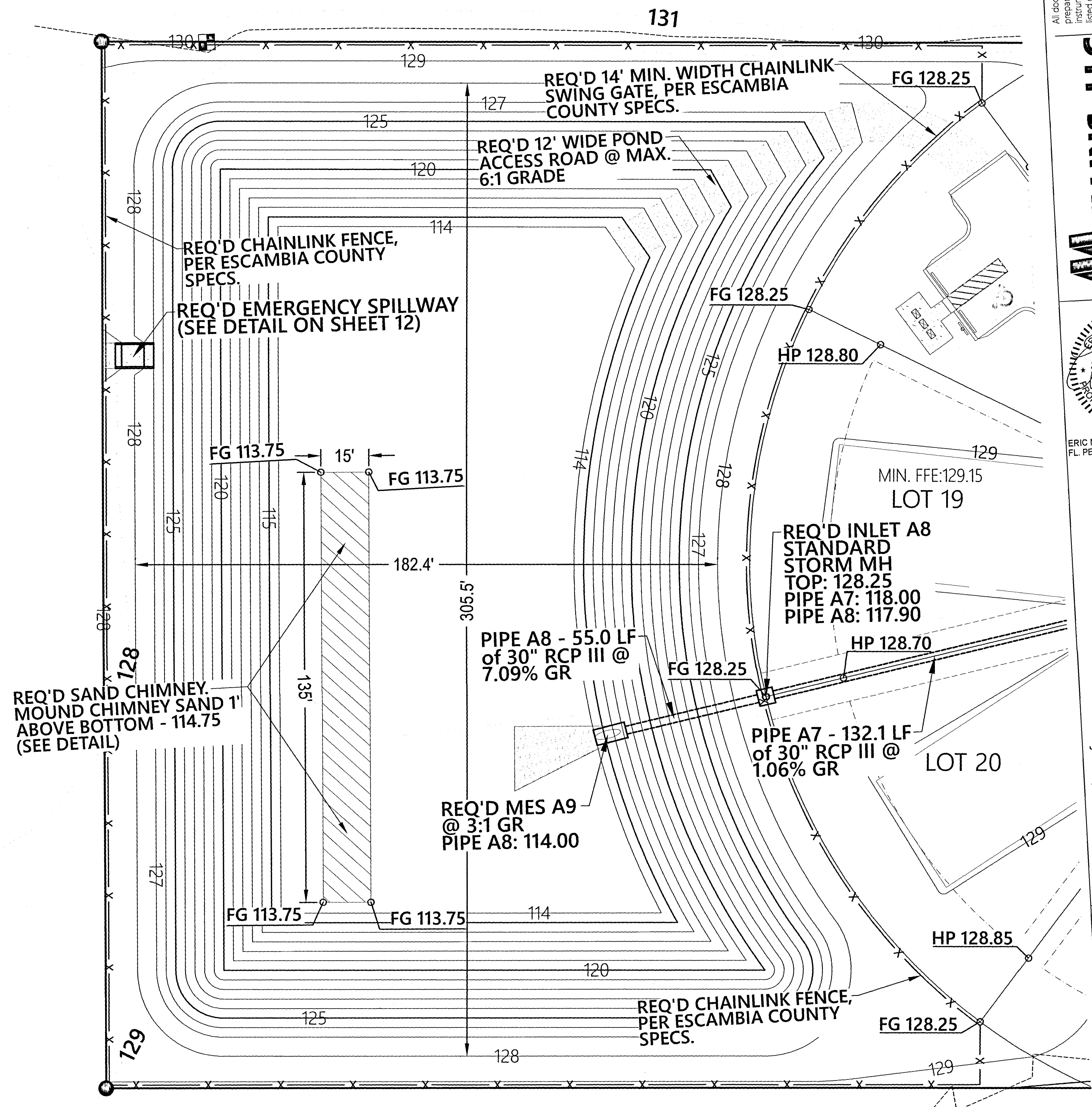
SPOT ELEVATION LEGEND

HP - HIGH POINT
FG - FINISHED GRADE



IMPERVIOUS AREA

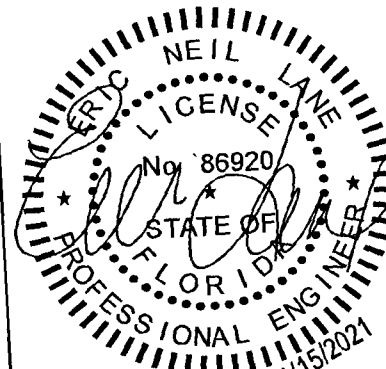
SITE PLAN	
EXISTING IMPERVIOUS	
1,813 SF	0.04 AC
PROPOSED LOTS ONLY IMPERVIOUS	
152,000 SF	3.49 AC
PROPOSED IMPROVEMENTS IMPERVIOUS	
30,492 SF	0.70 AC
TOTAL	4.19 AC



5

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MULLINS, LLC
CIVIL ENGINEERING, DEVELOPMENT DESIGN
SURVEYING, LANDSCAPE ARCHITECTURE
801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412



ERIC NEIL LANE, P.E. COA# 3268
FL PE No. 86920

Construction Plans for

Whitetail Run

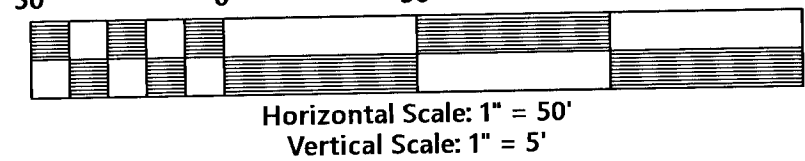
-----FOR: Breland Homes Coastal, LLC

Stormwater
Management Facility

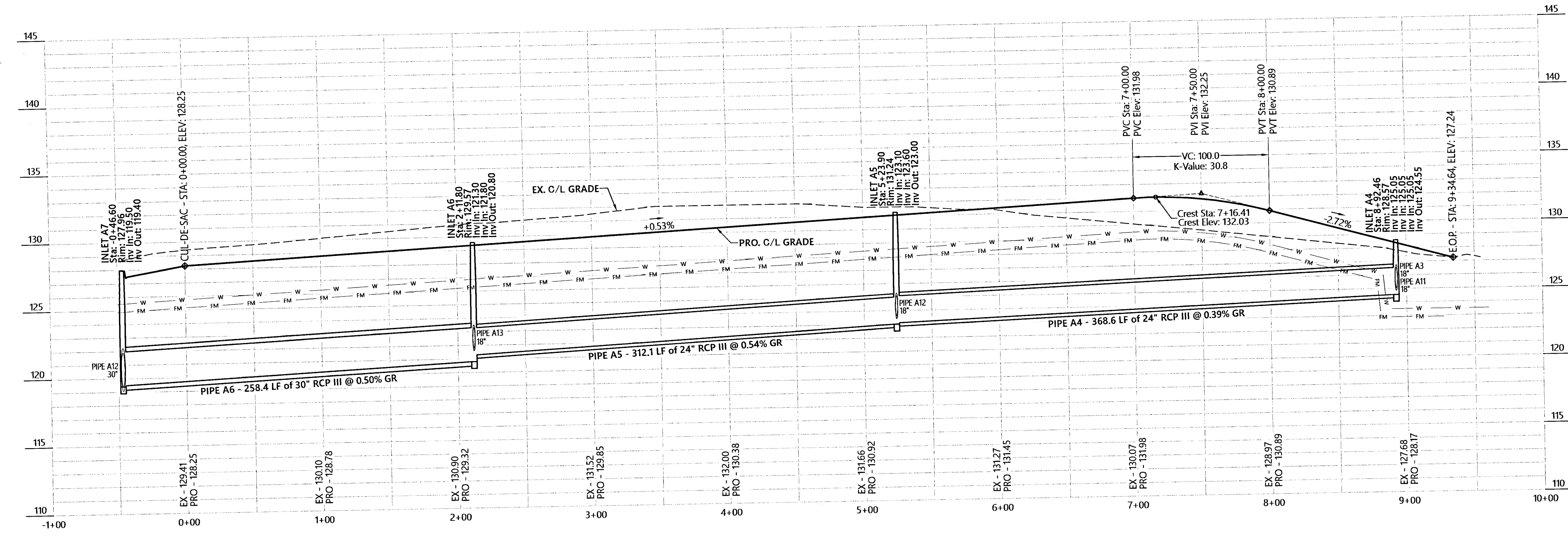
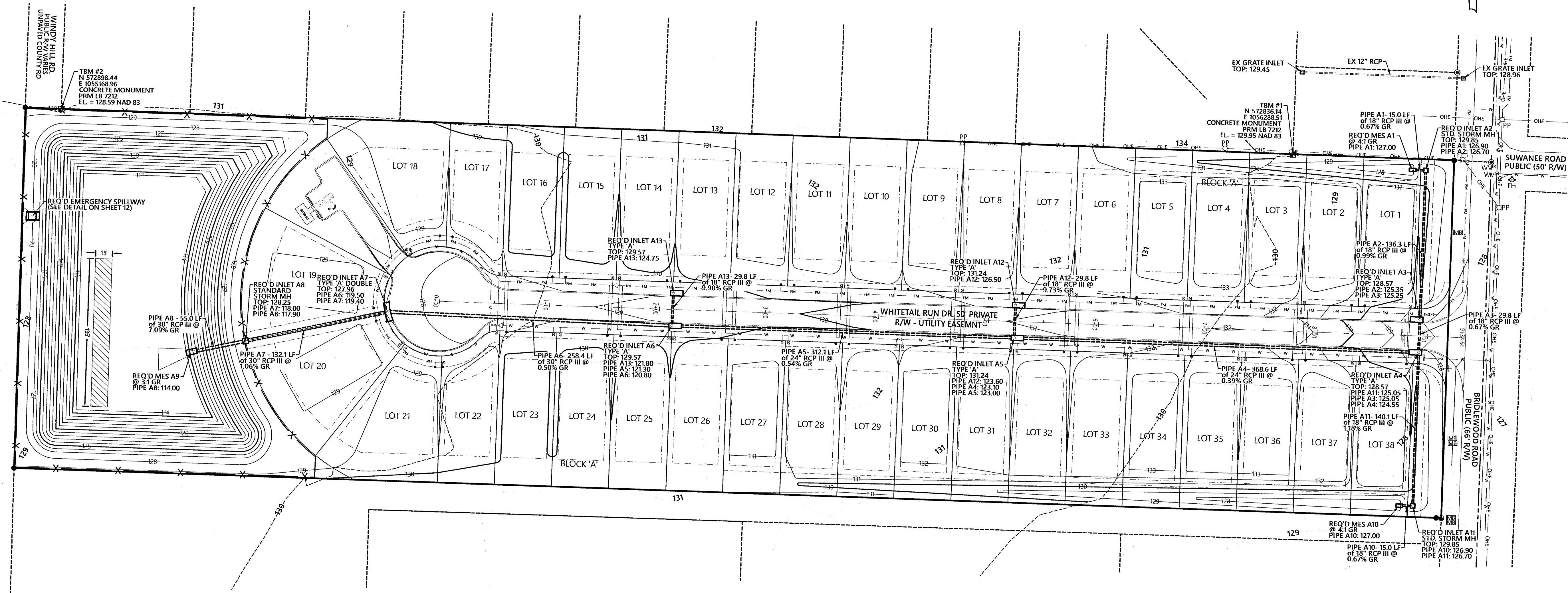
Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

12



GRADING NOTE
ALL PROPOSED GRADES SHOWN OUTSIDE OF ROAD R/W, DRAINAGE R/W,
DRAINAGE EASEMENTS, AND POND PARCEL IS FOR VISUALIZATION PURPOSES
FOR THE HOME BUILDER ONLY. THE CONTRACTOR SHALL ONLY GRADE
ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS AND POND PARCEL.



REVISIONS

Date	----
Date	----
Date	----
Date	----
Date	----
Date	----
Date	----

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MULLINS, LLC
CIVIL ENGINEERING, DEVELOPMENT, DESIGN, SURVEYING
801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412

ERIC NEIL LANE, P.E.
FL PE No. 86920

NEIL LANE
P.E.
FL PE No. 86920

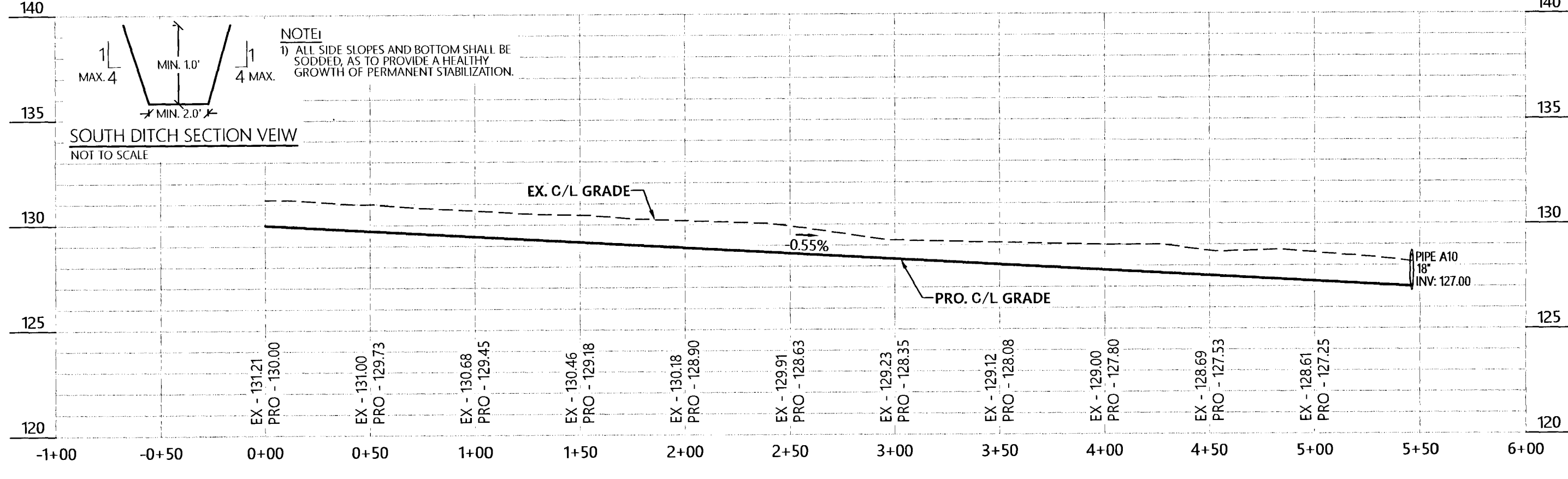
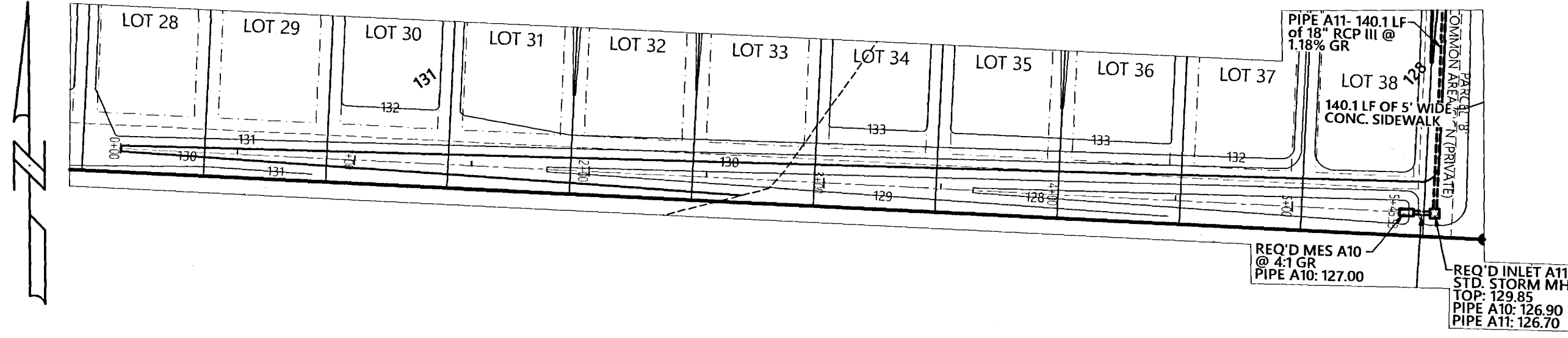
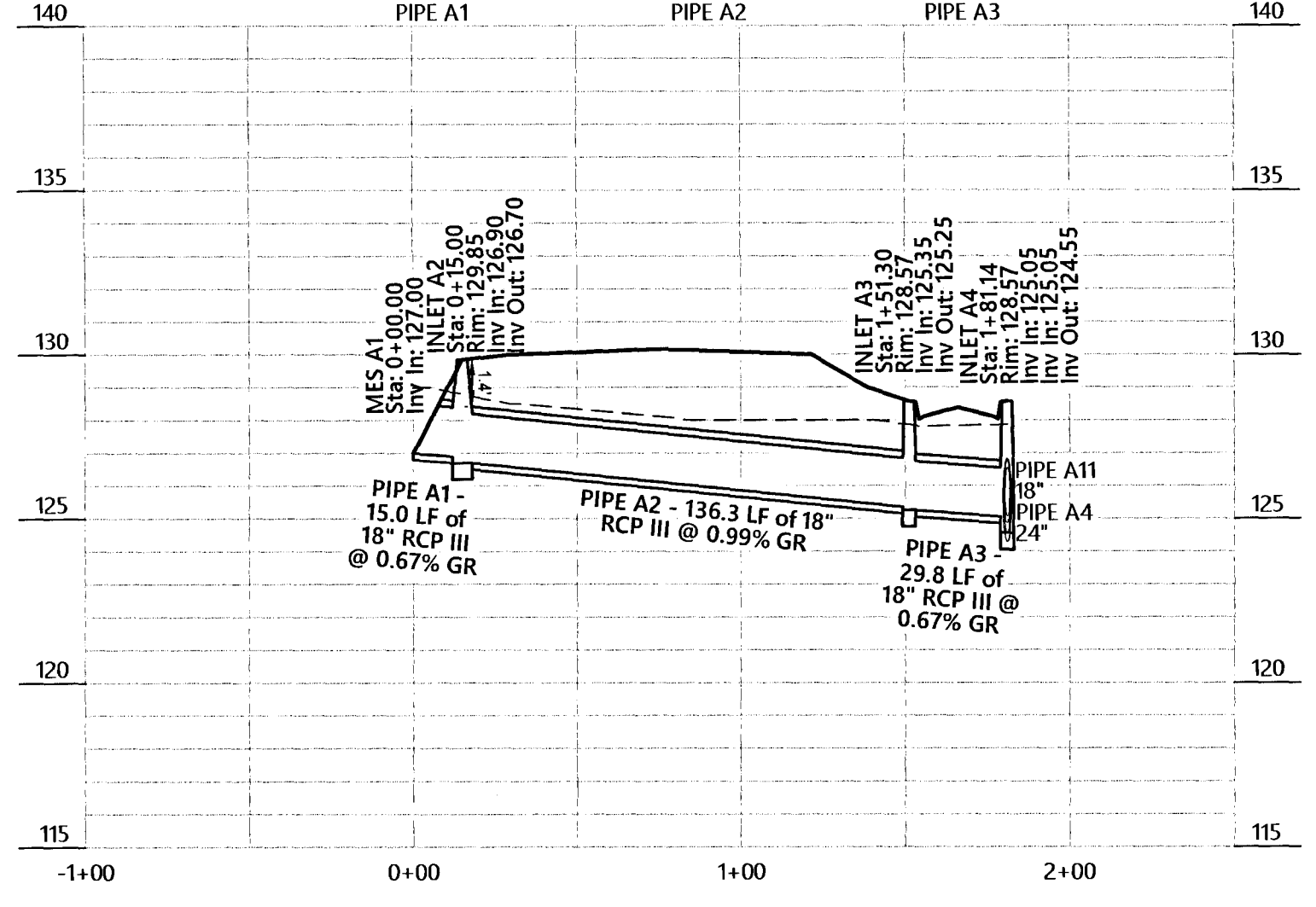
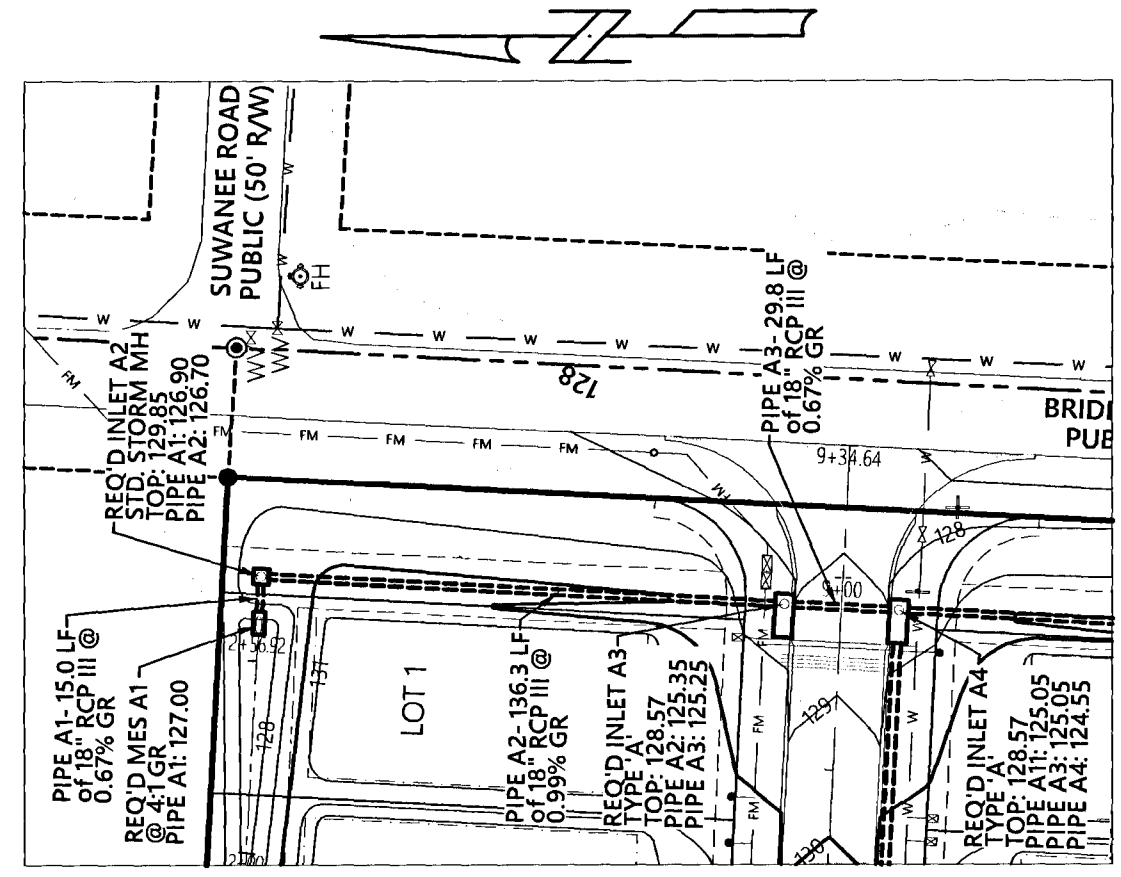
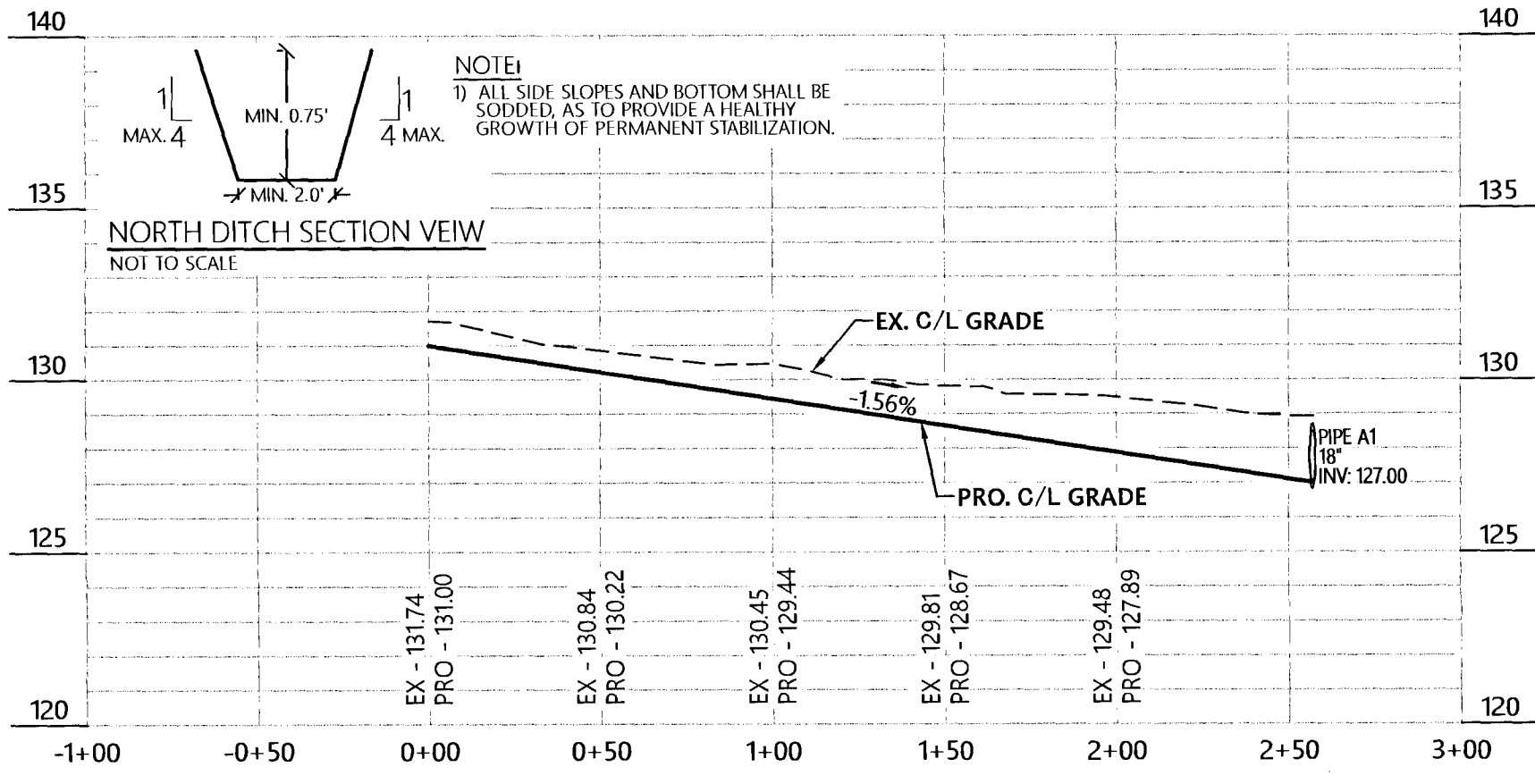
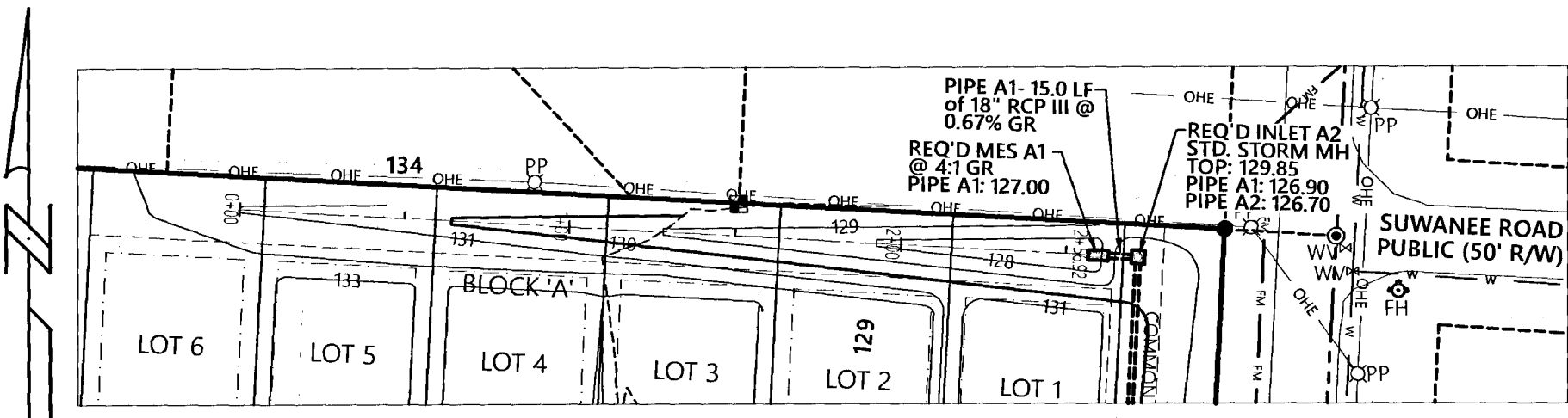
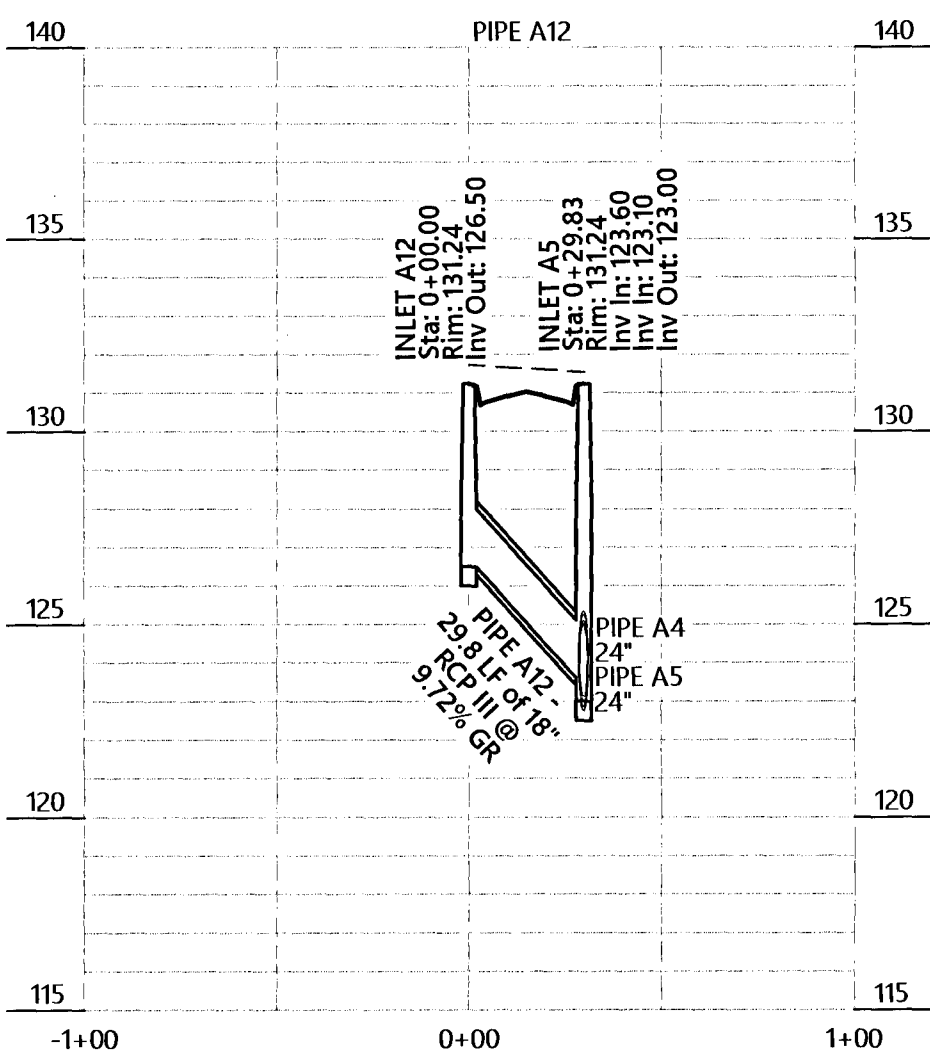
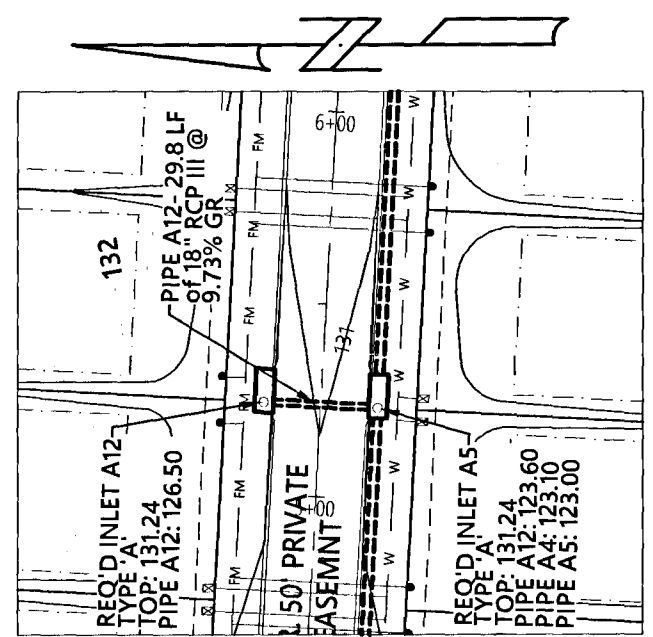
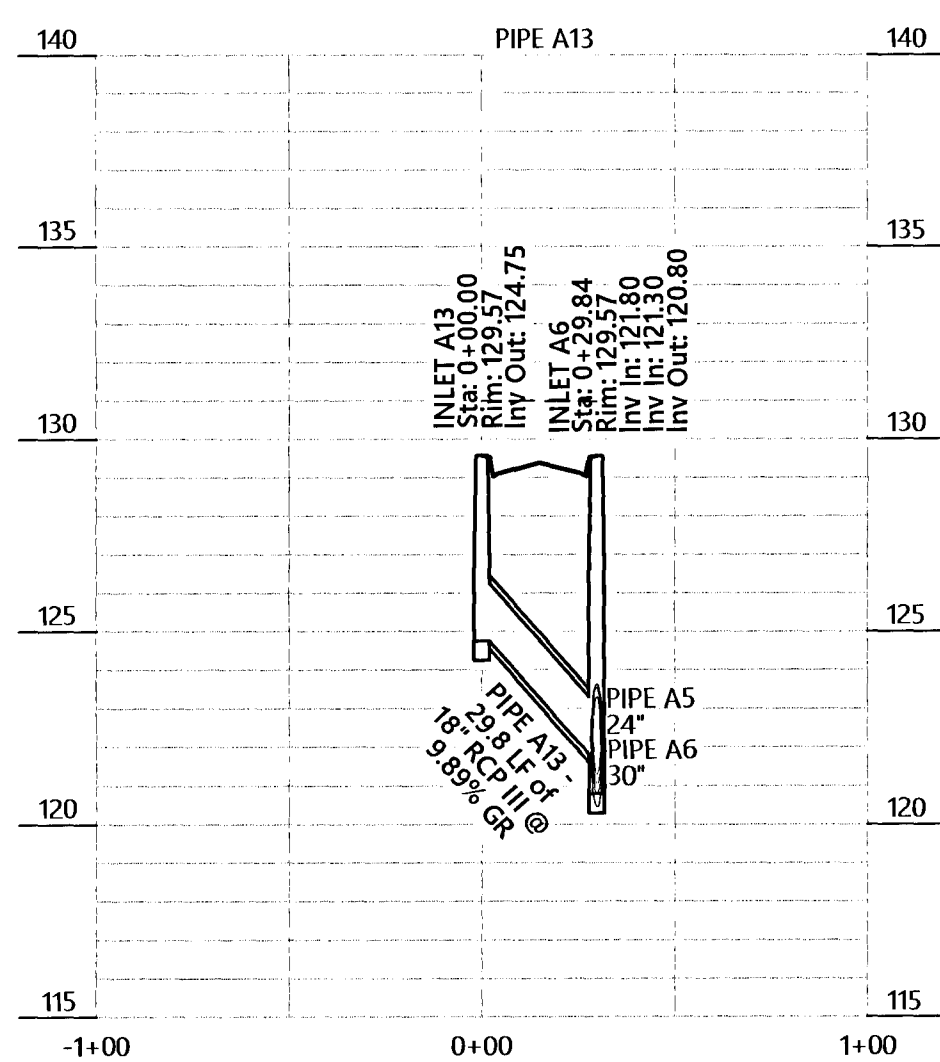
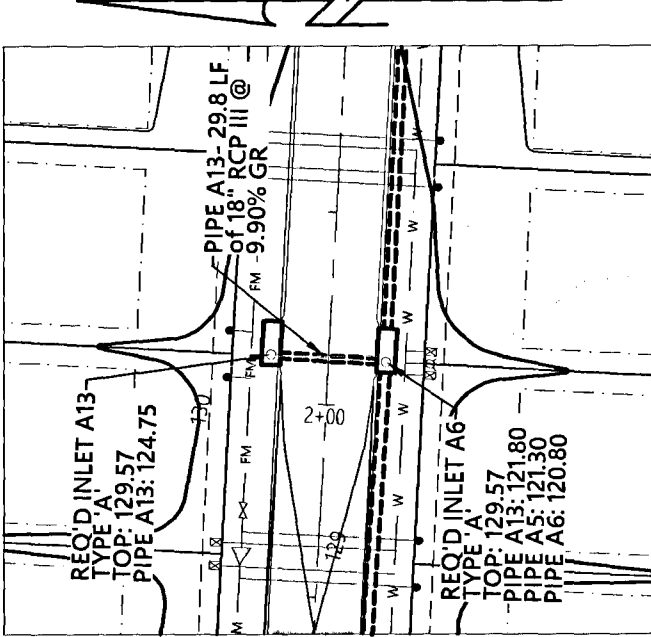
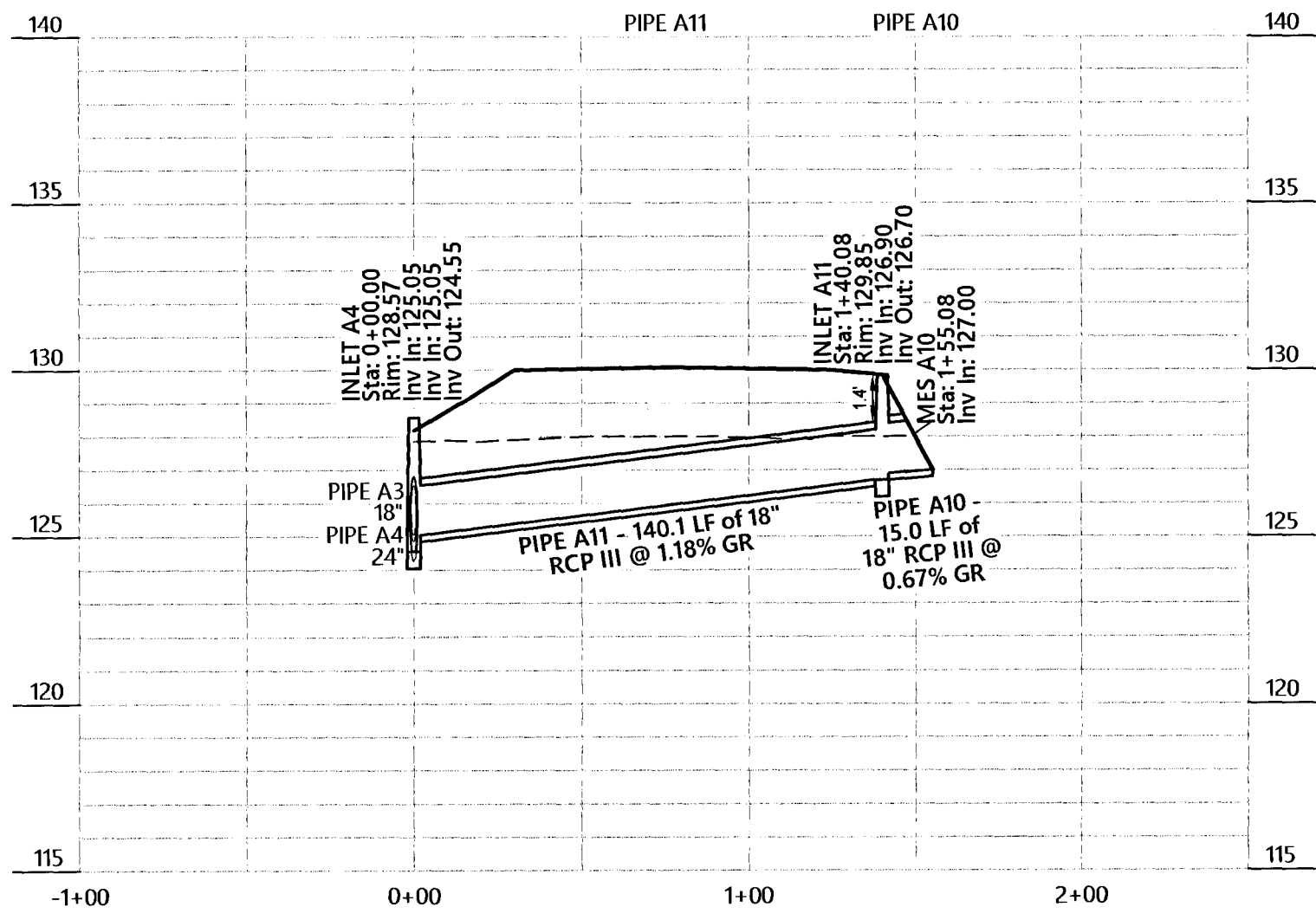
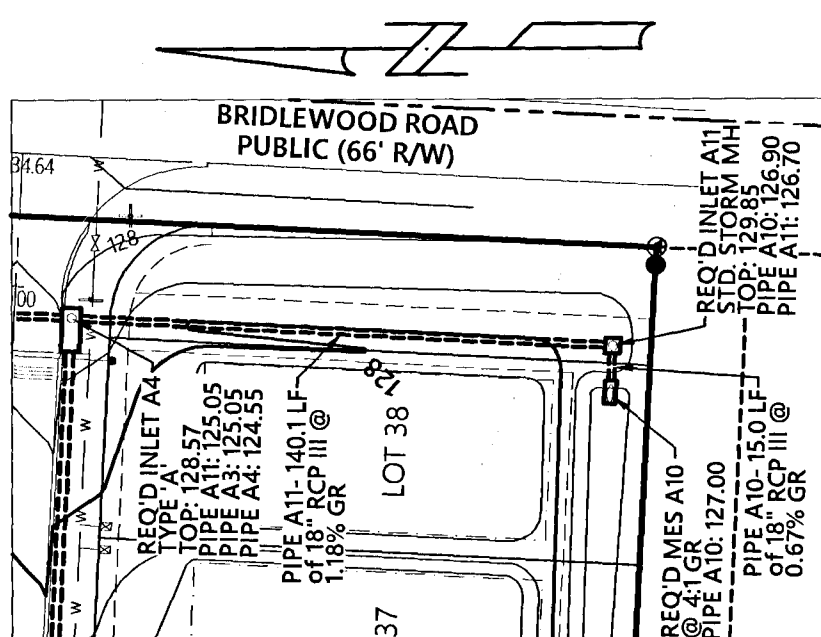
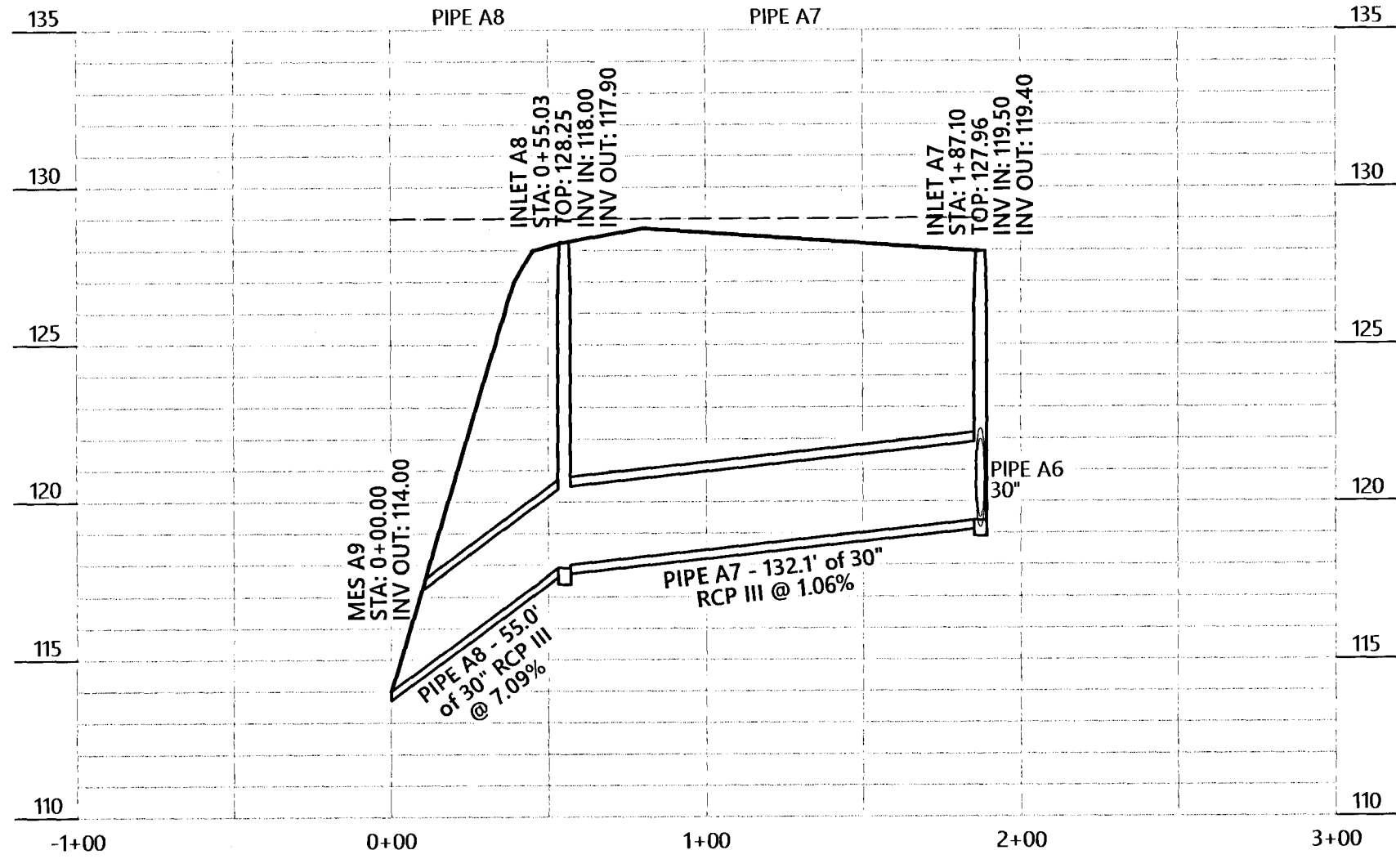
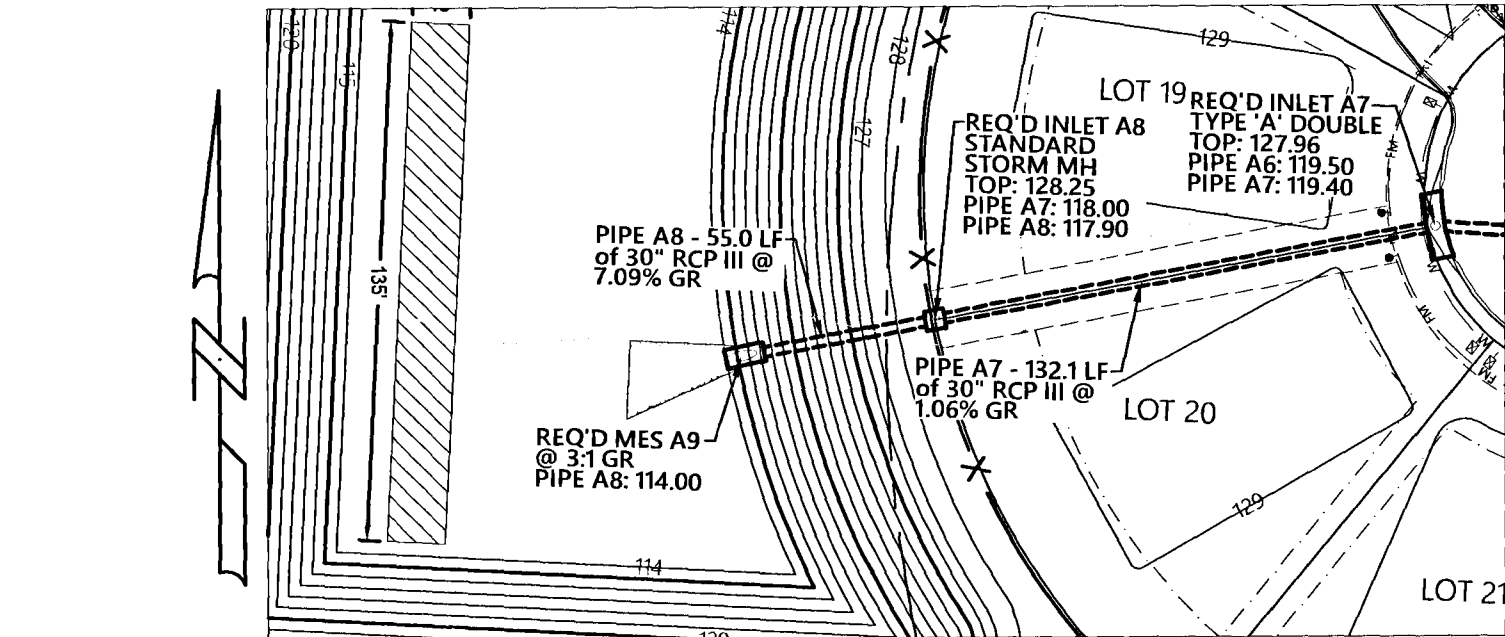
Construction Plans for
Whitetail Run
Escambia County, FL

Whitetail Run Drive
Plan & Profile

Job No. 20-124P
Date: 4/26/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER
13

PREPARED FOR: Breland Homes Coastal, LLC



GRADING NOTE
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REVISIONS

Date

Drawn By

Checked By

Date

Drawn By

Checked By

Date

Drawn By

Checked By

Date

Drawn By

Checked By

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MULLINS, LLC

CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING

801 W. Romana Street, Suite A Pensacola, FL 32502
(850) 462-8412

ERIC NEIL LANE, P.E.
FLORIDA PROFESSIONAL ENGINEER
No. 88922
12/19/2021

ERIC NEIL LANE, P.E. CO#A 32689
FL PE No. 86920

Construction Plans for

Whitetail Run

Escambia County, FL

Stormwater Profiles

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

14

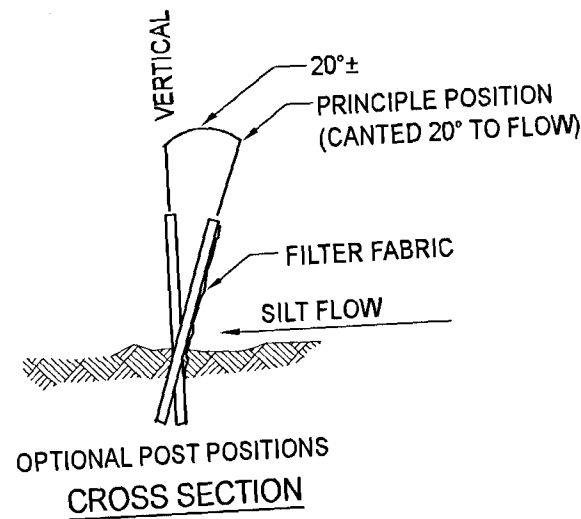
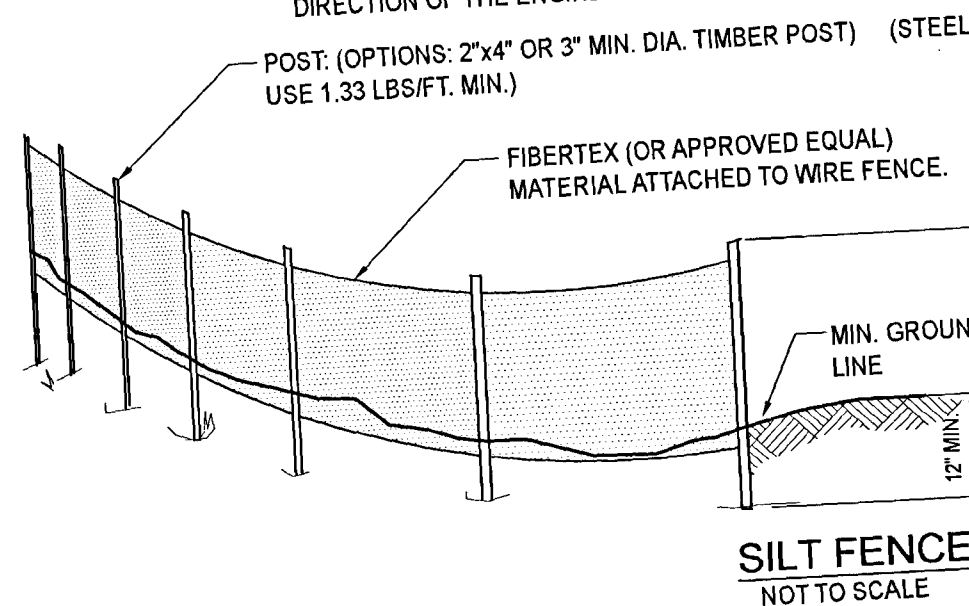
PREPARED FOR: Breland Homes Coastal, LLC

NOTES:

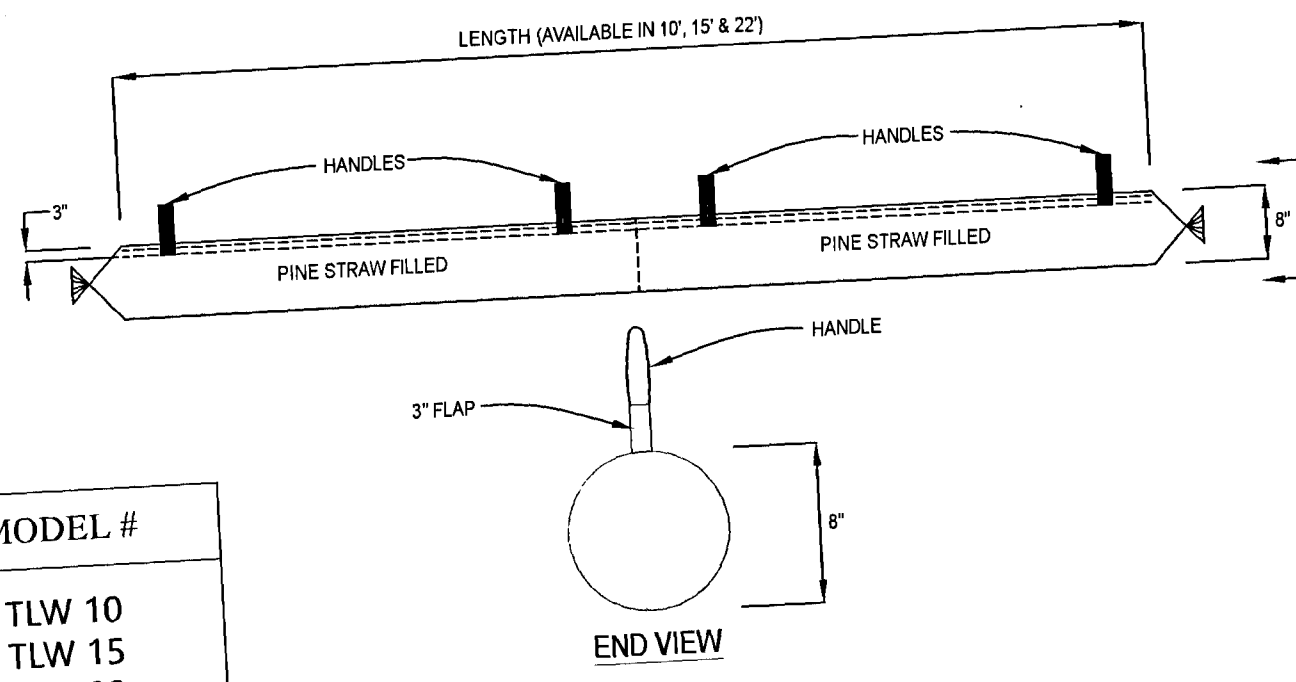
- SILT FENCE SHALL BE PLACED PRIOR TO ANY CONSTRUCTION ACTIVITY AND REMAIN UNTIL ALL DISTURBED MATERIAL HAS BEEN STABILIZED AND CONSTRUCTION HAS BEEN COMPLETED.
- THE CONSTRUCTION ENTRANCE SHALL BE SWEEPED WEEKLY DURING CONSTRUCTION IN ORDER TO REMOVE ANY SEDIMENT TRACKED ONTO THE ROADWAY. THE SILT FENCE SHALL BE CHECKED DAILY FOR PROPER OPERATION AND REPLACED AS NECESSARY.
- ANY EXCAVATED MATERIAL SHALL BE PROPERLY STORED OR DISPOSED OF OFF SITE BY THE CONTRACTOR. EXCAVATED MATERIAL REMOVED FROM THE PERMITTEE TO DETERMINE THE LOCATION OF MATERIAL DISPOSAL PRIOR TO BIDDING THE PROJECT. EXCAVATED MATERIAL REMOVED FROM THE SITE SHALL BE DONE SO PER STATE AND COUNTY REGULATIONS.
- IF DURING CONSTRUCTION OR OPERATION OF THE STORMWATER MANAGEMENT FACILITY A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDIAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE NWFWMF FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
- ALL INLETS ARE TO BE FITTED WITH A SEDIMENTATION FILTER DEVICE AS MANUFACTURED BY SILT-SAVER, INC. OR EQUAL. INLET FILTERS ARE TO BE INSPECTED AND MAINTAINED DAILY DURING CONSTRUCTION AND REMOVED AT PROJECT COMPLETION (FINAL BUILD-OUT). CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER.
- THE RESIDENTIAL LOTS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE UNTIL SUCH TIME AS A BUILDING PERMIT IS ISSUED FOR THE DWELLING, PER LAND DEVELOPMENT CODE.
- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND REMAIN IN GOOD WORKING ORDER UNTIL SITE IS STABILIZED.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT SODDERED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH AND/OR HYDROSEED. SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105.
- CONTRACTOR SHALL COORDINATE ANY REQUIRED STOCKPILE LOCATIONS WITH ESCAMBIA COUNTY INSPECTOR AND STAFF.

NOTES:

- TWO ROWS OF SILT FENCE SHALL BE PLACED ALONG WETLAND EDGE.
- BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.



SILT FENCE NOTE:
1. WIRE BACKED SILT FENCE SHALL BE USED ALONG THE FRONT OF TYPICAL LOTS AND STAKED SILT FENCE FOR ALL OTHER NECESSARY SITES. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS.



MODEL #
TLW 10
TLW 15
TLW 22

WEIGHTED TRAVEL LANE WATTLE WITH PINE STRAW
IN HIGH VISIBILITY GREEN

MATERIAL: HIGH VISIBILITY GREEN
FABRIC MATERIAL: POLYESTER
SCALE: NOT TO SCALE
LAST UPDATED: JULY 2015

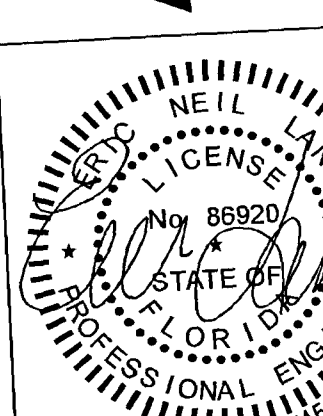
Scale: 1" = 50'

HATCHING DENOTES
CLEARING &
GRUBBING LIMITS

REVISIONS

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SURVEYING
801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412



ERIC NEIL LANE, P.E. CO# 32689
FL PE No. 85920

Construction Plans for
Whitetail Run
Escambia County, FL

Erosion Control Plan

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

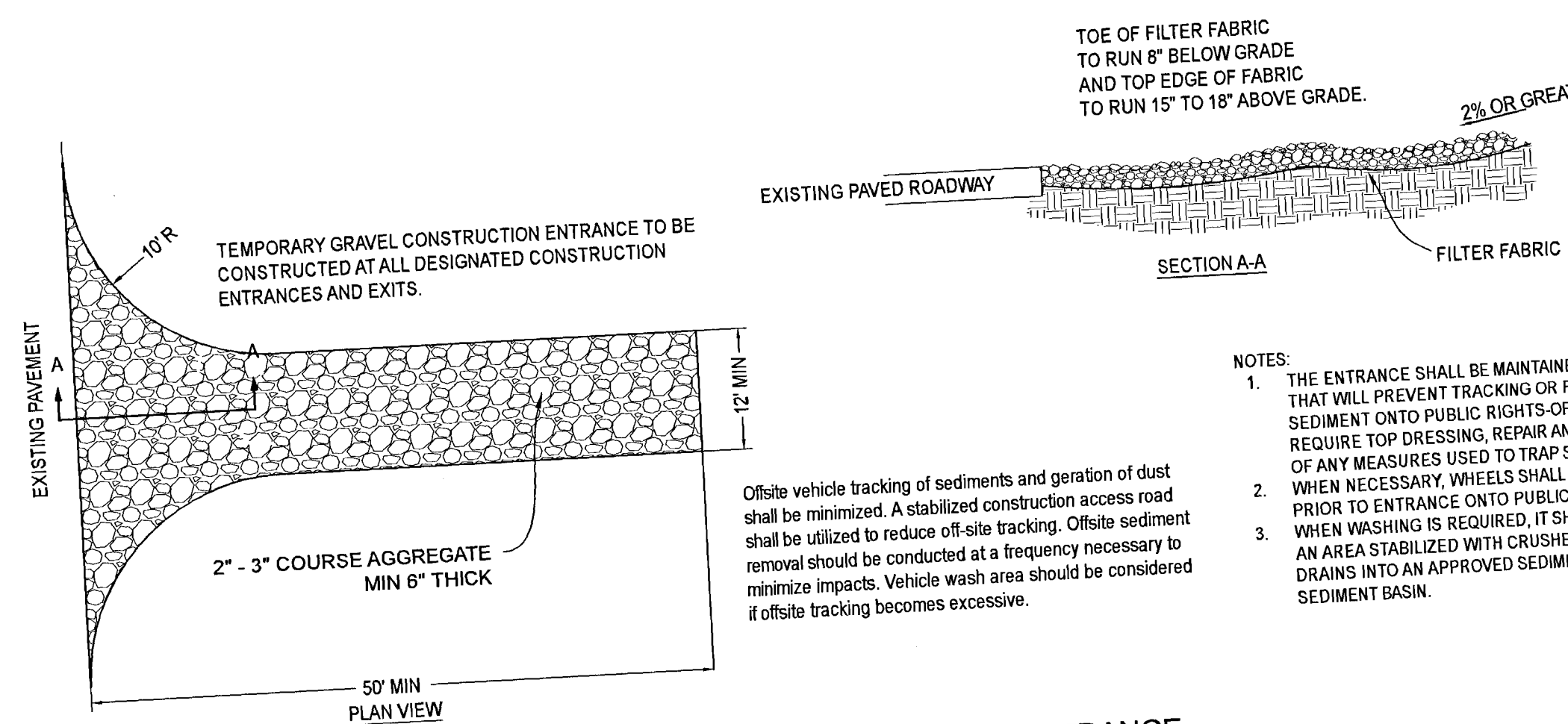
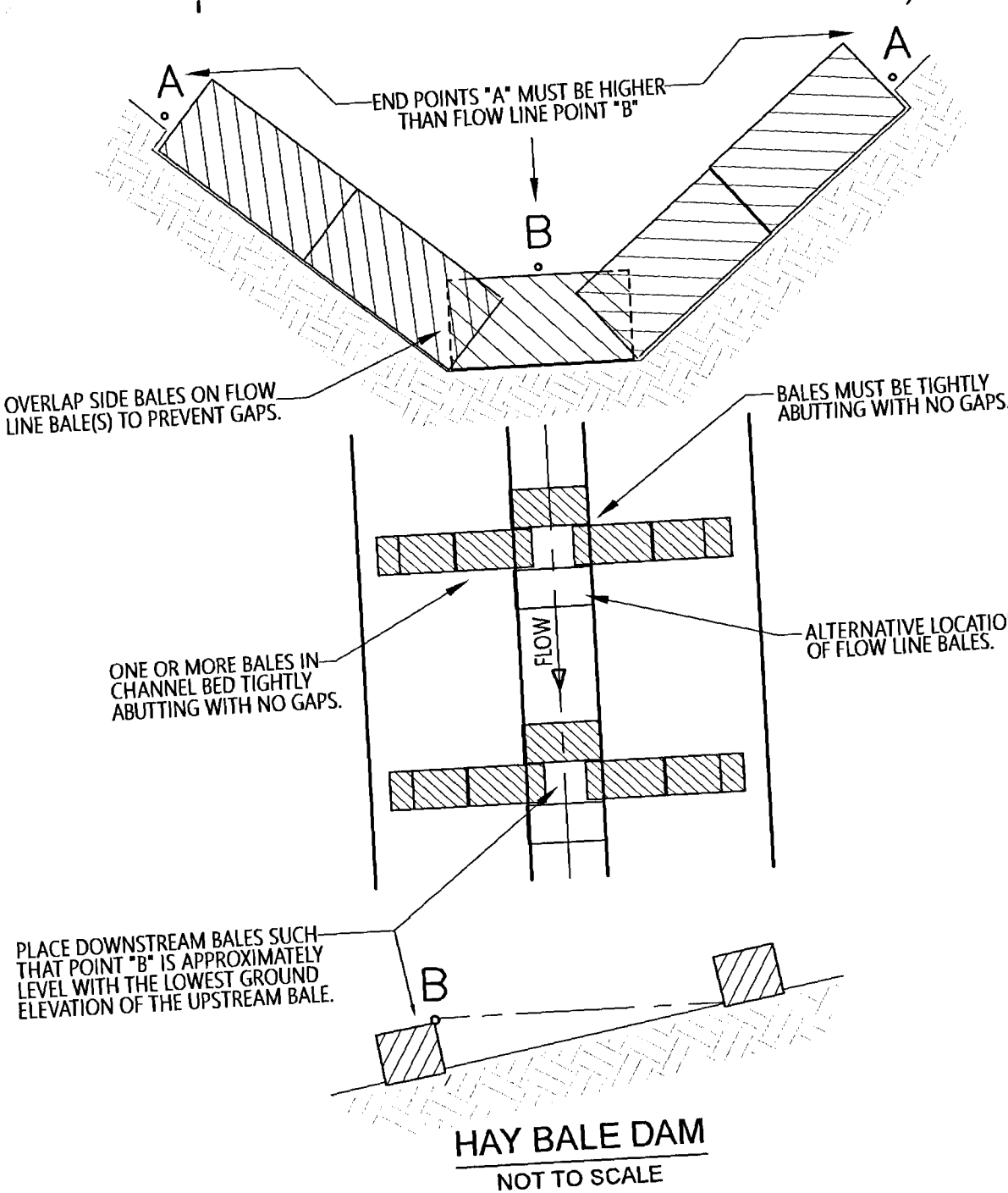
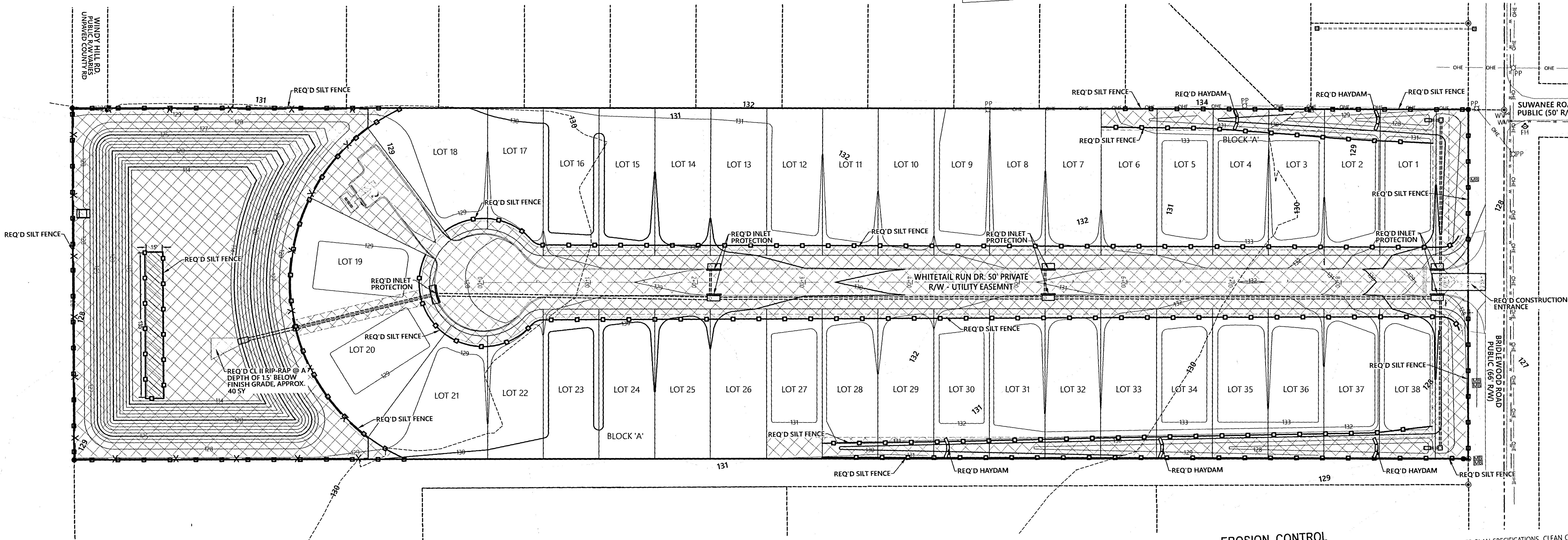
SHEET NUMBER

15

EROSION CONTROL

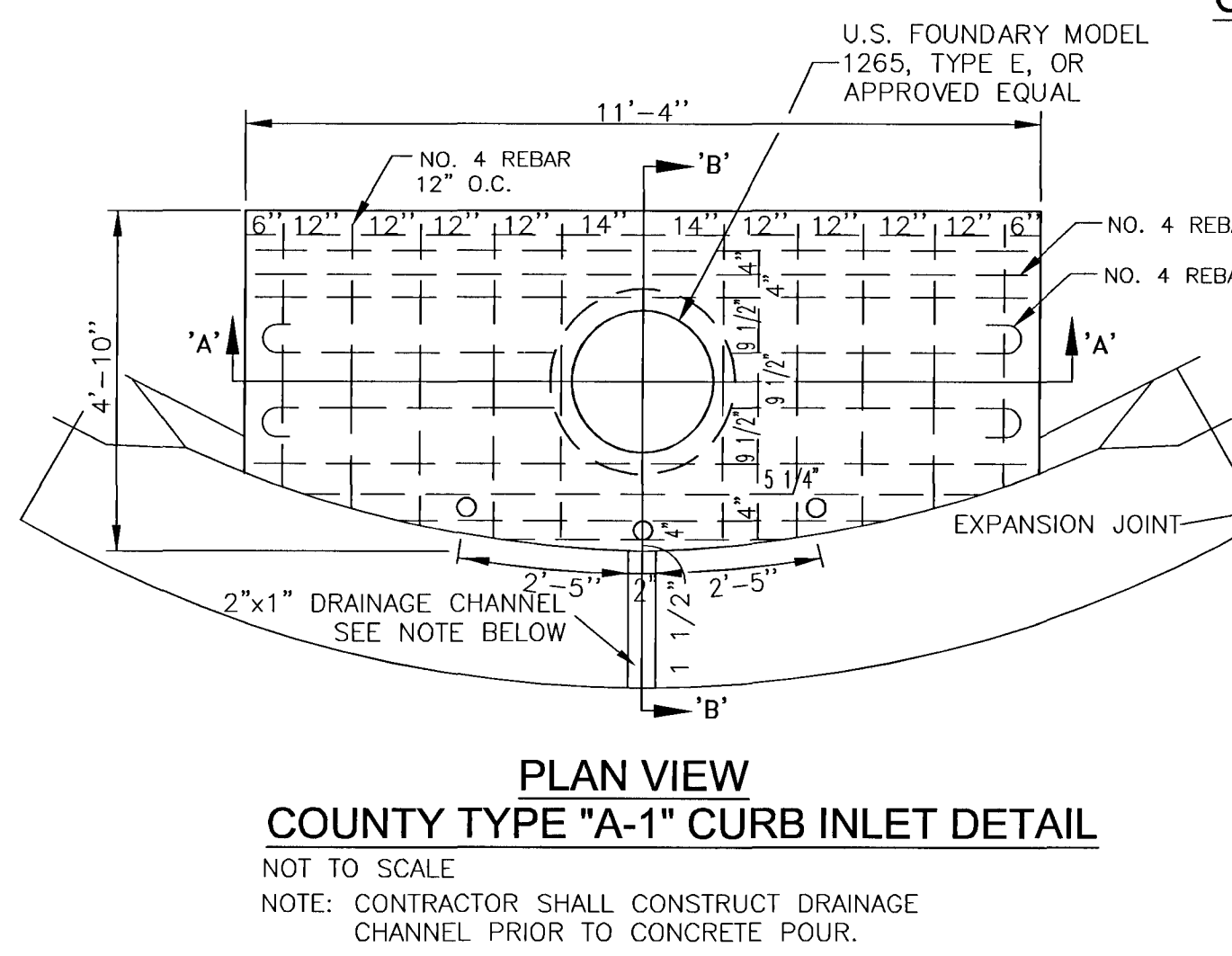
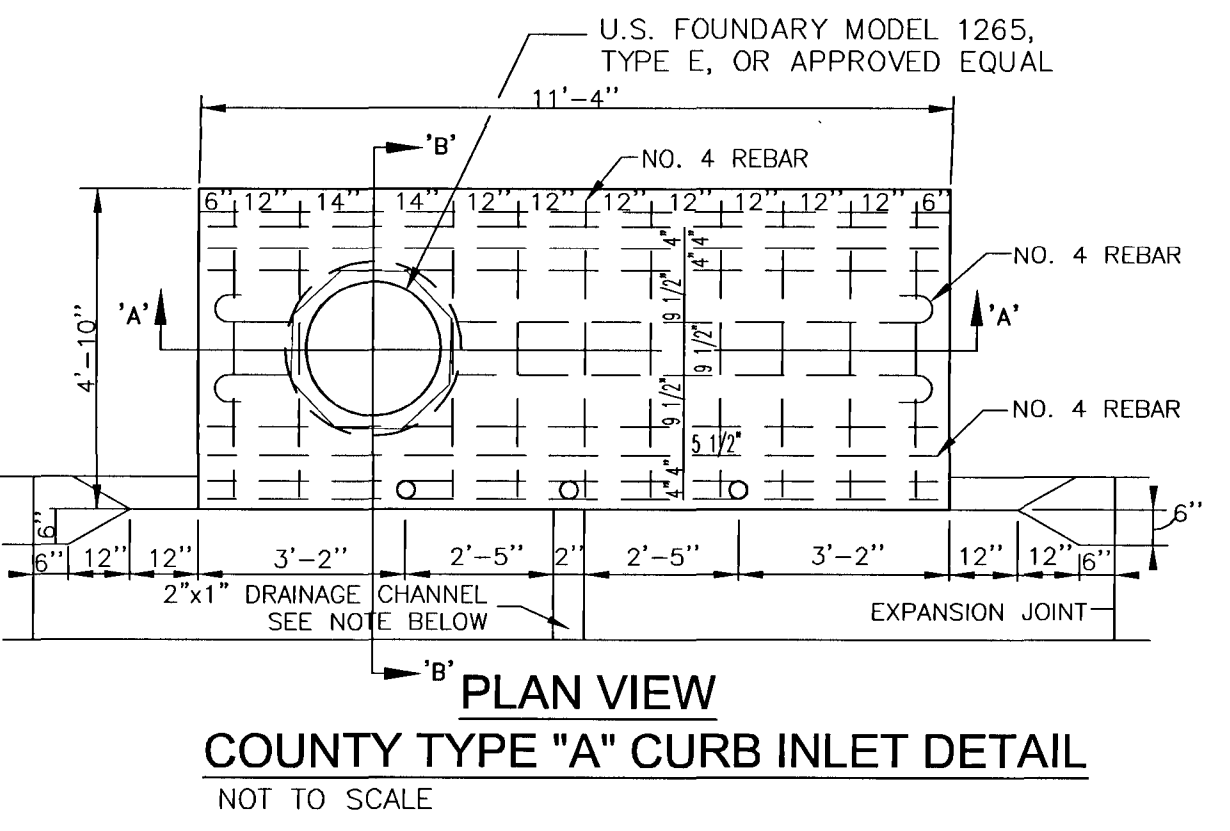
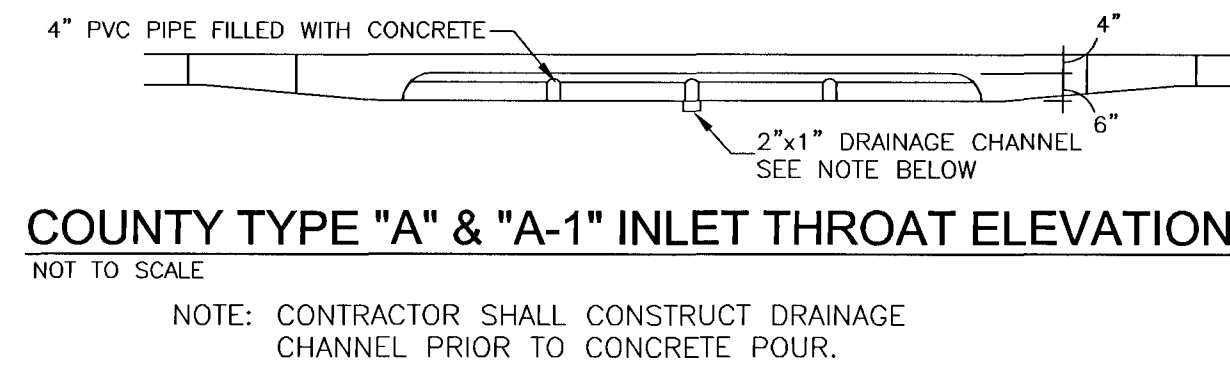
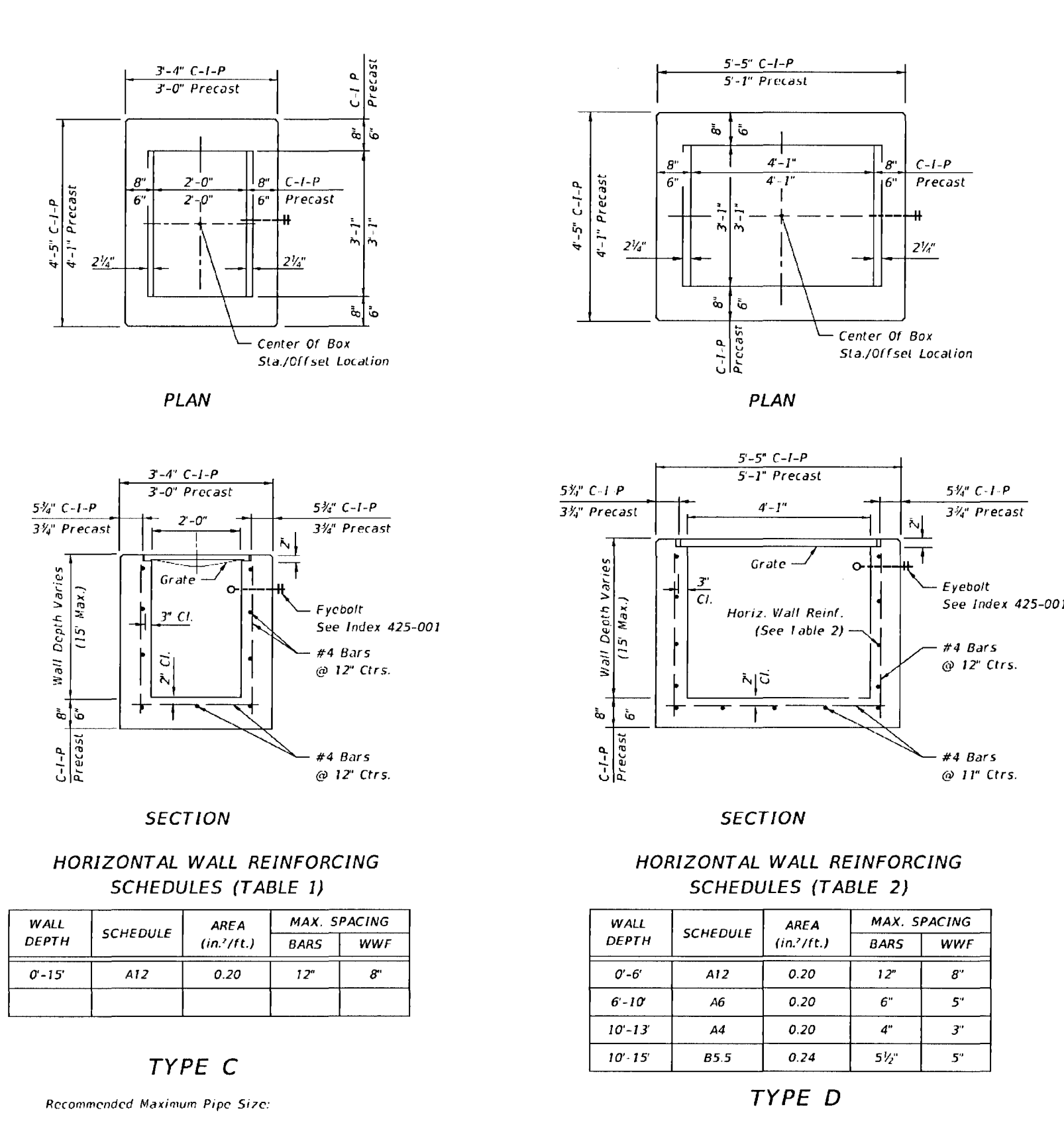
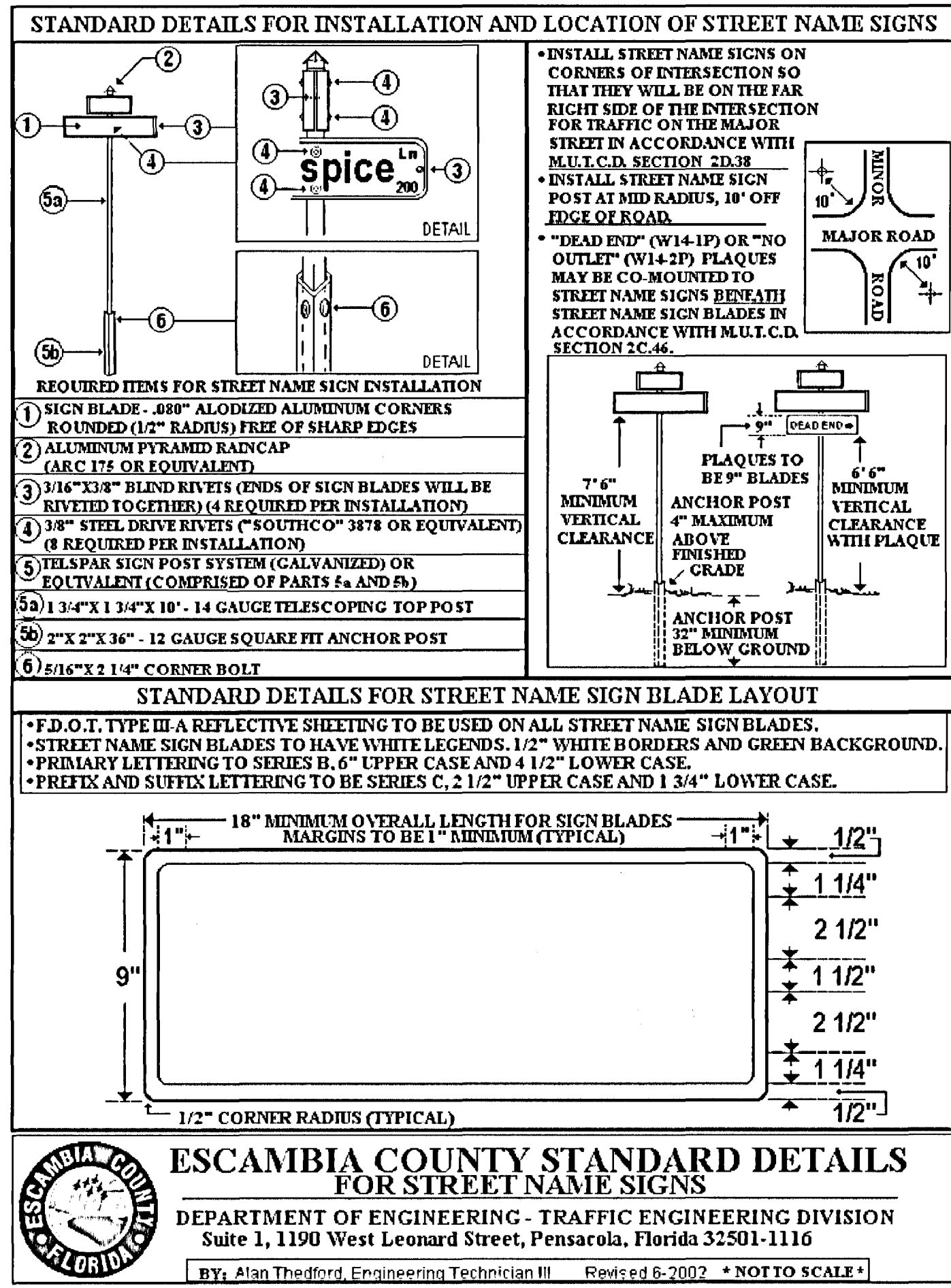
- "DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD."
- "ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 90 DAYS."
- "TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWMF."
- "A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE."
- SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD. UTILITY CROSSINGS SHALL BE INSTALLED PRIOR TO THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY."
- "ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. THIS NOTE SHOULD ALSO INDICATE A MINIMUM 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF ROAD IS IN CUT."
- "THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES."
- "ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT."

GRADING NOTE
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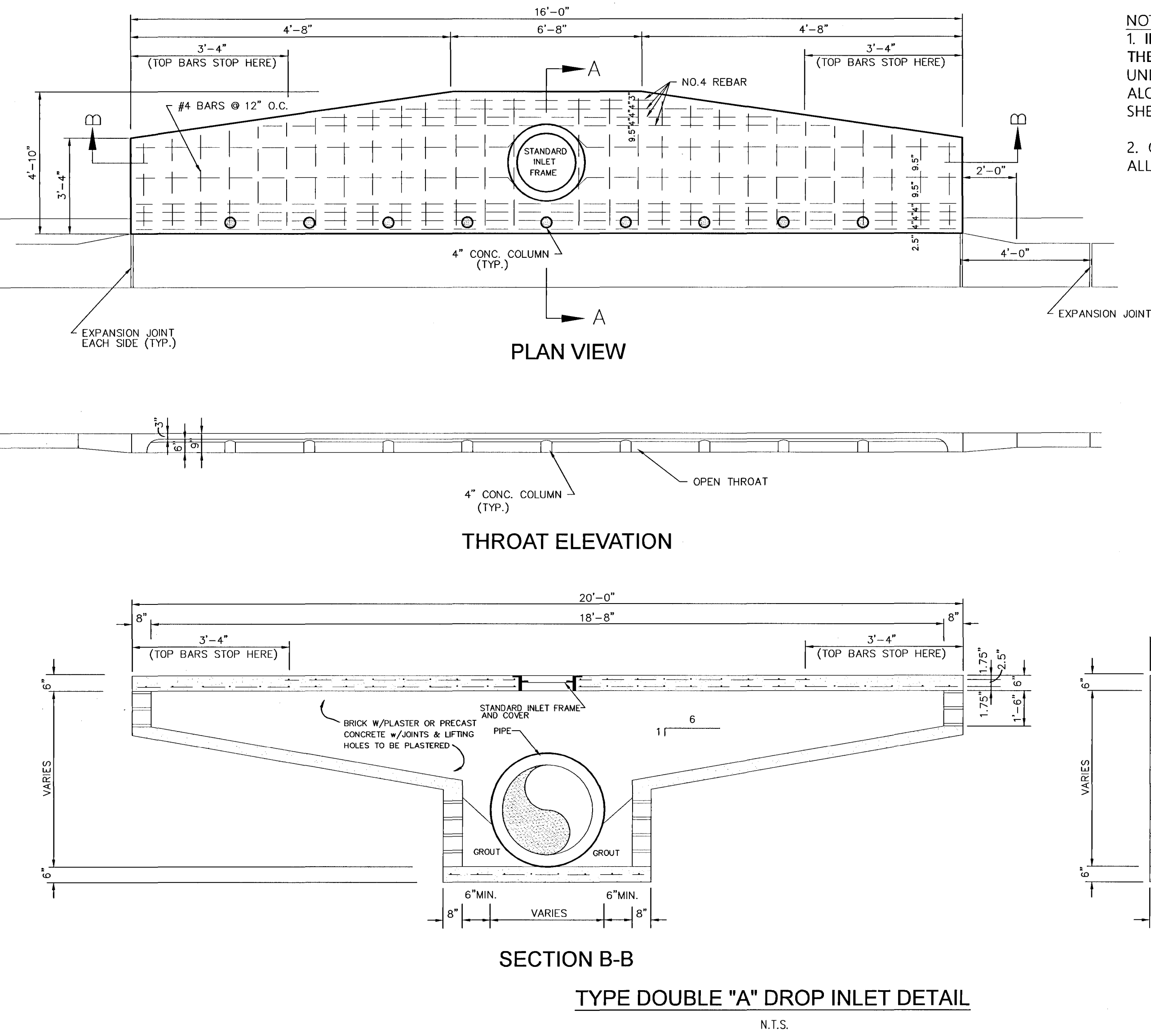
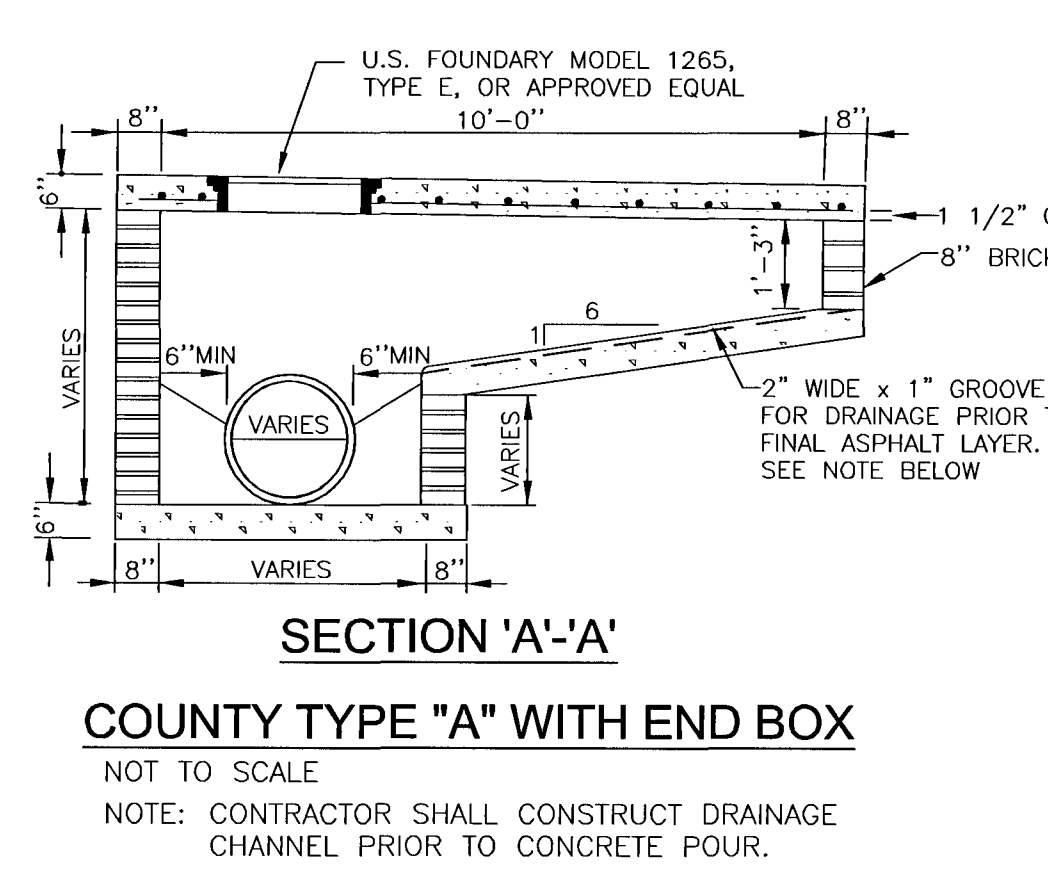
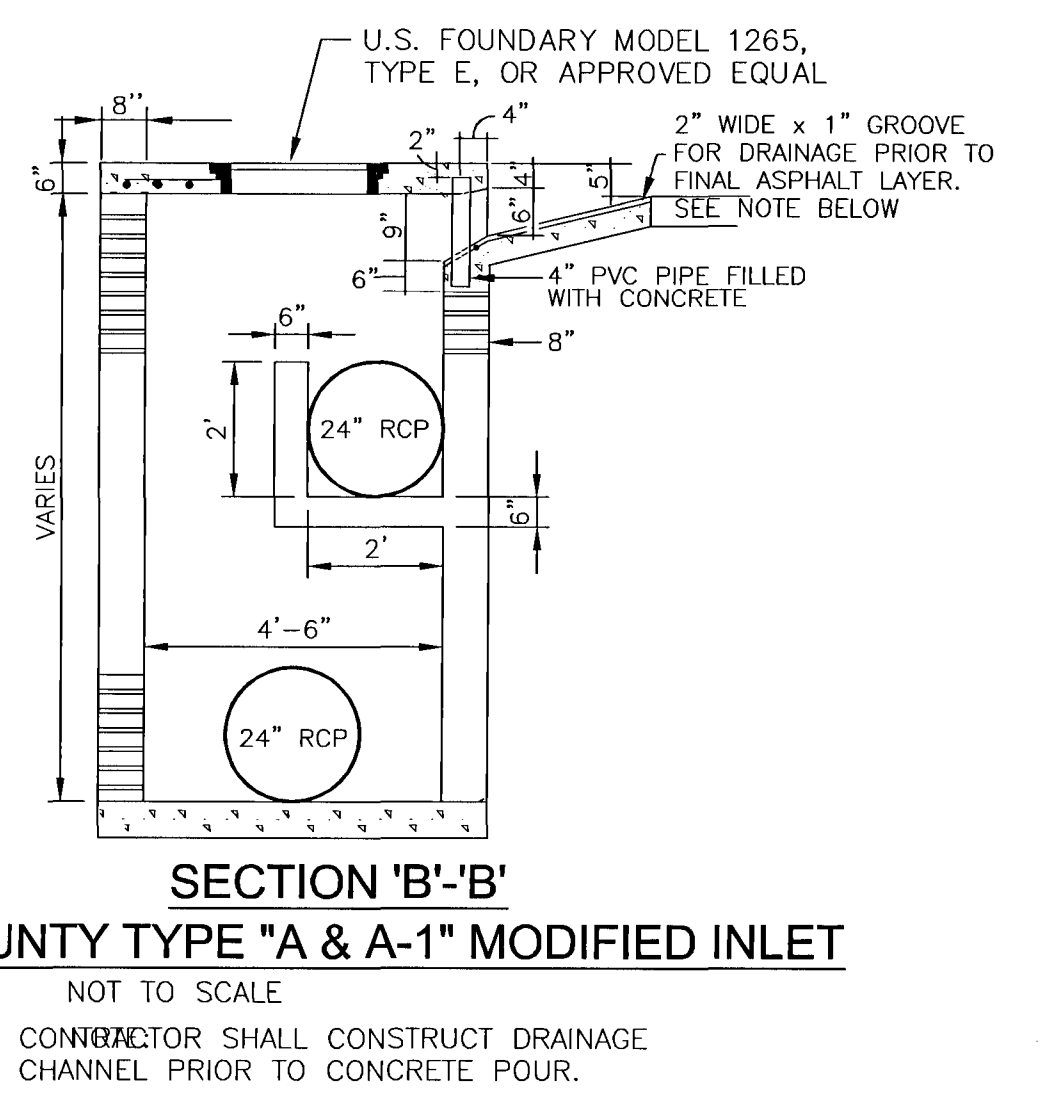
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.



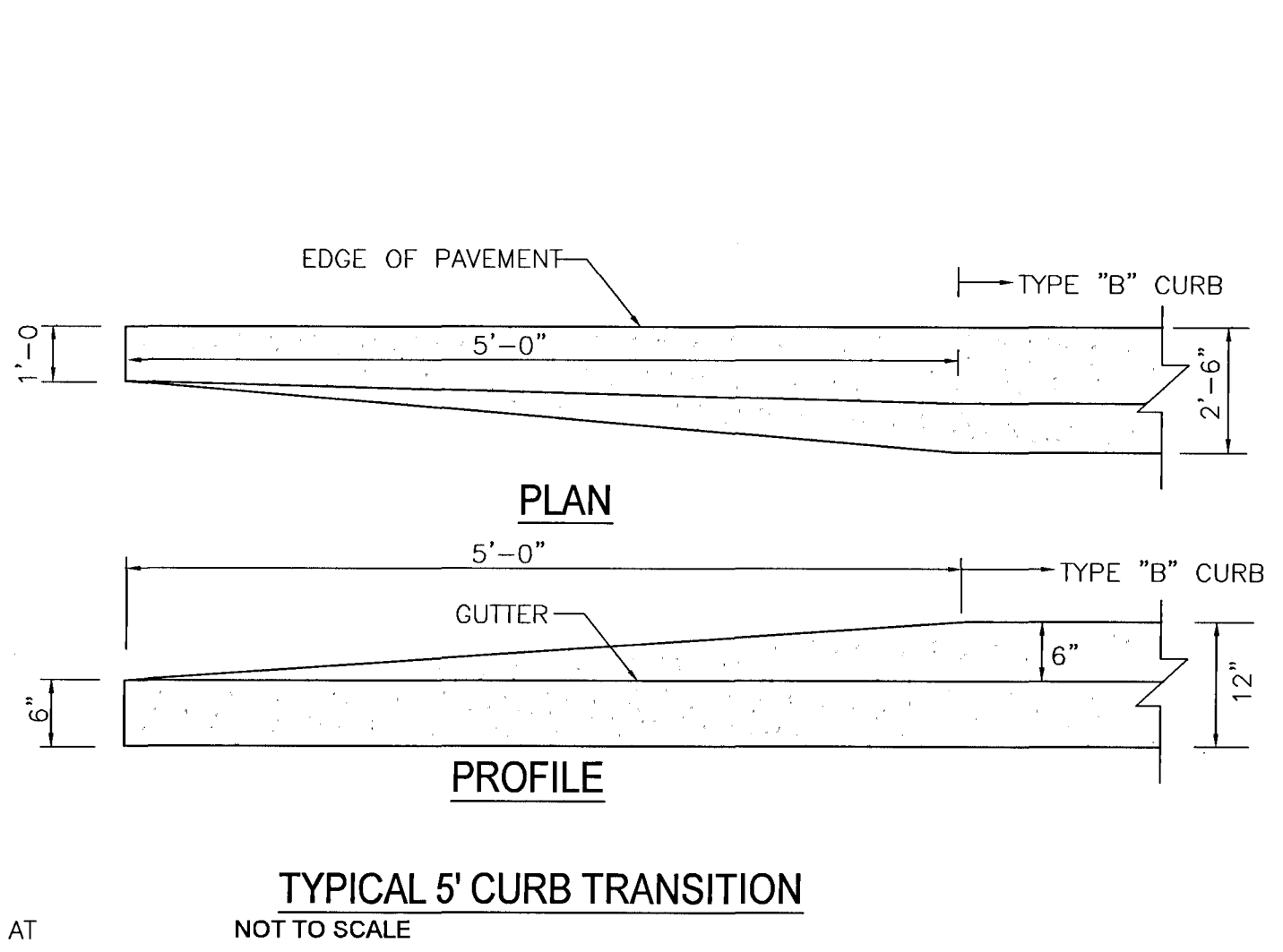
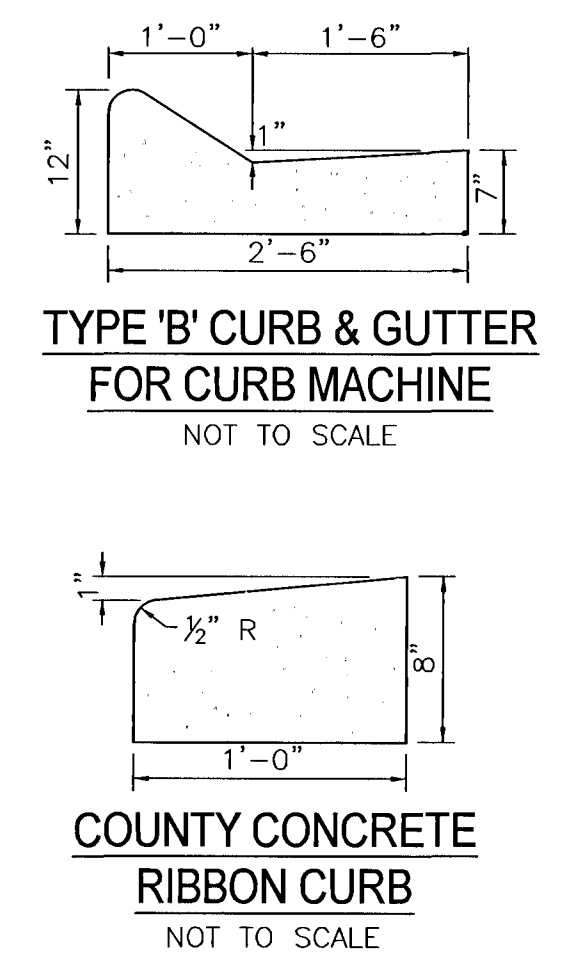
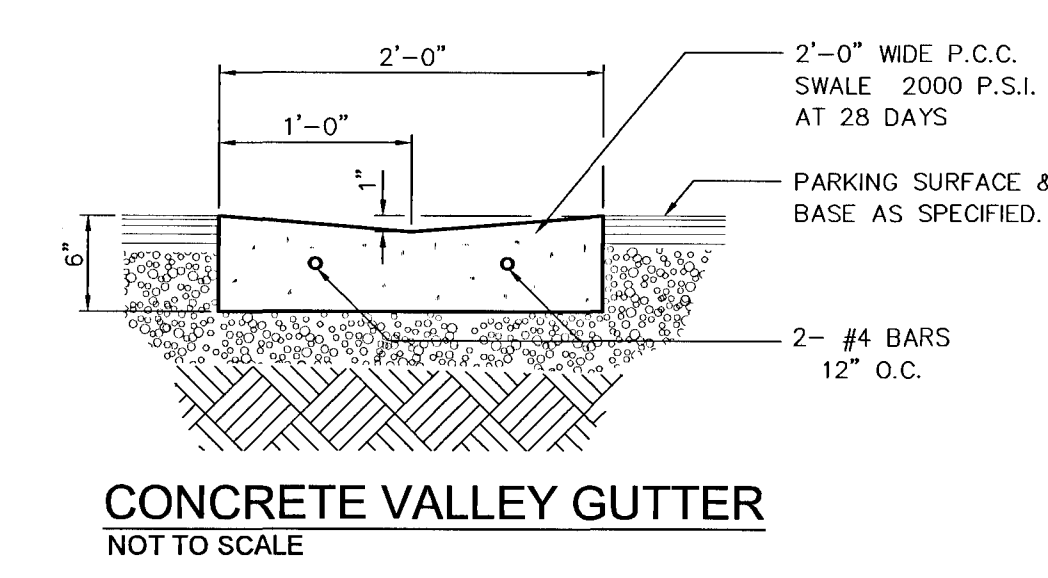
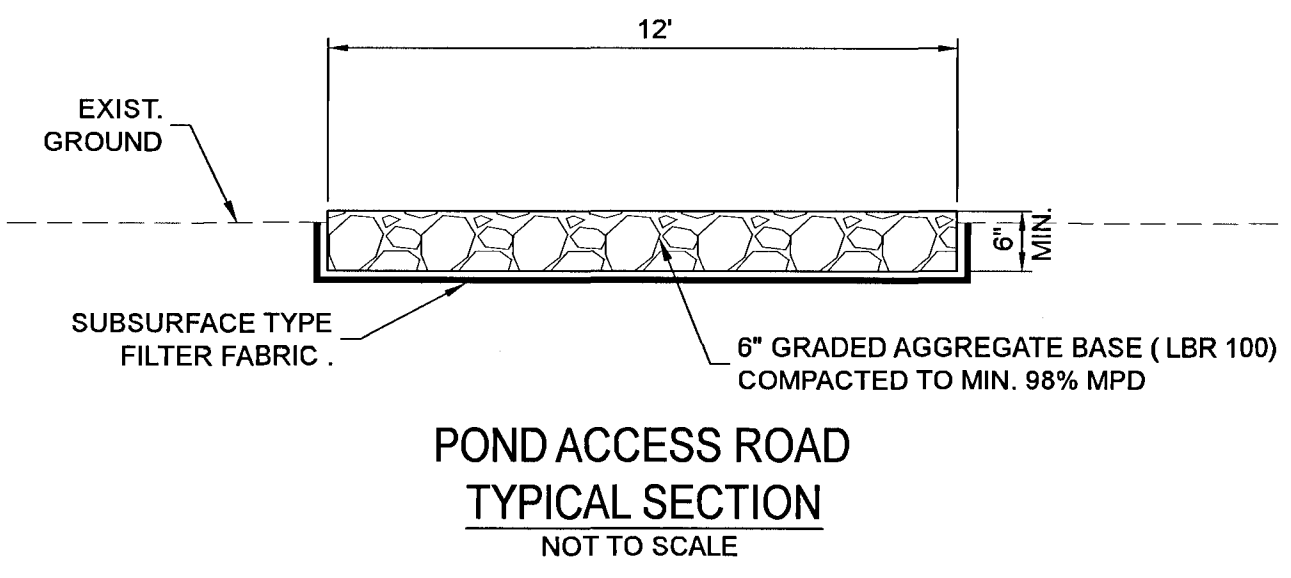
NOTES:

- IF PERCHED GROUNDWATER IS ENCOUNTERED THE CONTRACTOR SHALL INSTALL 30 LF OF TYPE 1 UNDERDRAIN ON BOTH SIDES OF EVERY INLET ALONG THE STREET, AS NEEDED. SEE DETAIL ON SHEET 18.
- CONTRACTOR SHALL COORDINATE STEPS IN ALL INLETS AND STRUCTURES DEEPER THAN 4'.



NOTES:

- IF PERCHED GROUNDWATER IS ENCOUNTERED THE CONTRACTOR SHALL INSTALL 30 LF OF TYPE 1 UNDERDRAIN ON BOTH SIDES OF EVERY INLET ALONG THE STREET, AS NEEDED. SEE DETAIL ON SHEET 18.
- CONTRACTOR SHALL COORDINATE STEPS IN ALL INLETS AND STRUCTURES DEEPER THAN 4'.



NOTES:

- ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
- EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB. CONCRETE TO BE 3000 PSI.

REVISIONS

Date	By	Description

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801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412

NEIL LANE
Professional Engineer
No. 86920
State of Florida
Exp. 12/31/2021

ERIC NEIL LANE, P.E. CO.# 32689
FL PE No. 86920

Construction Plans for
Whitetail Run
Escambia County, FL

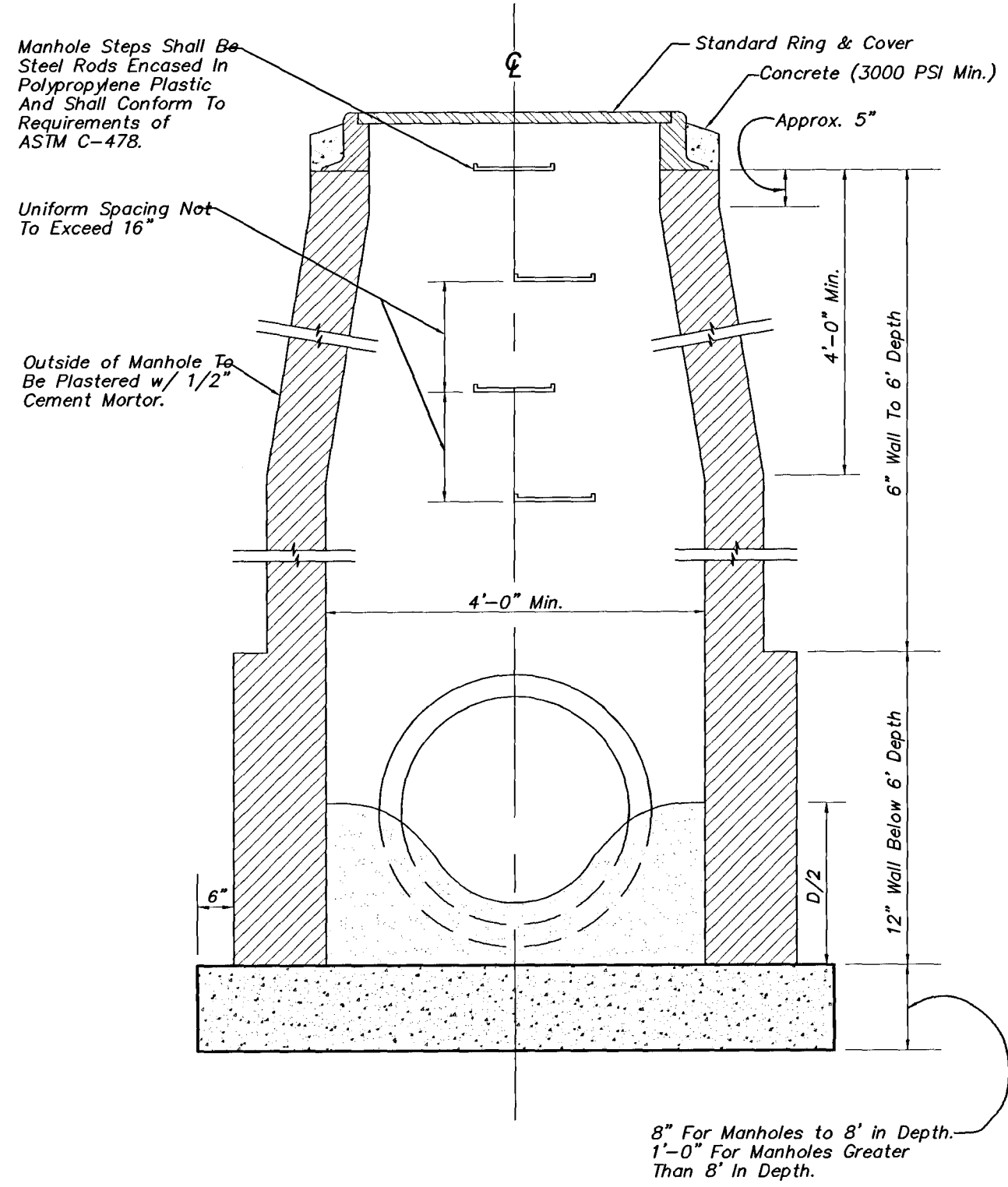
PREPARED FOR: Breland Homes Coastal, LLC

Details

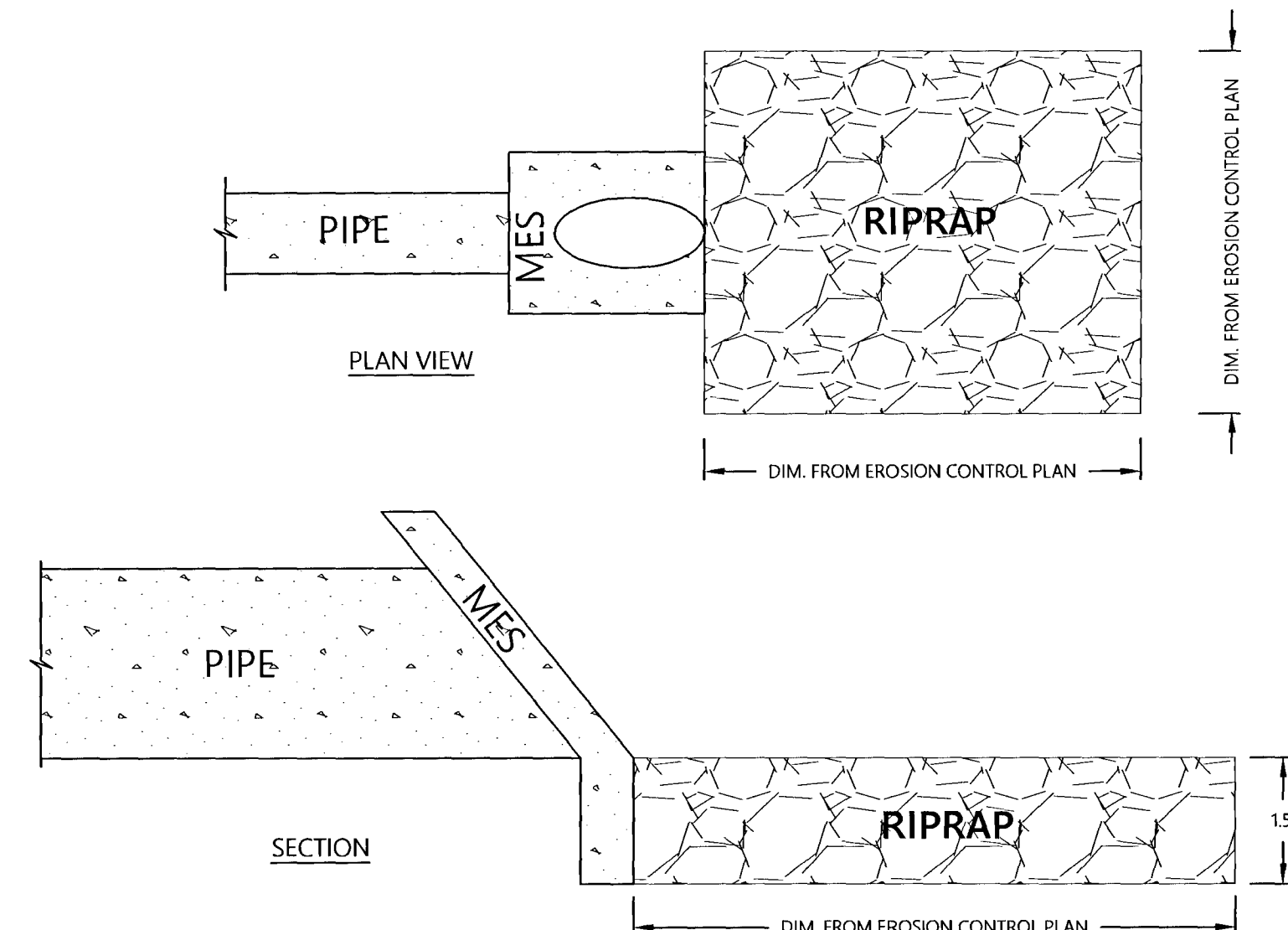
Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

16



STANDARD STORM SEWER MANHOLE
NOT TO SCALE



RIPRAP (CLASS II) INSTALLATION DETAIL
NOT TO SCALE

GENERAL NOTES

- ALL SIGN INSTALLATIONS MUST COMPLY WITH THE LATEST *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)* SPECIFICATIONS.
- ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC AND COMPLY WITH SECTION 711 OF F.D.O.T.'s *STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION*.
- STOP BAR APPLICATION IS NOT REQUIRED AT THE INTERSECTION OF TWO RESIDENTIAL ROADWAYS AND / OR ROADWAYS LOCATED WITHIN INTERIORS OF A SUBDIVISION UNLESS SPECIFICALLY NOTED OTHERWISE.

1 STOP SIGN

SIGN PLACEMENT: LOCATE SIGN ADJACENT TO POINT OF CURVATURE (p.c.) OF CURBING OR EDGE OF ASPHALT TURN OUT. LATERAL CLEARANCE (W/ CURB): NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 1 FOOT FROM BACK OF CURB (EXCLUDES RIBBON CURB). LATERAL CLEARANCE WITHOUT CURB: NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 6' FROM EDGE OF ASPHALT (INCLUDES RIBBON CURB). VERTICAL CLEARANCE: SIGN SHALL DISPLAY A MINIMUM VERTICAL CLEARANCE OF 7 FEET (MEASURED FROM BOTTOM OF SIGN BLADE TO LEVEL OF ADJACENT ROADWAY).

2 STREET NAME SIGN

SIGN PLACEMENT: LOCATE STREET NAME SIGN AT MID-RADIUS POINT OF TURN OUT ON SAME SIDE OF STREET AS STOP SIGN. NOTE: SEE *ESCAMBIA COUNTY STANDARD DETAILS FOR STREET NAME SIGNS* FOR FURTHER FABRICATION, LOCATION AND INSTALLATION REQUIREMENTS.

3 24" STOP BAR

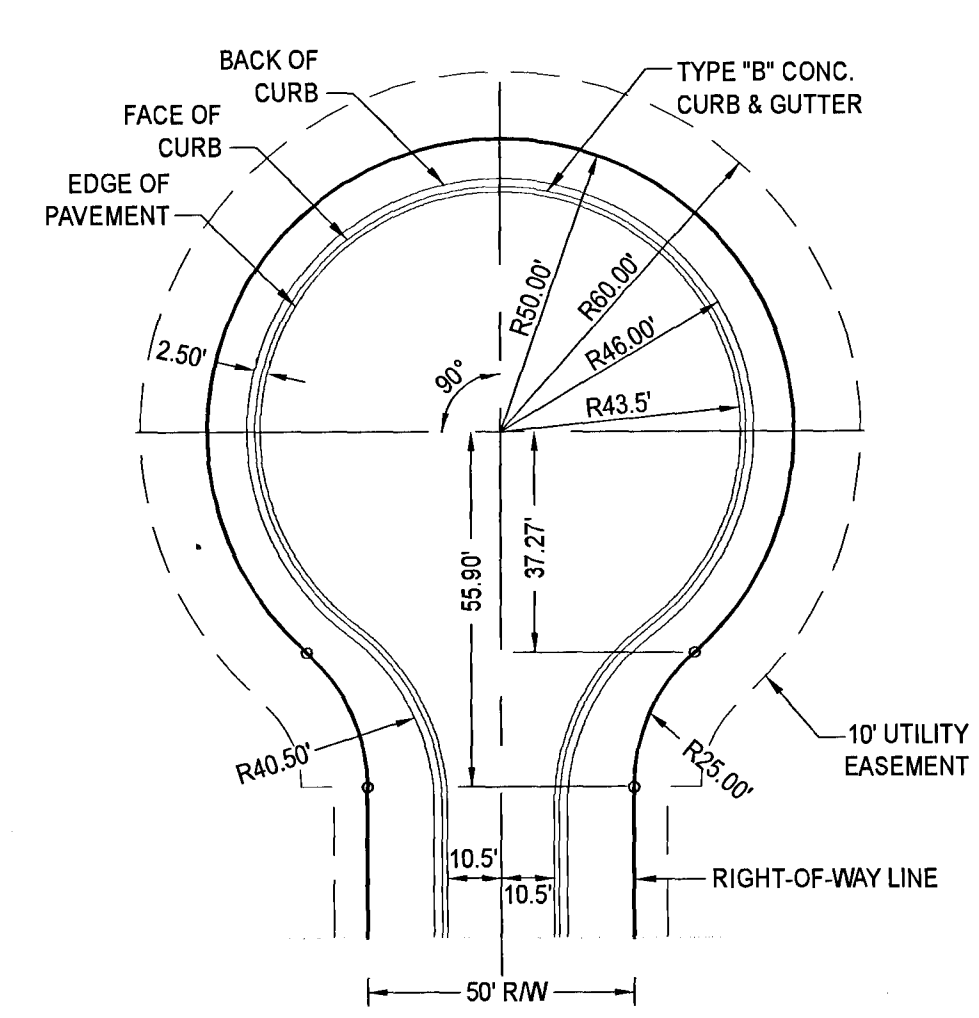
OPTIONAL (SEE GEN. NOTE # 3).

PLACEMENT: LEADING EDGE OF STOP BAR CANNOT BE LESS THAN 4 FEET IN ADVANCE OF INTERSECTING EDGE OF TRAVELED WAY OR MARKED / UNMARKED CROSSWALK. STOP BAR MUST BE LOCATED AS TO PROVIDE ADEQUATE INTERSECTION SIGHT DISTANCE PER F.D.O.T.'s *DESIGN STANDARDS INDEX # 540*.

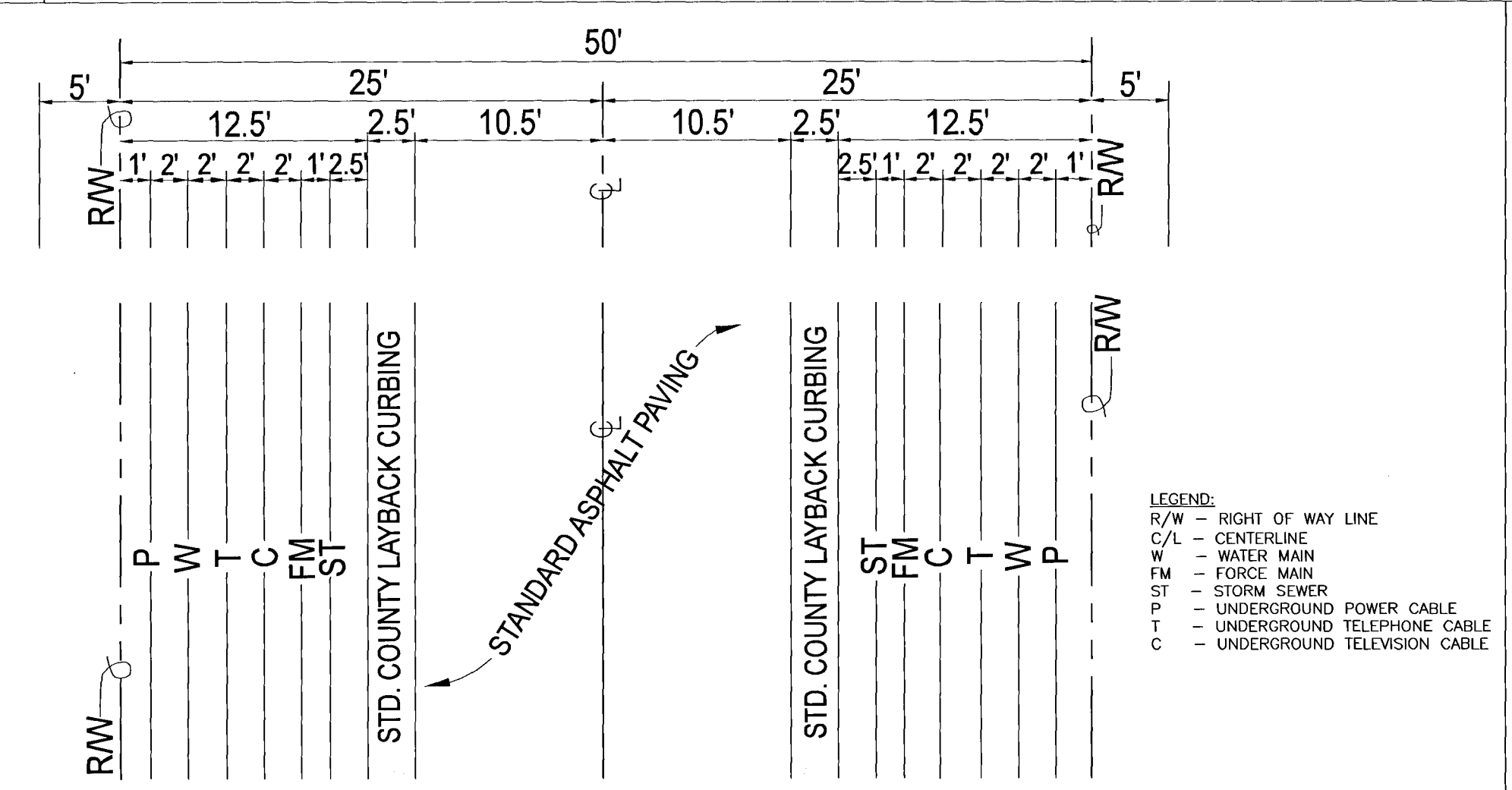
INSTALLATION DETAILS

TRAFFIC CONTROL SIGNS & MARKINGS FOR NEW RESIDENTIAL INTERSECTIONS

ACCEPTABLE PER CURRENT ESCAMBIA COUNTY INSPECTION PRACTICES



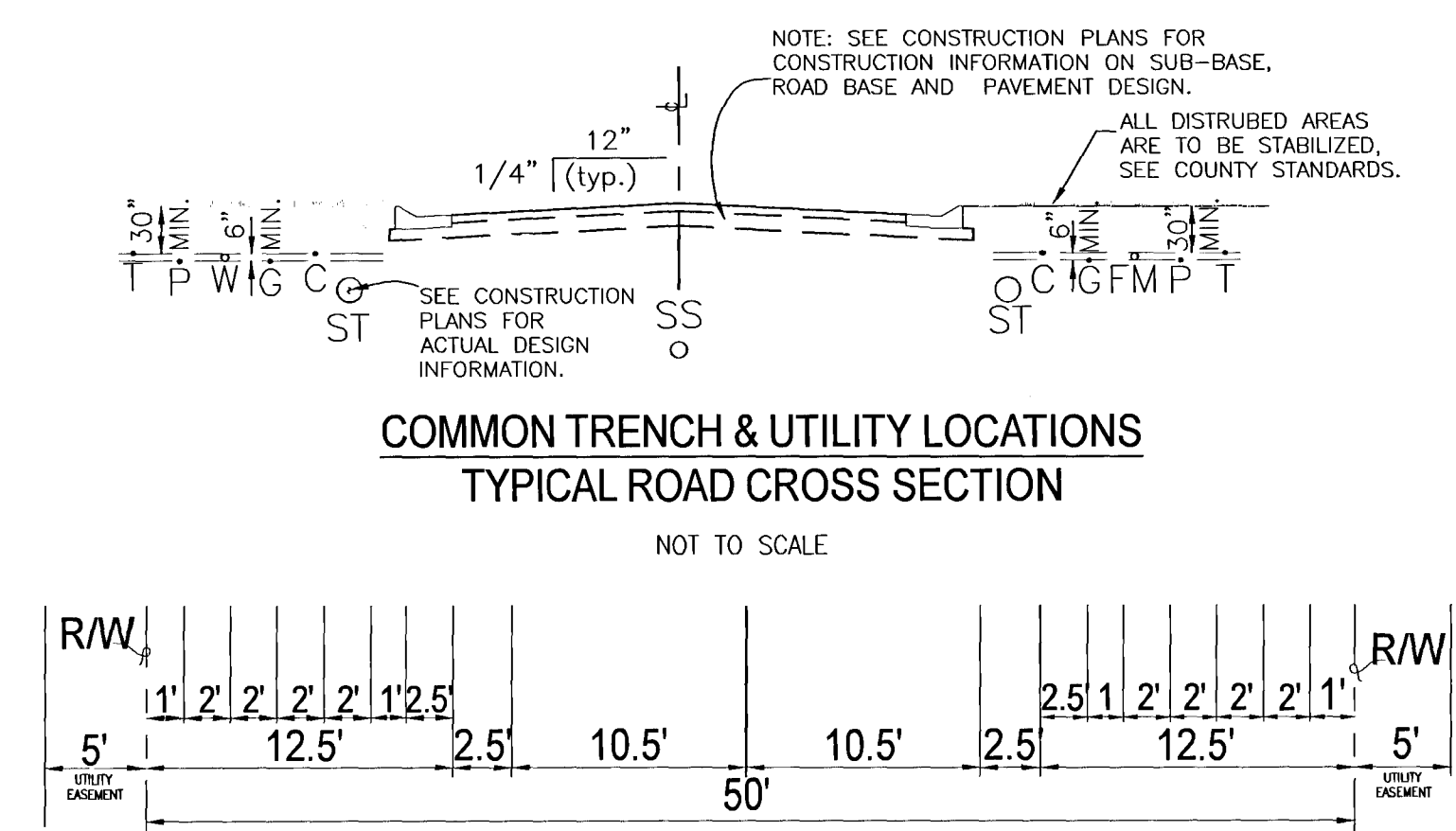
DIMENSIONS BASED ON TYPE "B" CONCRETE CURB
TYPICAL CUL-DE-SAC PLAN
NOT TO SCALE



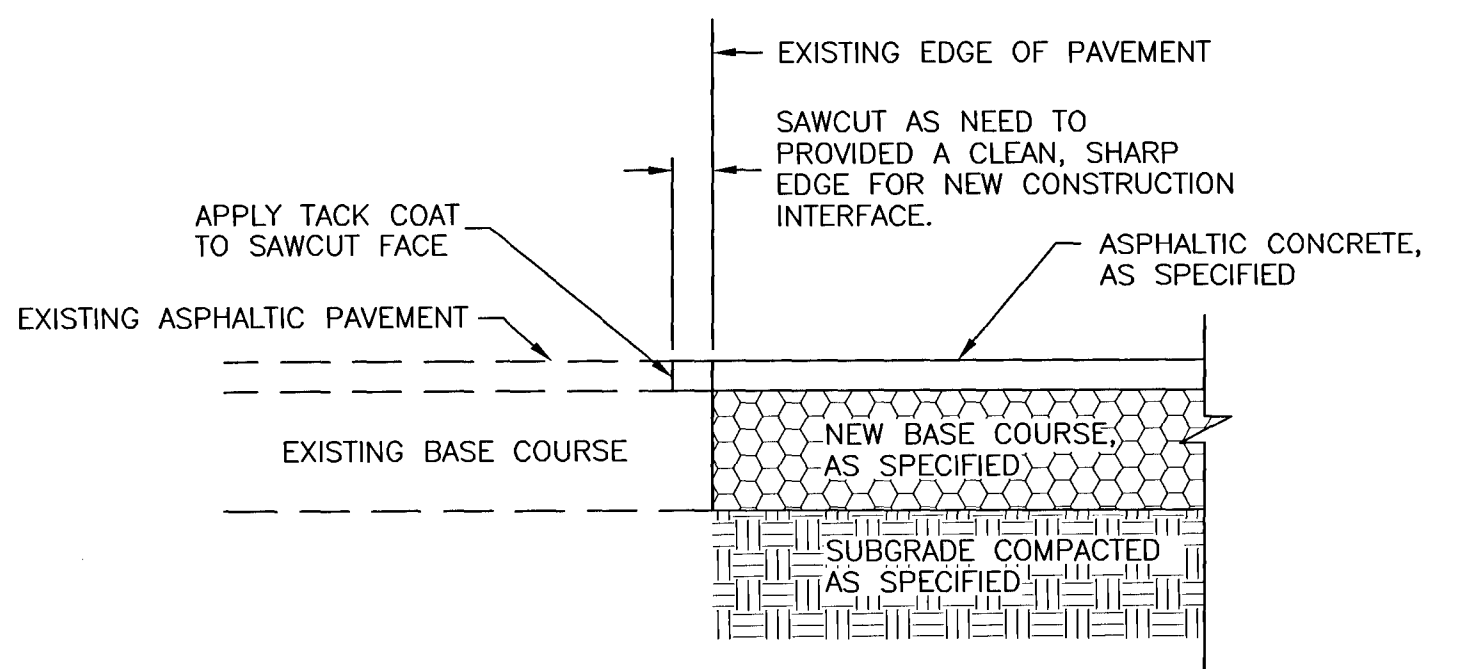
COMMON TRENCH & UTILITY LOCATIONS
TYPICAL ROAD PLAN VIEW
NOT TO SCALE

LEGEND:
R/W - RIGHT OF WAY LINE
C/L - CENTERLINE
W - WATER MAIN
FM - FORCE MAIN
ST - STORM SEWER
P - UNDERGROUND POWER CABLE
T - UNDERGROUND TELEPHONE CABLE
C - UNDERGROUND TELEVISION CABLE

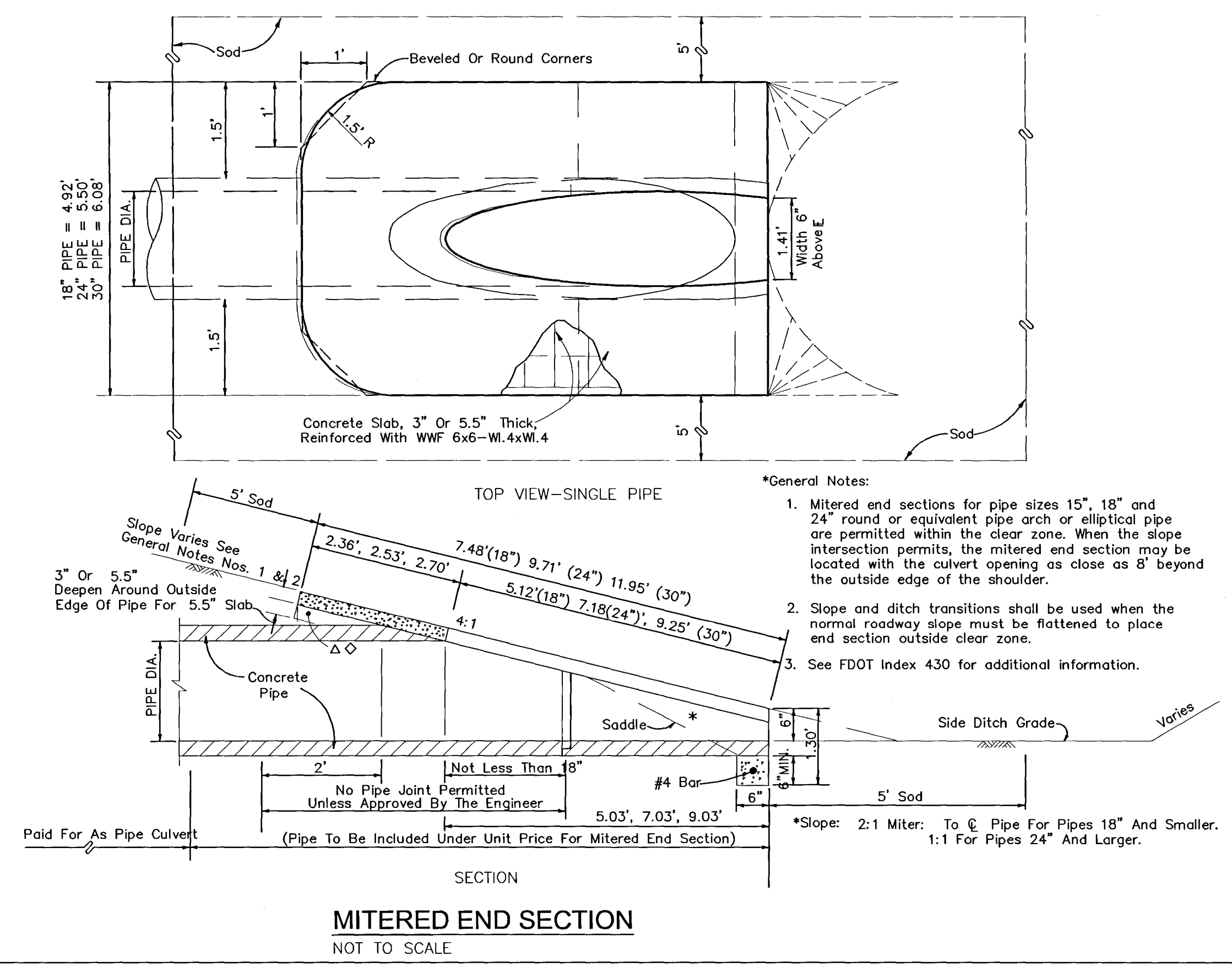
NOTES:
1) THIS IS A TYPICAL LOCATION PLAN. SEE CONSTRUCTION PLANS TO DETERMINE WHICH SIDE OF THE RW ACTUALLY RECEIVES UTILITIES. SOME UTILITIES MAY ONLY BE ON ONE SIDE (I.E. WATER, FORCE MAIN AND STORM SEWER).
2) ALL PROPOSED UNDERGROUND UTILITIES WITHIN RW'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN CUT, OR JACK-AND-BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON IS NOT FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY SHALL BE REQUIRED TO USE THE CONDUIT.
3) ALL RW CONSTRUCTION WORK SHALL COMPLY WITH ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS.
4) CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.



COMMON TRENCH & UTILITY LOCATIONS
TYPICAL ROAD CROSS SECTION
NOT TO SCALE



NEW/EXISTING PAVEMENT INTERFACE
NOT TO SCALE



MITERED END SECTION
NOT TO SCALE

REVISIONS

Date	By	Rev	Description

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

MULLINS, LLC

CIVIL ENGINEERING, DEVELOPMENT, DESIGN, SURVEYING

801 W. Romana Street, Suite A, Pensacola, FL 32502
(850) 462-8412

ERIC NEIL LANE, P.E.
FL PE No. 88920

Construction Plans for
Whitetail Run
Escambia County, FL

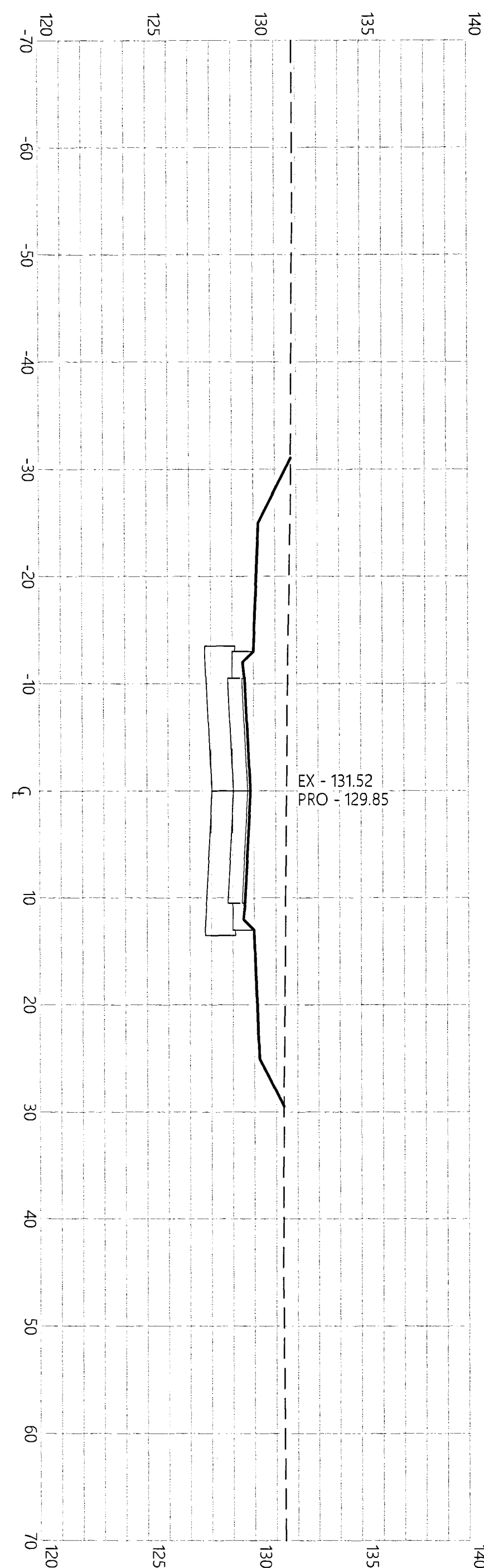
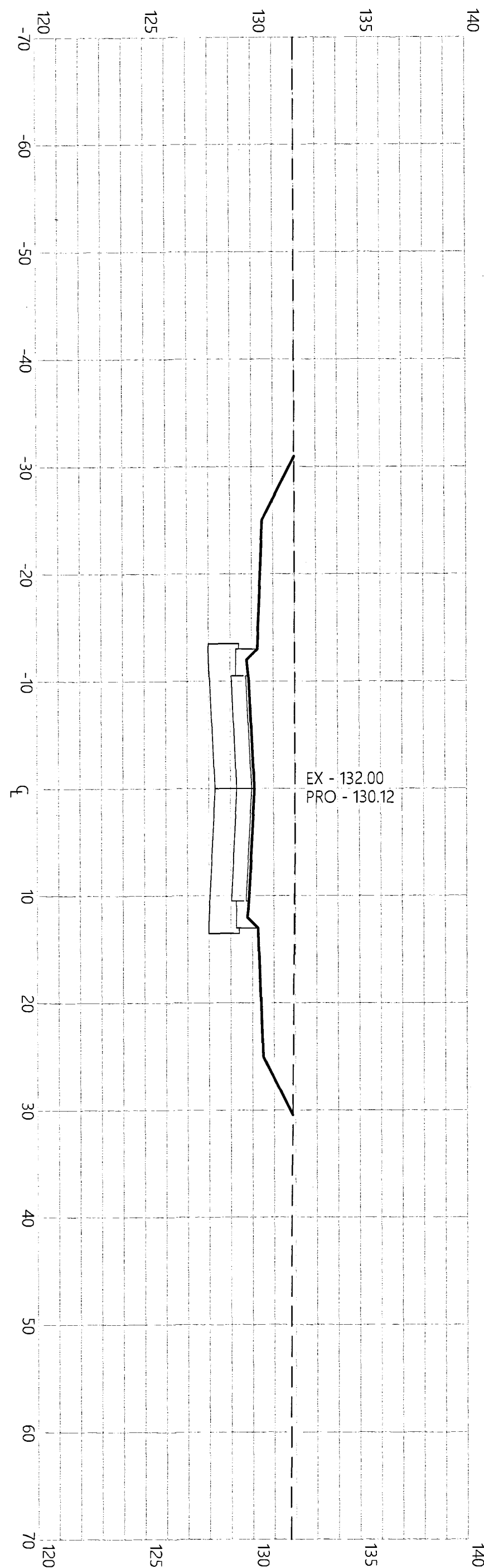
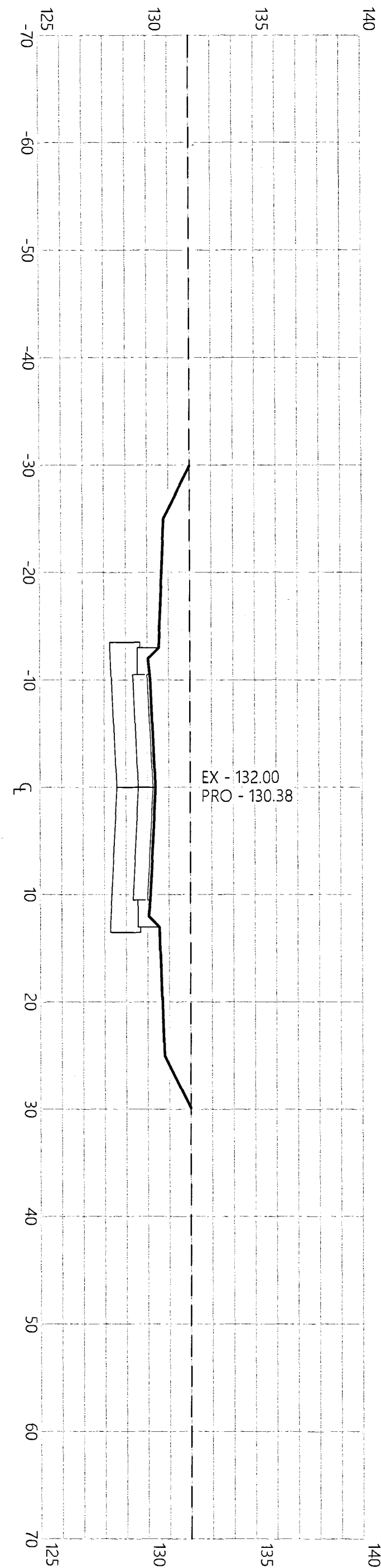
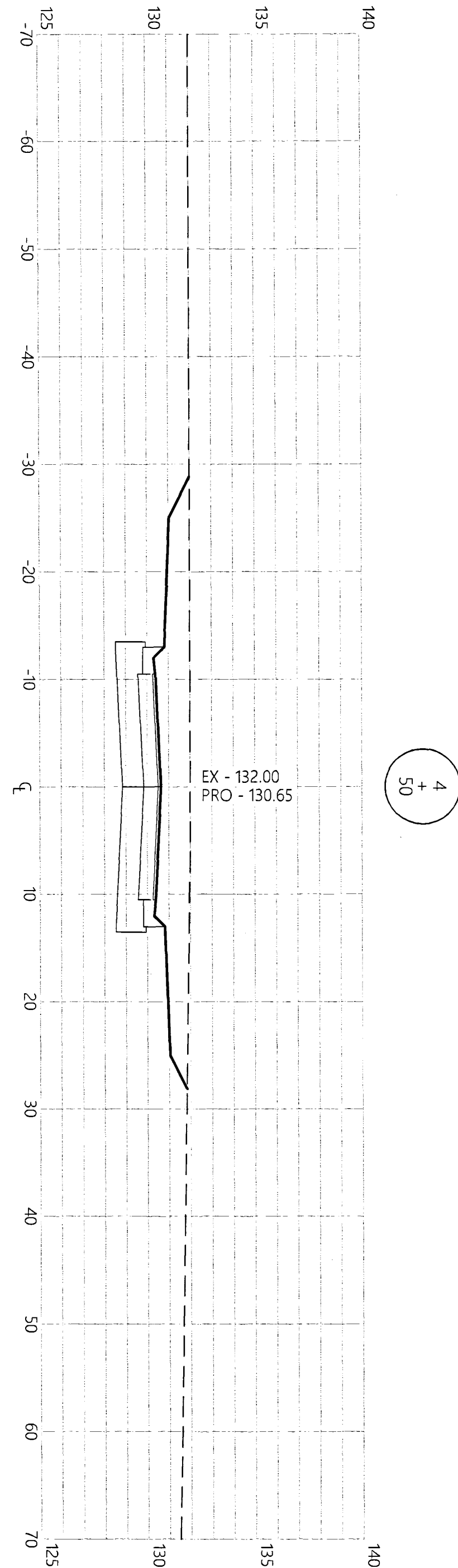
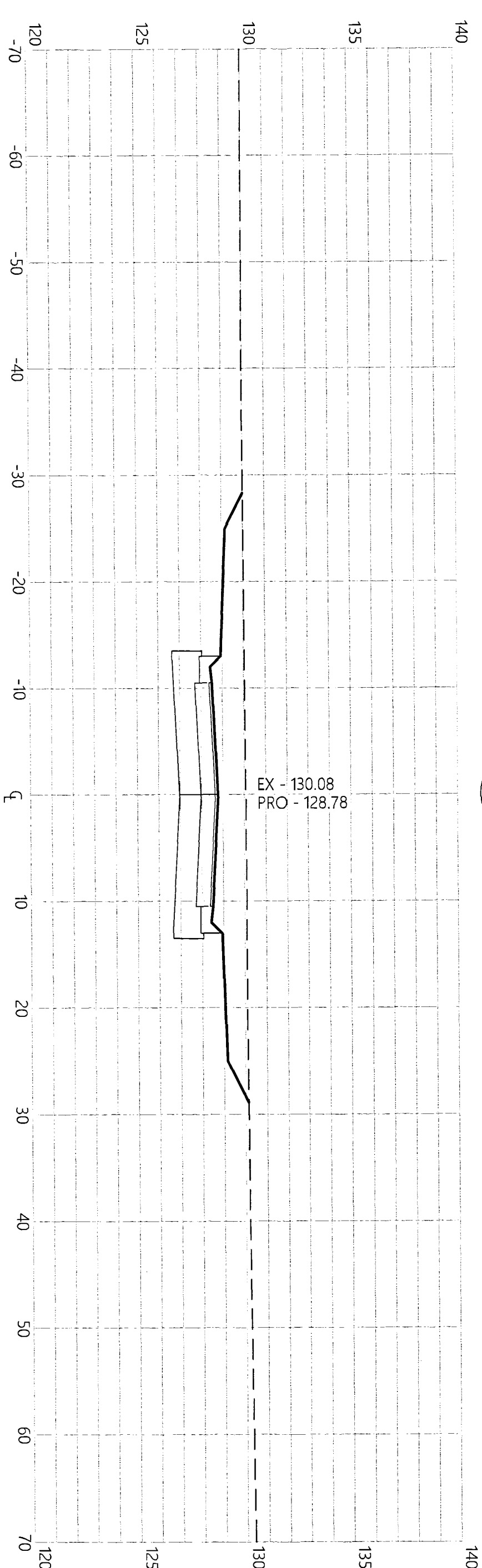
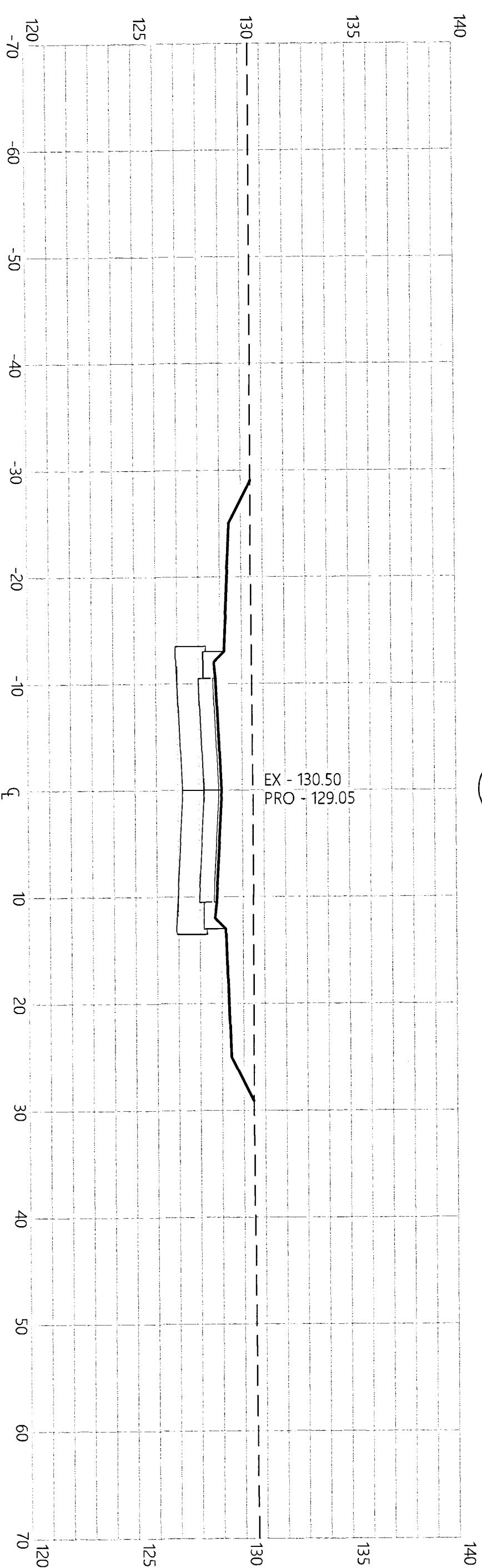
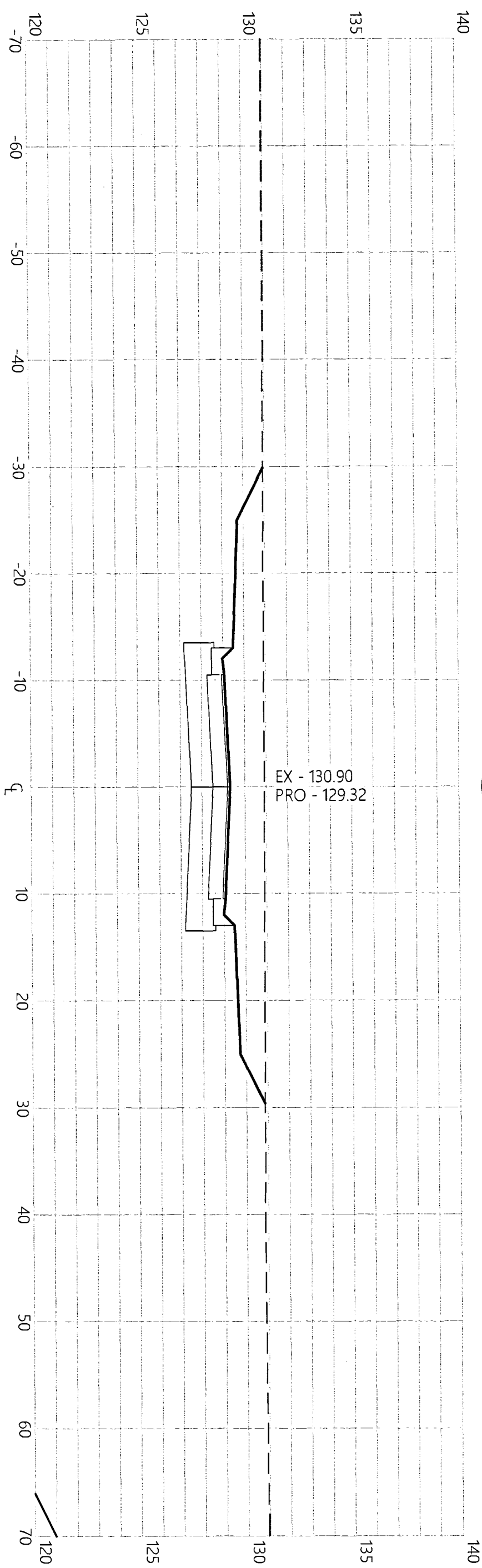
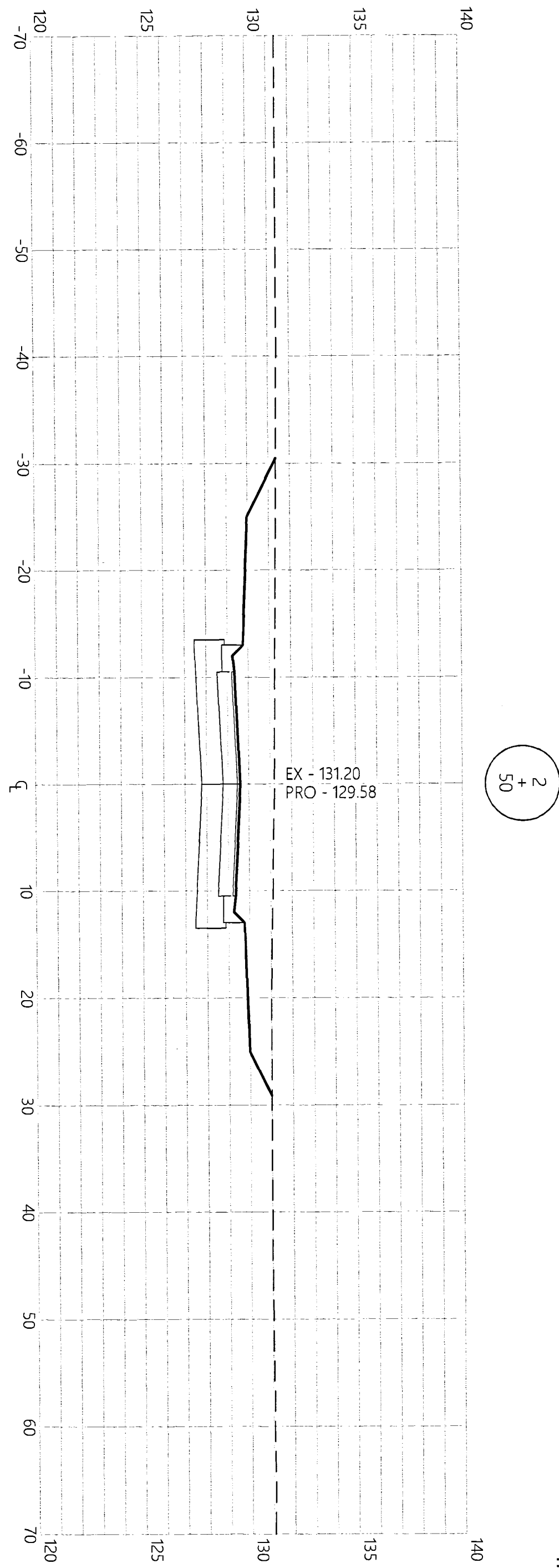
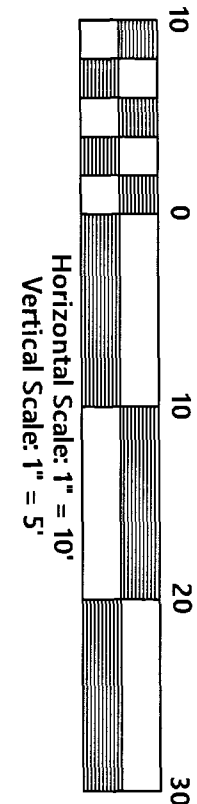
Details

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER
17

PREPARED FOR: Breland Homes Coastal, LLC

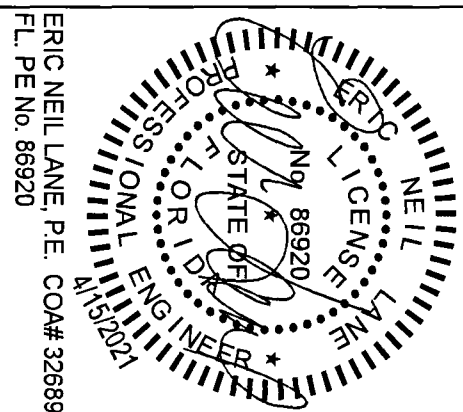
18



REVISIONS	
Date: ---	
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CIVIL ENGINEERING, DEVELOPMENT DESIGN
SURVEYING
801 W. Romana Street, Suite A, Pensacola, FL 32502
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Construction Plans for
Whitetail Run
Escambia County, FL
PREPARED FOR: Breland Homes Coastal, LLC

Whitetail Run Drive
Cross Sections

Job No. 20-124P
Date: 4/15/2021
Drawn By: CAB
Checked By: ENL

SHEET NUMBER

19

