

**Approved**  
**ESCAMBIA COUNTY DRC PLAN REVIEW**

DRC Chairman Signature: [Signature] Date: 3-10-21

Printed Name: Jonathan Hampton  
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

# SITE CONSTRUCTION PLANS

## FOR

# NINE MILE ROAD APARTMENTS

## ESCAMBIA COUNTY, FLORIDA

April 20, 2020

**ECUA ENGINEERING MANUAL REFERENCE NOTE**  
\*NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET  
\*APPLICABLE ONLY TO ECUA INFRASTRUCTURE TO BE CONSTRUCTED IN PUBLIC ROW OR IN UTILITY EASEMENT; NOT TO BE APPLIED TO PRIVATE WATER/SEWER FACILITIES ON PRIVATE PROPERTY (SEE BUILDING CODE)

**A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE**

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE #1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

**B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)**

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

YES  NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL

\*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

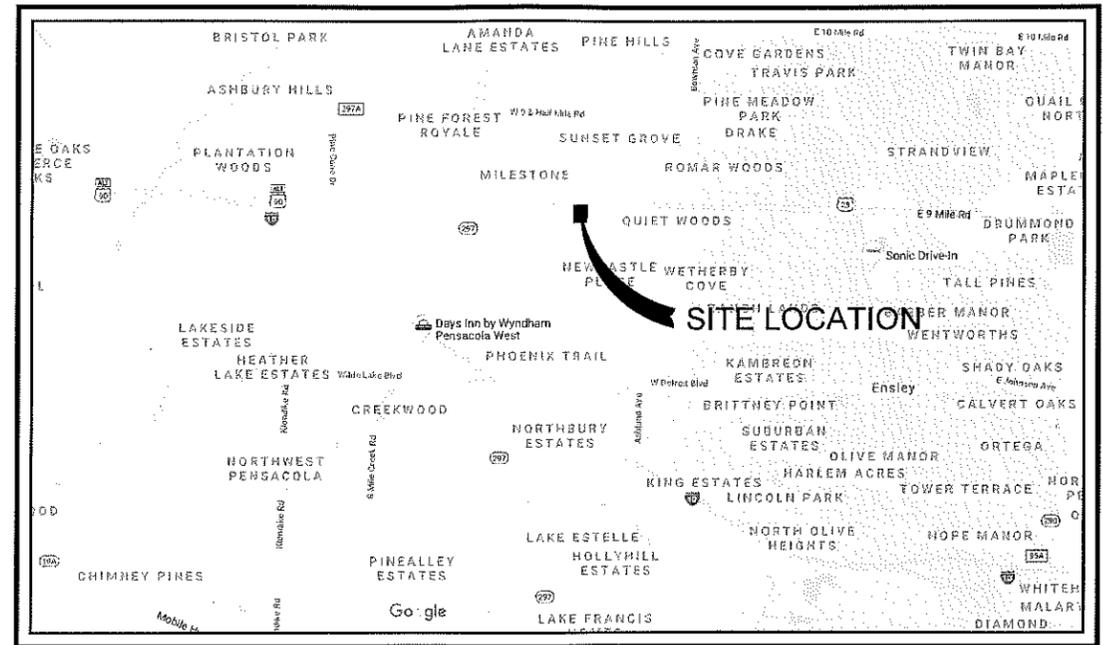
**C. ENGINEER OF RECORD RESPONSIBILITIES**

THE ENGINEERS OF RECORD (EORs) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTIONS OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORs SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

**RBA PROJECT NO.: 2018.096**

SITE INFORMATION	
OWNER:	SNS STEFANI LLC 120 E MAIN ST SWEET A PENSACOLA, FL 32502
DEVELOPER:	SNS STEFANI LLC 120 E MAIN ST SWEET A PENSACOLA, FL 32502
PROPERTY REFERENCE NO.:	12-1S-31-1100-093-002
PROPERTY ADDRESS:	1569 W NINE MILE ROAD
PROPERTY AREA:	13.16 ACRES
PROJECT AREA:	13.18 ACRES
PROPERTY ZONING:	HC/LI
FUTURE LAND USE:	MU-U
PROPOSED ACTIVITY:	APARTMENTS
REQUIRED BUILDING SETBACKS:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPT 29, 2006



**VICINITY MAP**  
SCALE: 1"=2,000'



## REBOL-BATTLE & ASSOCIATES

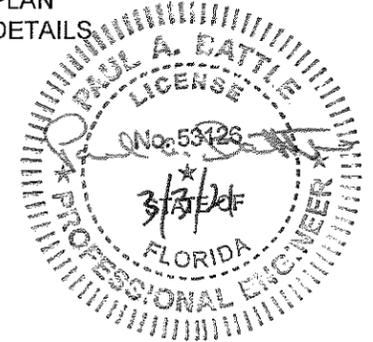
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.438.0400  
Fax 850.438.0448  
EB 00009657 LB 7916

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWALLS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.8518
ENERGY SERVICES GAS 1825 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 805 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3383 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

### INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS AND TREE TABLE NOTES
- C1.2 NPDES-STORMWATER POLLUTION PREVENTION PLAN
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- C3.1 GRADING AND DRAINAGE PLAN
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- C3.3 GRADING AND DRAINAGE DETAILS
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- C5.0 LANDSCAPE PLAN
- C5.1 LANDSCAPE PLAN
- C5.2 LANDSCAPE PLAN
- C5.3 LANDSCAPE DETAILS

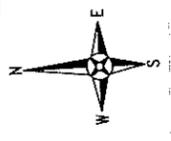
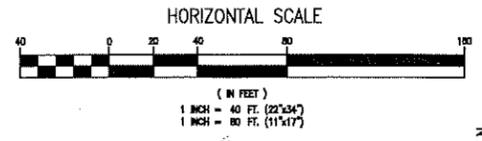


### LEGAL DESCRIPTION

DESCRIPTION: (PER AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY)  
A PORTION OF LOTS 14, 15 AND 16, BLOCK 2, OF THE PENSACOLA FARM LAND COMPANY SUBDIVISION, BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, AS RECORDED IN DEED BOOK 67, PAGE 345, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY (R/W) LINE OF STATE ROAD NO. 10 (AKA U.S. HIGHWAY 90 AKA NINE MILE ROAD A 200' R/W) AND THE WEST LINE OF LOT 16, BLOCK 2, OF SAID PENSACOLA FARM LAND COMPANY SUBDIVISION; THENCE PROCEED SOUTH 87°23'04" EAST ALONG SAID SOUTHERLY R/W LINE FOR A DISTANCE OF 545.70 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 171,787.34 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 63.97 FEET (DELTA ANGLE = 0°01'17"); CHORD DISTANCE = 63.97 FEET; CHORD BEARING = SOUTH 87°27'55" EAST; THENCE DEPARTING SAID CURVED R/W LINE PROCEED SOUTH 02°36'38" WEST FOR A DISTANCE OF 101.87 FEET; THENCE PROCEED SOUTH 03°41'18" EAST FOR A DISTANCE OF 185.45 FEET; THENCE PROCEED SOUTH 03°41'18" WEST FOR A DISTANCE OF 630.06 FEET; THENCE PROCEED NORTH 89°55'49" WEST FOR A DISTANCE OF 630.68 FEET TO THE WESTERLY LINE OF THE AFORESAID LOT 14; THENCE PROCEED NORTH 02°58'52" EAST ALONG THE WEST LINE OF SAID LOT 14 AND WEST LINE OF LOTS 15 AND 16 FOR A DISTANCE OF 912.00 FEET TO THE AFORESAID SOUTHERLY R/W LINE AND THE POINT OF BEGINNING.  
ALL LYING AND BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING:  
A PORTION OF LOTS 15 AND 16, BLOCK 2, OF THE PENSACOLA FARM LAND COMPANY SUBDIVISION, BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, AS RECORDED IN DEED BOOK 67, PAGE 345, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY (R/W) LINE OF STATE ROAD NO. 10 (AKA U.S. HIGHWAY 90 AKA NINE MILE ROAD A 200' R/W) AND THE WEST LINE OF LOT 16, BLOCK 2, OF SAID PENSACOLA FARM LAND COMPANY SUBDIVISION; THENCE PROCEED SOUTH 87°23'04" EAST ALONG SAID SOUTHERLY R/W LINE FOR A DISTANCE OF 347.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE; THENCE PROCEED SOUTH 03°41'18" EAST ALONG SAID R/W LINE FOR A DISTANCE OF 198.40 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 171,787.34 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 56.61 FEET (DELTA ANGLE = 0°01'08"); CHORD DISTANCE = 56.61 FEET; CHORD BEARING = SOUTH 87°27'55" EAST; THENCE DEPARTING SAID CURVED R/W LINE PROCEED SOUTH 03°04'11" WEST FOR A DISTANCE OF 303.09 FEET; THENCE PROCEED NORTH 87°23'04" WEST FOR A DISTANCE OF 255.01 FEET; THENCE PROCEED NORTH 03°04'11" EAST FOR A DISTANCE OF 303.01 FEET TO THE AFORESAID SOUTHERLY R/W LINE AND THE POINT OF BEGINNING.  
ALL LYING AND BEING IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 11.39 ACRES MORE OR LESS.

**LAND DISTURBING NOTE**  
 ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EDR & COUNTY STAFF REVIEW.



12-15-31-1100-020-001  
 CRESCENT AT MILLSTONE LLC  
 MAIL: 3500 LENOX RD SITE 1500  
 ATLANTA, GA 30326  
 SUTIS: ASHLAND AVE 32534  
 USE CODE: MULTI-FAMILY  
 ZONING: HC/U

12-15-31-1100-012-001  
 ROBERTSON WILSON P  
 MAIL: 3037 KNOTT PINE DR  
 PENSACOLA, FL 32505  
 SUTIS: 1800 BLK NINE MILE RD 32534  
 USE CODE: WICANT COMMERCIAL  
 ZONING: HC/U

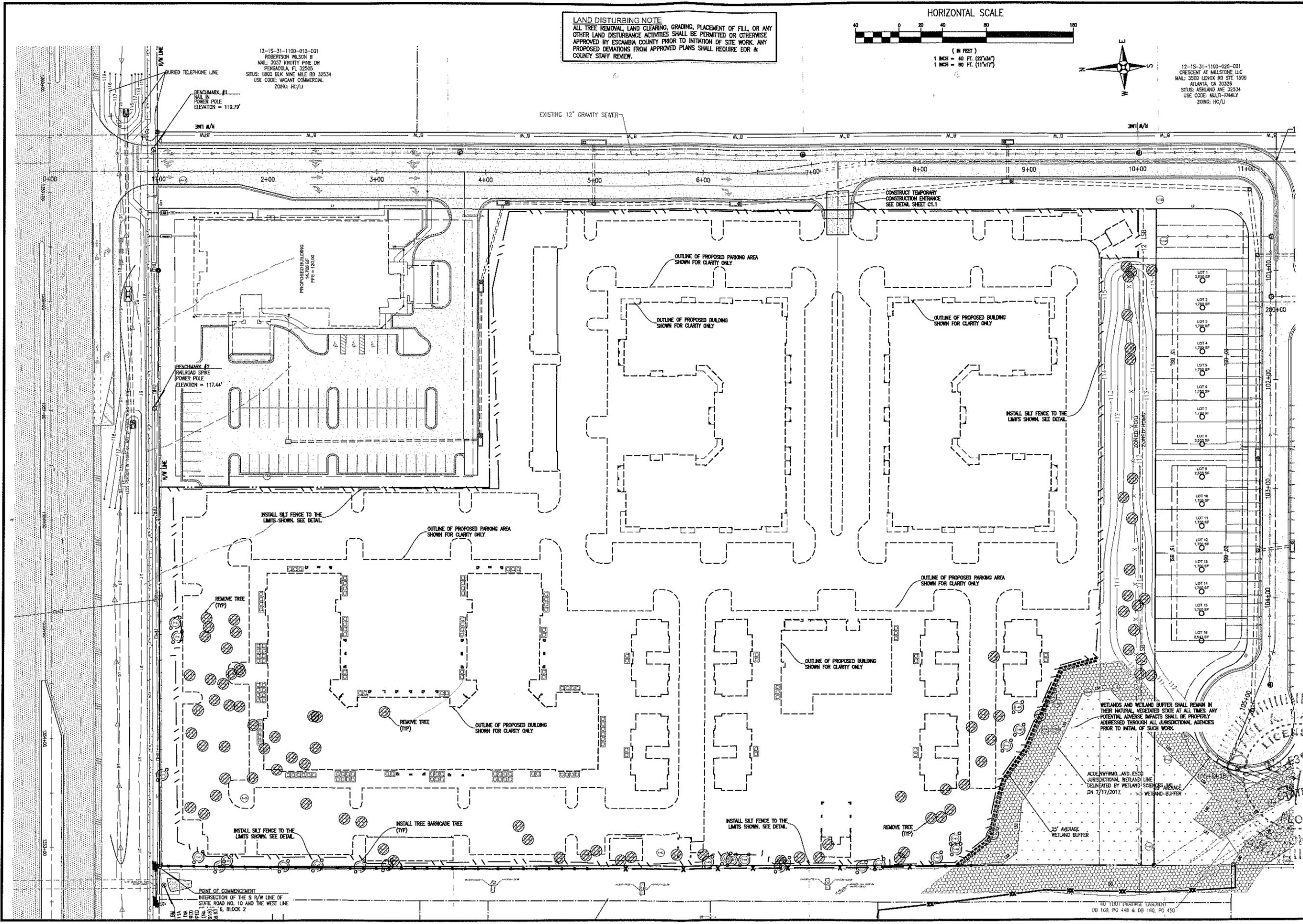
**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Pensacola, Florida 32503  
 Telephone: 850.435.0400 Fax: 850.498.0446  
 E-mail: rba@rba-engineers.com

**EXISTING SITE, DEMOLITION  
 & EROSION CONTROL PLAN**

**NINE MILE ROAD  
 APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION

SEALED  
 CONSTRUCTION SET  
 RBA  
 No. 2018.096  
 Date: April 20, 2020  
 DRAWING No.  
**C1.0**  
 SHEET 2 OF 22



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**GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDS OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 576, 575 AND 980 TO 986.
5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. A CRUSHED LIMESTONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 5/8" (MINIMUM), CRUSHED LIMESTONE 2 1/2" INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FOOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

\* WHERE APPLICABLE

**TEMPORARY SEEDING DETAILS:**

**SEED BED PREPARATION:**

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL PH OF 5.5 TO 6.5. LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

**SEED MIXTURE**

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

**PERMANENT SEEDING DETAILS:**

**SEED BED PREPARATION:**

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL PH OF 5.5 TO 6.5. LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

**SEED MIXTURE CONSISTING OF**

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

**SOODING:**

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" X 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

**TRAFFIC CONTROL STANDARDS:**

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ON-SITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

**TREE PROTECTION:**

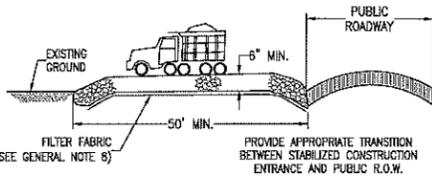
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

**DUST CONTROL:**

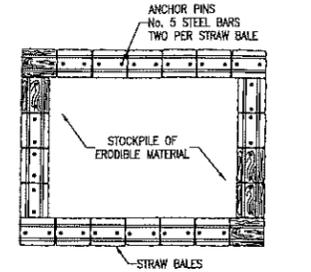
1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDS AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

**PROPOSED SEQUENCE OF CONSTRUCTION:**

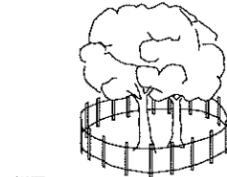
1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



**MATERIAL STOCKPILE DETAIL**  
N.T.S.



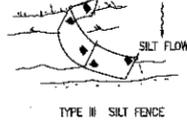
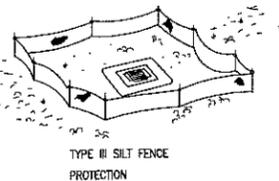
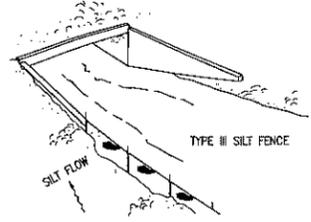
**TREE BARRICADE DETAIL**  
N.T.S.

**DESCRIPTION:**  
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

**INSTALLATION:**  
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

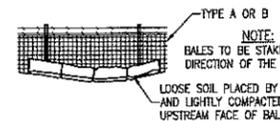
**MAINTENANCE:**  
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

**SPECIFICATION:**  
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENGORGED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

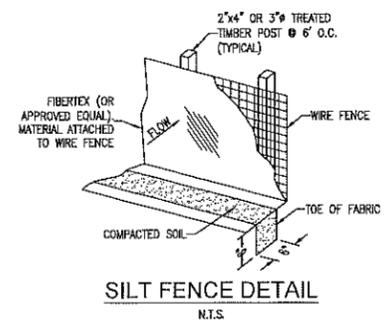


**SILT FENCE APPLICATIONS**  
N.T.S.

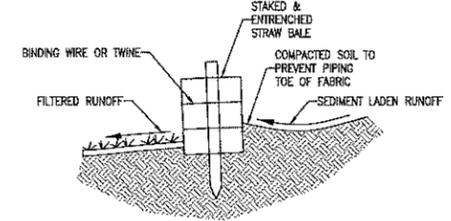
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



**STRAW BALES BACKED BY FENCE**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.



**STRAW BALE DETAIL**  
N.T.S.

TREE CHART			TREE CHART			TREE CHART		
TREE #	TYPE & DIAMETER	PROTECT/REMOVE	TREE #	TYPE & DIAMETER	PROTECT/REMOVE	TREE #	TYPE & DIAMETER	PROTECT/REMOVE
T-1	LIVE OAK 20"	PROTECT	T-45	LIVE OAK 20"	REMOVE	T-87	LIVE OAK 16"	REMOVE
T-2	LIVE OAK 36"	PROTECT	T-46	LIVE OAK 14"	REMOVE	T-88	LIVE OAK 12"	REMOVE
T-3	WATER OAK 12"	PROTECT	T-47	LAUREL OAK 12"	REMOVE	T-89	PECAN 13"	REMOVE
T-4	LIVE OAK 13"	PROTECT	T-48	WATER OAK 56"	PROTECT	T-90	LIVE OAK 12"	REMOVE
T-5	WATER OAK 12"	REMOVE	T-49	LAUREL OAK 12"	REMOVE	T-91	POPCORN 12"	PROTECT
T-6	LAUREL OAK 14"	REMOVE	T-50	WATER OAK 12"	REMOVE	T-92	LIVE OAK 12"	REMOVE
T-7	LAUREL OAK 15"	REMOVE	T-51	LAUREL OAK 14"	PROTECT	T-93	LAUREL OAK 12"	REMOVE
T-8	LIVE OAK 18"	PROTECT	T-52	PECAN 48"	REMOVE	T-94	LIVE OAK 12"	REMOVE
T-9	WATER OAK 12"	REMOVE	T-53	WATER OAK 12"	REMOVE	T-95	LIVE OAK 13"	PROTECT
T-10	WATER OAK 12"	REMOVE	T-54	WATER OAK 14"	REMOVE	T-96	LIVE OAK 12"	PROTECT
T-11	LAUREL OAK 12"	REMOVE	T-55	WATER OAK 14"	REMOVE	T-97	LIVE OAK 15"	PROTECT
T-12	LIVE OAK 18"	REMOVE	T-56	WATER OAK 12"	PROTECT	T-98	WATER OAK 14"	PROTECT
T-14	WATER OAK 26"	REMOVE	T-57	WATER OAK 14"	REMOVE	T-99	LIVE OAK 13"	PROTECT
T-15	LAUREL OAK 12"	REMOVE	T-58	WATER OAK 12"	REMOVE	T-100	LAUREL OAK 13"	PROTECT
T-16	LAUREL OAK 12"	REMOVE	T-59	WATER OAK 12"	REMOVE	T-101	LIVE OAK 12"	PROTECT
T-17	LIVE OAK 16"	PROTECT	T-60	WATER OAK 22"	REMOVE	T-102	WHITE OAK 14"	PROTECT
T-18	LIVE OAK 12"	REMOVE	T-61	WATER OAK 12"	REMOVE	T-103	WHITE OAK 13"	PROTECT
T-19	LAUREL OAK 15"	REMOVE	T-62	WATER OAK 12"	PROTECT	T-104	WATER OAK 12"	PROTECT
T-20	LAUREL OAK 12"	PROTECT	T-63	WATER OAK 14"	REMOVE	T-105	WATER OAK 12"	PROTECT
T-21	LAUREL OAK 12"	REMOVE	T-64	WATER OAK 13"	REMOVE	T-106	WATER OAK 13"	PROTECT
T-22	LAUREL OAK 12"	REMOVE	T-65	WATER OAK 12"	PROTECT	T-107	WATER OAK 18"	PROTECT
T-23	LAUREL OAK 12"	REMOVE	T-66	WATER OAK 12"	PROTECT	T-108	WATER OAK 12"	PROTECT
T-24	LAUREL OAK 12"	REMOVE	T-67	WATER OAK 19"	PROTECT	T-109	WHITE OAK 13"	PROTECT
T-25	LIVE OAK 15"	REMOVE	T-68	WATER OAK 13"	PROTECT	T-110	WATER OAK 12"	PROTECT
T-26	LAUREL OAK 18"	PROTECT	T-69	WATER OAK 13"	PROTECT	T-111	LAUREL OAK 12"	PROTECT
T-27	LIVE OAK 18"	REMOVE	T-70	WATER OAK 17"	REMOVE	T-112	WATER OAK 14"	PROTECT
T-28	LAUREL OAK 12"	REMOVE	T-71	WATER OAK 12"	PROTECT	T-113	RAY 12"	PROTECT
T-29	LIVE OAK 18"	REMOVE	T-72	WATER OAK 19"	REMOVE	T-114	WATER OAK 12"	PROTECT
T-30	LAUREL OAK 13"	PROTECT	T-73	WATER OAK 12"	REMOVE	T-115	WATER OAK 12"	PROTECT
T-31	LAUREL OAK 12"	REMOVE	T-74	WATER OAK 14"	REMOVE	T-116	LAUREL OAK 20"	PROTECT
T-32	LAUREL OAK 14"	REMOVE	T-75	WATER OAK 13"	PROTECT	T-117	WATER OAK 24"	PROTECT
T-33	LAUREL OAK 14"	REMOVE	T-76	WATER OAK 15"	PROTECT	T-118	WATER OAK 18"	PROTECT
T-34	LAUREL OAK 12"	REMOVE	T-77	WATER OAK 14"	REMOVE	T-119	LAUREL OAK 17"	PROTECT
T-35	LAUREL OAK 12"	REMOVE	T-78	WATER OAK 13"	REMOVE	T-120	WATER OAK 13"	PROTECT
T-36	LAUREL OAK 12"	REMOVE	T-79	PECAN 12"	REMOVE	T-121	WATER OAK 14"	PROTECT
T-37	LAUREL OAK 12"	REMOVE	T-80	WATER OAK 13"	REMOVE	T-122	WATER OAK 16"	PROTECT
T-38	LAUREL OAK 18"	PROTECT	T-81	WATER OAK 12"	PROTECT	T-123	WATER OAK 12"	PROTECT
T-40	LAUREL OAK 12"	REMOVE	T-82	WATER OAK 12"	REMOVE	T-124	WATER OAK 12"	PROTECT
T-41	WATER OAK 14"	REMOVE	T-83	WATER OAK 12"	REMOVE	T-126	LAUREL OAK 21"	PROTECT
T-42	WATER OAK 13"	REMOVE	T-84	WATER OAK 12"	REMOVE			
T-43	WATER OAK 12"	PROTECT	T-85	POPCORN 12"	PROTECT			
T-44	LIVE OAK 18"	REMOVE	T-86	WATER OAK 18"	PROTECT			

**CONSTRUCTION PHASING NOTE:**  
THE PROPOSED BUILDING IS TO BE COMPLETED AND A TEMPORARY CERTIFICATE OF OCCUPANCY IS TO BE GRANTED PRIOR TO THE DEMOLITION OF THE OWNER'S EXISTING COMMERCIAL BUILDING. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SEQUENCING WITH BOTH THE PROJECT ENGINEER AND THE OWNER. THE OWNER SHALL PROVIDE FINAL APPROVAL OF THE CONTRACTOR'S PROPOSED CONSTRUCTION SCHEDULE PRIOR TO THE CONTRACTOR COMMENCING ANY CONSTRUCTION ACTIVITIES.

**FLOOD ZONE NOTE:**  
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X'; (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL CHANCE FLOOD PLAINS. NO BEES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C05086, MAP REVISION DATED SEPTEMBER 29, 2006.

**TREE PROTECTION NOTE:**  
ALL TREE BARRICADES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES (STORMWATER POND, GRADING, ETC.) AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

**REPLACEMENT RATIO: (DSM 2-5.2 (a))**  
TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 1229 INCHES  
1229 X 0.50 = 614.5 INCHES. TOTAL CALIPER REPLACEMENT = 614.5 INCHES

**REPLACEMENT LIMITS: (DSM 2-5.2 (a))**  
TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.  
TOTAL DEVELOPMENT SITE = 10.85 ACRE X 25 = 271.25  
REPLACEMENT LIMITS = 272 INCHES

TOTAL 2.5 INCH TREES REQUIRED = 109 OR TOTAL 3 INCH TREES REQUIRED = 91  
DEVELOPER MAY CHOOSE COMBINATION OF 2.5 AND 3 INCH TREES BUT A TOTAL OF 272 CALIPER INCHES ARE TO BE REPLACED/PLANTED USING A MINIMUM 2.5 CALIPER INCH NATIVE, FLORIDA GRADE 1, CANOPY REPLACEMENT/MITIGATION TREE.

- TREE PROTECTION NOTES:**
1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRUPLINE OF PROTECTED TREES ON SITE.
  2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRUPLINE OF PROTECTED TREES ON SITE.
  3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
  4. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOES). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
  5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

**LAND DISTURBING NOTE:**  
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.433.0400 Fax 850.433.0448  
E-mail: rba@rba.net Website: www.rba.net

**EROSION CONTROL**  
**DETAILS AND NOTES**

**NINE MILE ROAD**  
**APARTMENTS**  
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION

Seal and Signature: Paul A. Battle, P.E., No. 53126  
Dr. By: JJR  
Chk By: PAB  
Job No.: 2018.096  
Date: April 20, 2020  
DRAWING No.  
**C1.1**  
SHEET 3 OF 22

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**GENERAL NOTES:**

1. ALL PAVEMENT MARKINGS AND STRIPING LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD (LATEST EDITION).
3. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT SPECIFICATIONS.
4. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER FDOT STANDARD (LATEST EDITION).
5. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD (LATEST EDITION).

6. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
7. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD (LATEST EDITION), WIND ZONE No. 1.
8. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
9. CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

**FLOOD ZONE NOTE:**  
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X' (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANGE FLOOD PLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033302956, MAP REVISION DATED SEPTEMBER 29, 2006.

**NOTE:**  
ACCESS BOXES SHALL BE PROVIDED AT THE ENTRANCE TO EACH BUILDING IN AN ACCESSIBLE LOCATION.

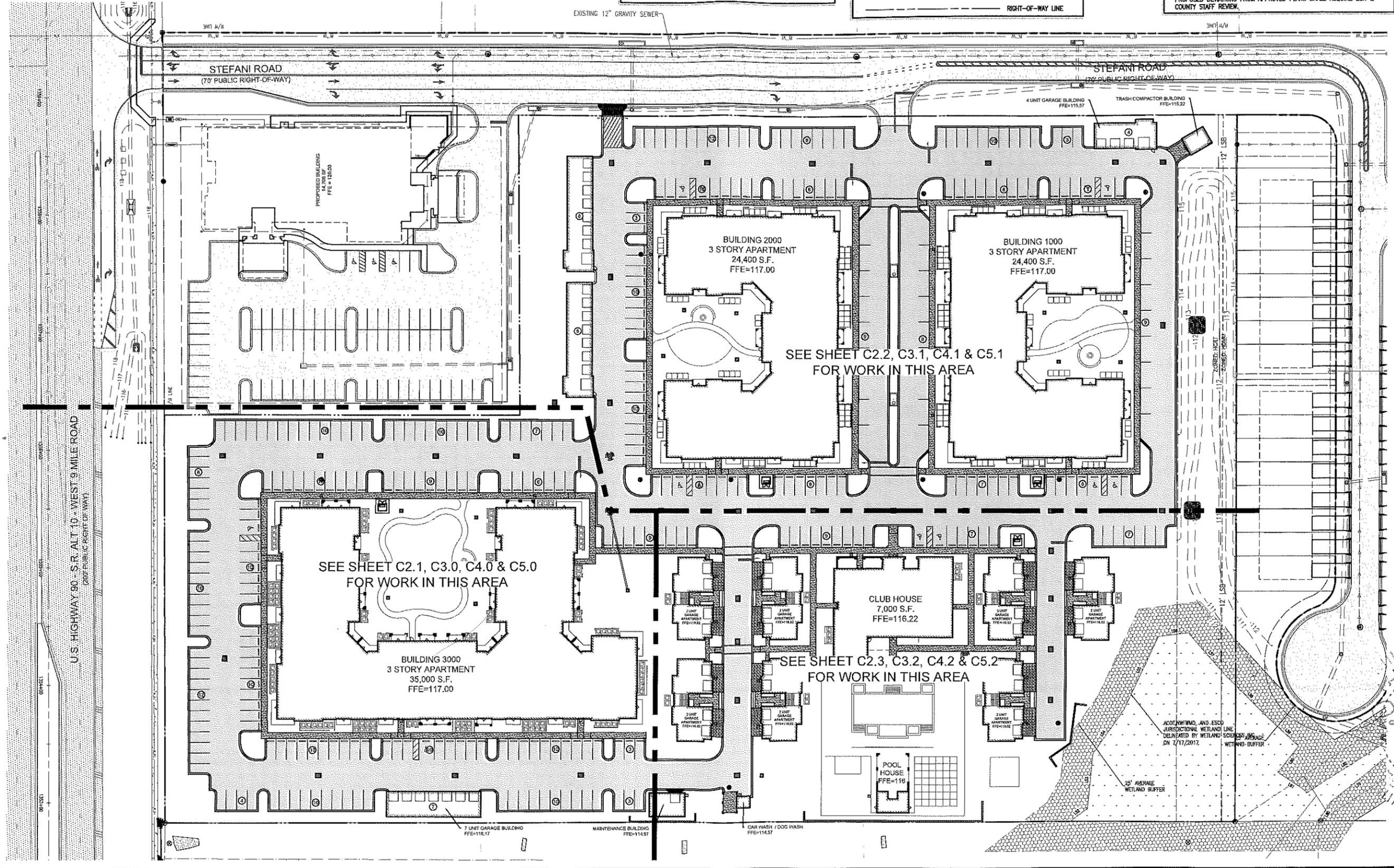
**LEGEND**

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE

**HORIZONTAL SCALE**

(IN FEET)  
1 INCH = 40 FT. (22'x34")  
1 INCH = 80 FT. (11'x17")

**LAND DISTURBING NOTE**  
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**RBA**  
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2301 N. High Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.435.0400 Fax 850.435.0449  
E-mail: rba@rba.com Website: www.rba.com

**OVERALL SITE PLAN; KEY SHEET**

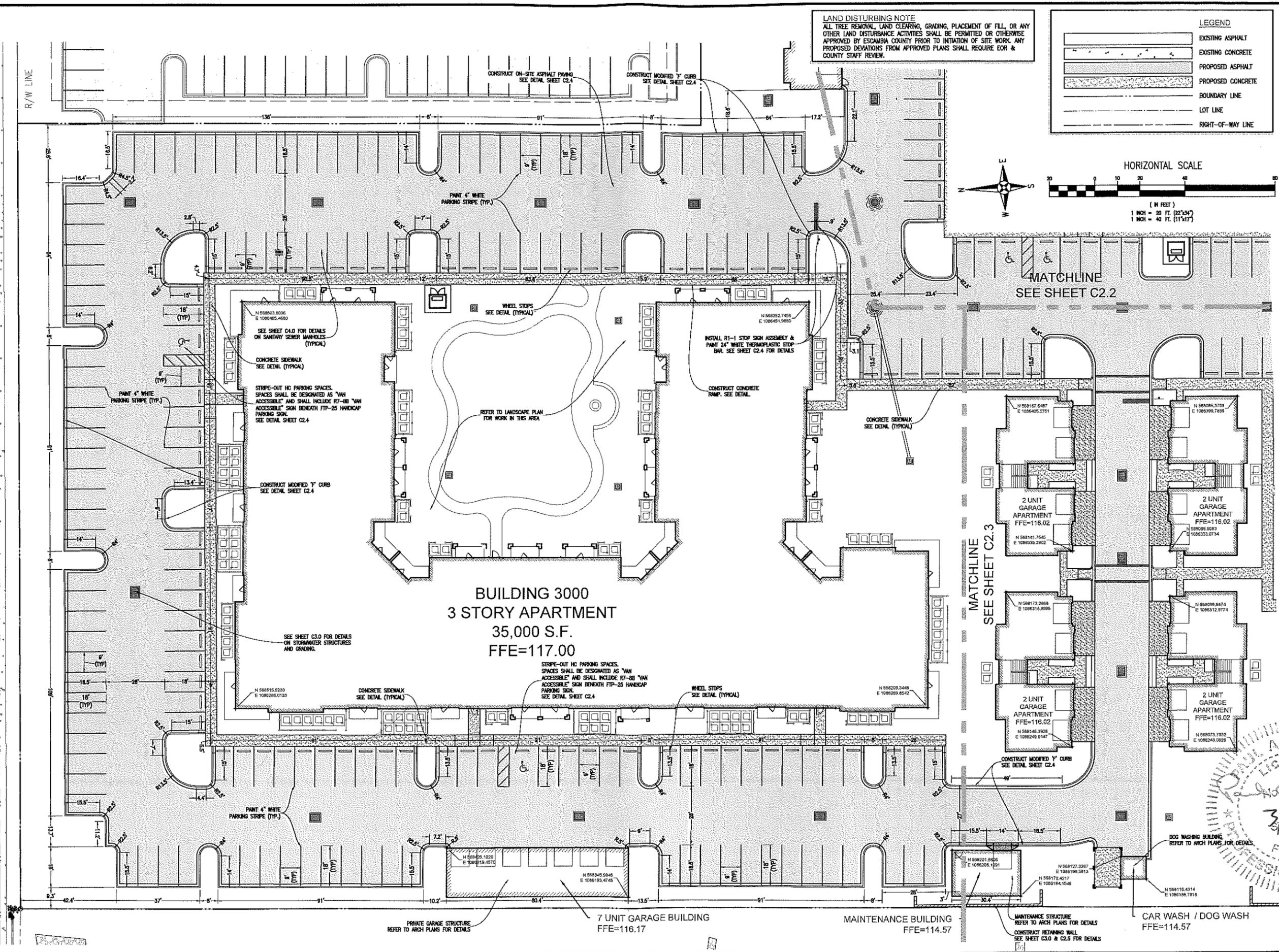
**NINE MILE ROAD APARTMENTS**  
ESCAMBIA COUNTY, FLORIDA

NO.	REVISION	DATE	ESCO COMMENTS
1		12-20-2019	

Seal of Professional Engineer  
No. 53126  
S. J. RAB  
P.E.  
FLORIDA  
DC By: RAB  
Job No: 2019.096  
Date: April 20, 2020

DRAWING No.  
**C2.0**  
SHEET 5 OF 22

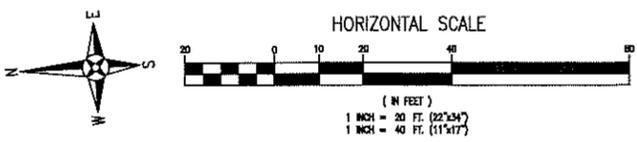
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**LAND DISTURBING NOTE**  
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**LEGEND**

[Symbol]	EXISTING ASPHALT
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	BOUNDARY LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE



**BUILDING 3000**  
**3 STORY APARTMENT**  
**35,000 S.F.**  
**FFE=117.00**

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. High Avenue, Suite 300  
 Pensacola, Florida 32503  
 Telephone: (904) 487-0446  
 Fax: (904) 487-0449

**SITE LAYOUT & DIMENSION PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

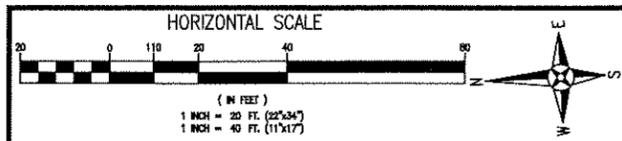
NO.	DATE	REVISION	ESCO COMMENTS
1	12-20-2019		



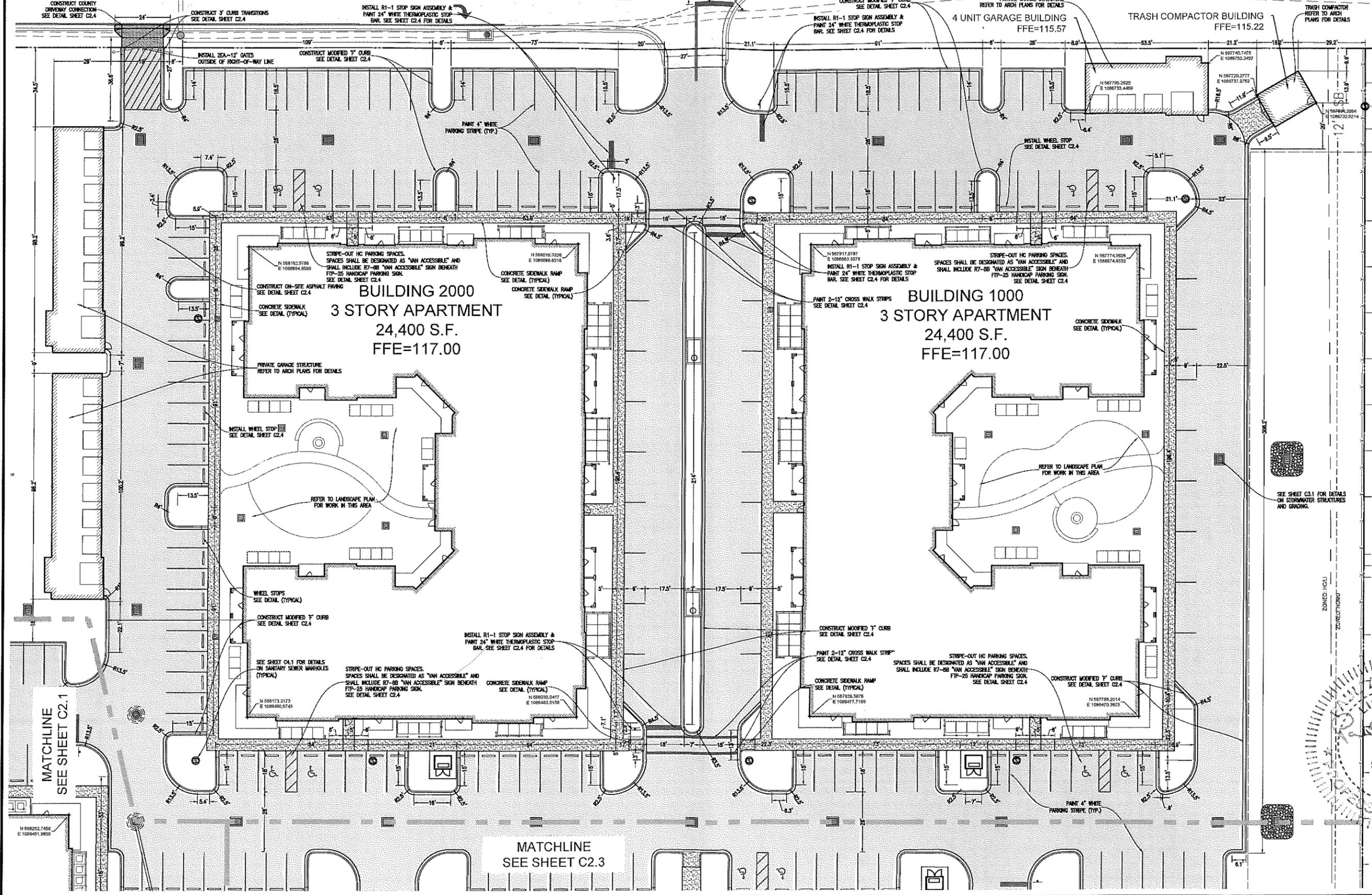
**SEAL**  
**CONSTRUCTION SET**  
 3/21  
 Paul A. Battle, P.E.  
 No. 53126  
 Dr. By: JWR  
 Ck. By: PAB  
 App No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C2.1**  
 SHEET 6 OF 22

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**LAND DISTURBING NOTE**  
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STEFANI ROAD  
 (70' PUBLIC RIGHT-OF-WAY)

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 Telephone: 850.438.0400 Fax: 850.438.0446  
 E-mail: rba@rba.com Website: www.rba.com

**SITE LAYOUT & DIMENSION PLAN**

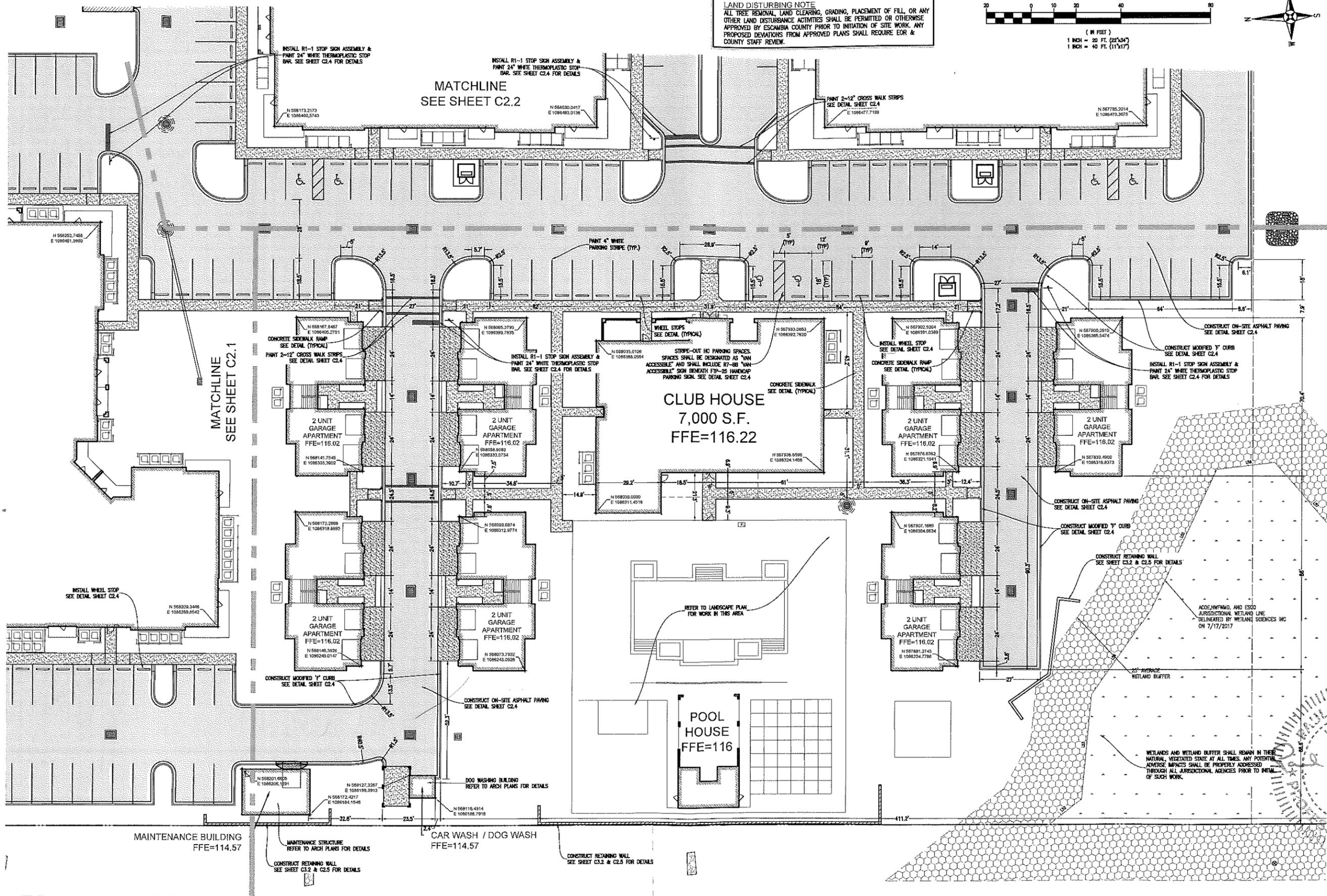
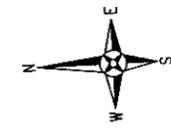
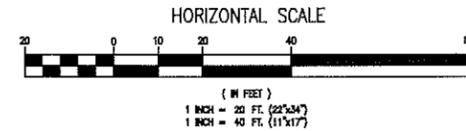
**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
1	12/20/2019	

CONSTRUCTION SET  
 5/31/20  
 3/3/21  
 Paul A. Battle, P.E.  
 No. 53126  
 DE. By: JJR  
 CR. By: PAB  
 Job No.: 2018.096  
 Date: April 20, 2020  
 DRAWING No.  
**C2.2**  
 SHEET 7 OF 22

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**LAND DISTURBING NOTE**  
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**RBA**  
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 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Panama City, Florida 32503  
 Telephone 850.435.0400 Fax 850.498.0448  
 EID 30009597 L27276

**SITE LAYOUT & DIMENSION PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBA COUNTY, FLORIDA

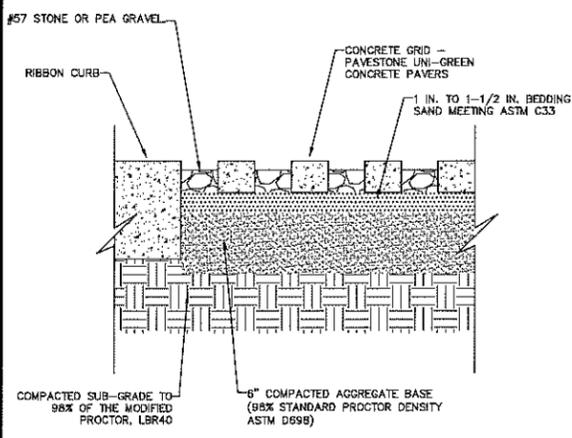
NO.	DATE	REVISION	ESCO COMMENTS
1	12/20/19		

SEAL  
 CONSTRUCTION SET  
 3/3/21  
 Paul A. Battle, P.E.  
 No. 53129

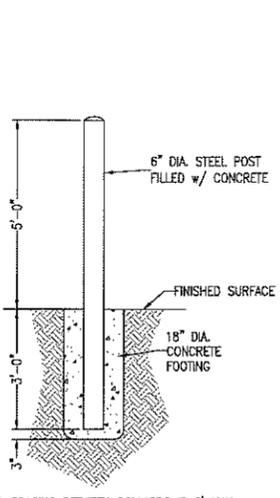
Dr. By: JJR  
 Ch. By: PAB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C2.3**  
 SHEET 8 OF 22

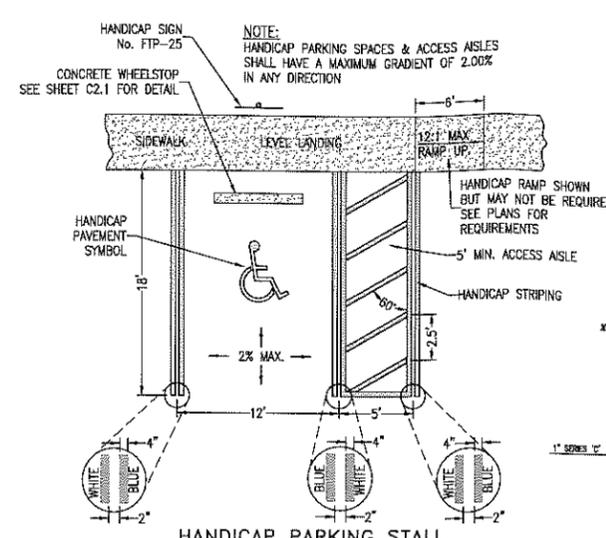
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**CONCRETE PAVERS DETAIL**  
N.T.S.



**BOLLARD DETAIL**  
N.T.S.



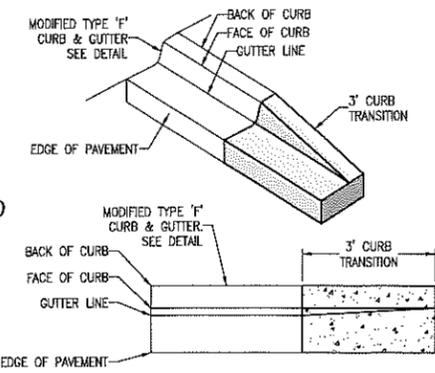
**HANDICAP PARKING STALL DETAILS**  
N.T.S.

**LAND DISTURBING NOTE**  
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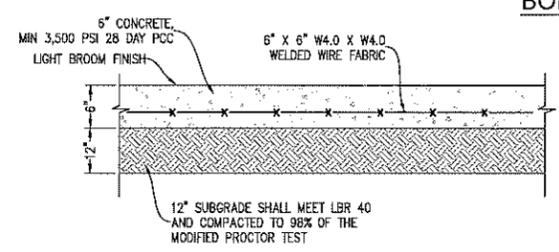


**FDOT STANDARD R7-8b**  
1'-0" x 0'-6"  
N.T.S.

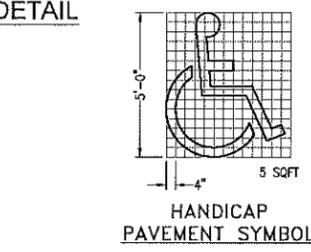
**FDOT STANDARD R1-1**  
30" x 30"  
N.T.S.



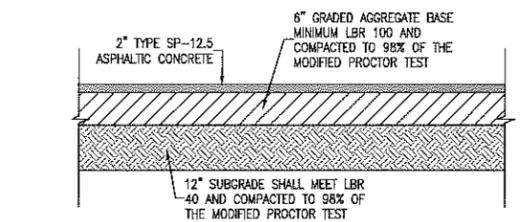
**MODIFIED TYPE 'F' CURB TRANSITION**  
N.T.S.



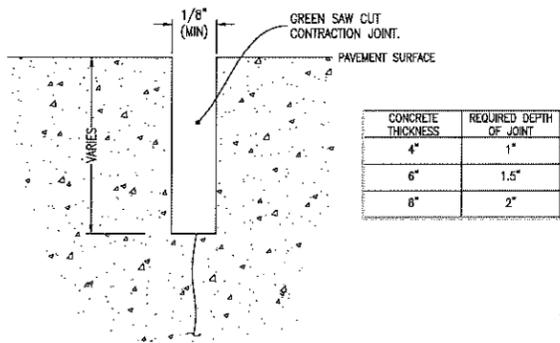
**CONCRETE PAVING DETAIL**  
N.T.S.



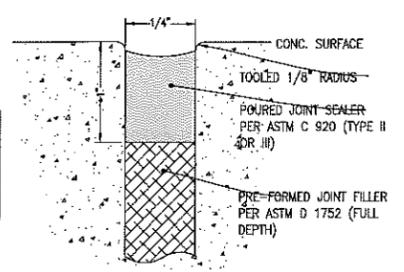
**HANDICAP PAVEMENT SYMBOL**



**ON-SITE ASPHALT PAVEMENT DETAIL**  
N.T.S.

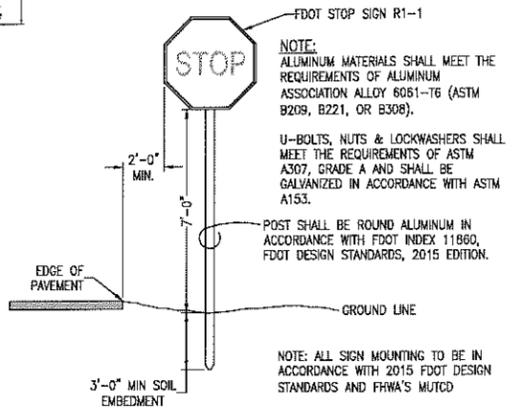


**CONTRACTION JOINT DETAIL**  
N.T.S.

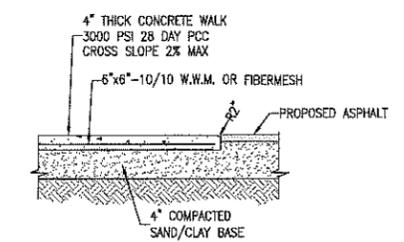


**EXPANSION JOINT DETAIL**  
N.T.S.

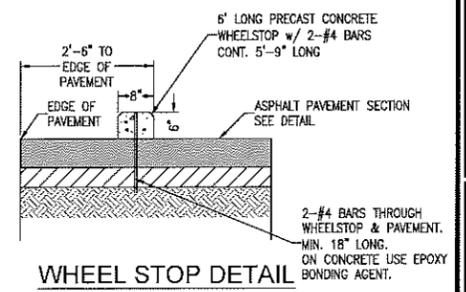
CONCRETE THICKNESS	REQUIRED DEPTH OF JOINT
4"	1"
6"	1.5"
8"	2"



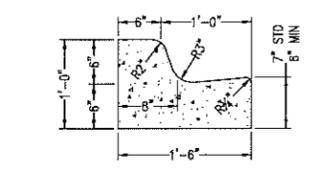
**SIGN MOUNTING DETAIL**  
N.T.S.



**SIDEWALK DETAIL ADJACENT TO PARKING LOT**  
N.T.S.



**WHEEL STOP DETAIL**  
N.T.S.



**MODIFIED TYPE 'F' CURB & GUTTER**  
N.T.S.

- NOTES:**
- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
  - ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
  - EXPANSION JOINTS ARE TO BE 30' ON CENTER, TYPICAL FOR ALL CURB.

**TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS**

**NOTES:**

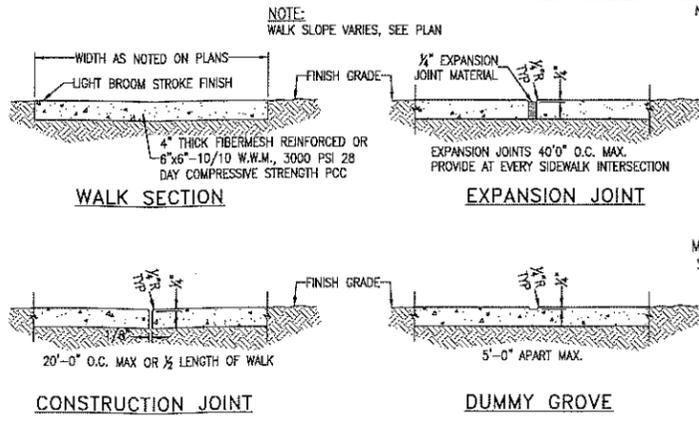
- ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
- DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1 - 1/2" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
- IF NECESSARY, REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
- RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
- PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

**TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.**

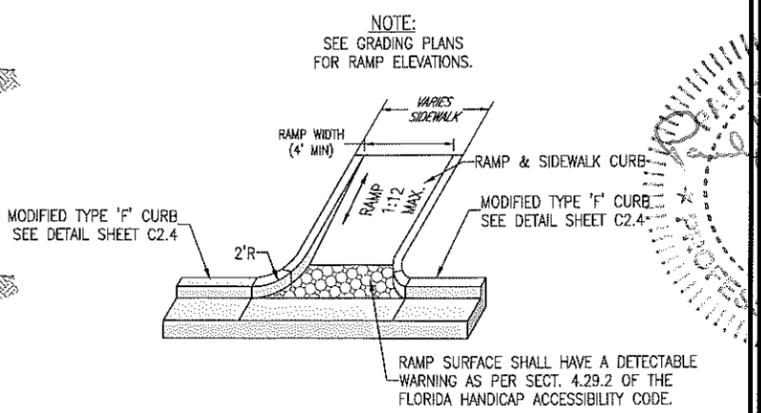
**NOTES:**

- SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.
- SEE F.D.O.T. INDEX NO. 515 FOR OTHER CONNECTIONS.

\* FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.



**SIDEWALK DETAILS**  
N.T.S.



**PEDESTRIAN SIDEWALK RAMP**  
N.T.S.

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Pensacola, Florida 32503  
Telephone 850.438.0400 Fax 850.438.0448  
EID 0000057 L37916

**SITE DETAILS**

**NINE MILE ROAD APARTMENTS**  
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	12-20-2019		

SEAL  
CONSTRUCTION SET  
G. 6326  
3/9/21  
Paul A. Battle, P.E.  
No. 19126  
DE: JLR  
CK: JLR  
Job No.: 2018.096  
Date: April 20, 2020  
DRAWING No.  
**C2.4**  
SHEET 8 OF 22

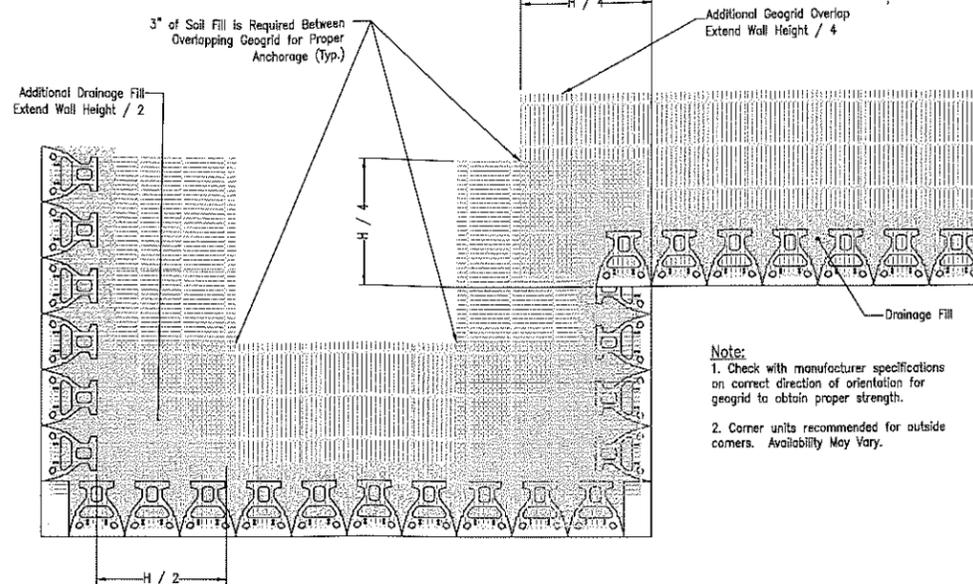
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**DENSITY CALCULATIONS:**  
 A MAXIMUM DENSITY OF 25 DWELLING UNITS PER ACRE.  
 MAXIMUM DENSITY = (10.85 ACRES)(25 PER/ACRE) = 271.25 UNITS  
 PROPOSED UNITS = 246 UNITS

**AREA CALCULATIONS:**  
 TOTAL PROPERTY AREA = 472,835 SF  
 EXISTING IMPERVIOUS AREA = 0 SF  
 EXISTING PERVIOUS AREA = 472,835 SF  
 EXISTING IMPERVIOUS TO BE REMOVED = 0 SF

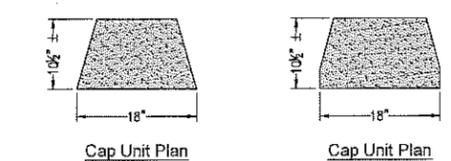
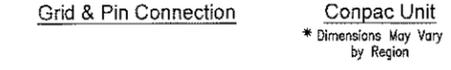
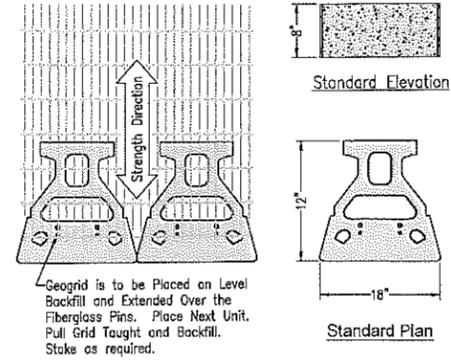
PROPOSED BUILDING AREA (FOOTPRINT) = 110,014 SF  
 PROPOSED ADDITIONAL IMPERVIOUS AREA = 182,602 SF  
 PROPOSED IMPERVIOUS AREA TOTAL SITE = 292,616 SF (61.9%)  
 PROPOSED PERVIOUS AREA = 180,219 SF (38.1%)

**LAND DISTURBING NOTE**  
 ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

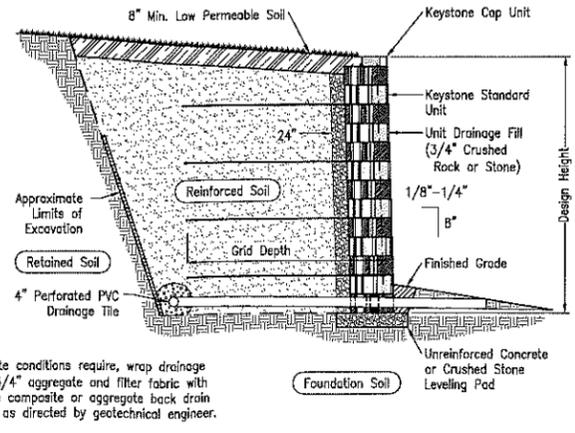
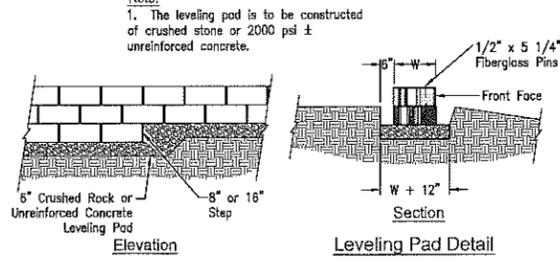
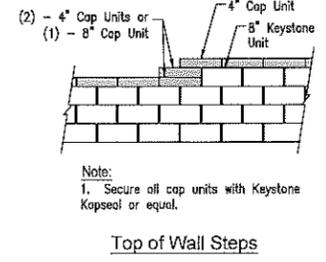


**Geogrid Installation at Corners**

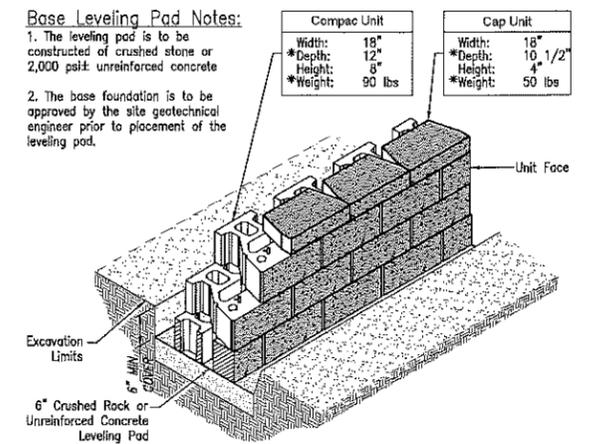
**Note:**  
 1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.  
 2. Corner units recommended for outside corners. Availability May Vary.



**RETAINING WALL NOTE:**  
 THE KEYSTONE WALL ILLUSTRATED HAS BEEN PROVIDED AS A REPRESENTATION OF THE TYPE AND QUALITY OF RETAINING WALL TO BE INSTALLED. AN APPROVED EQUIVALENT RETAINING WALL MAY BE INSTALLED IN PLACE OF THE KEYSTONE WALL. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE RETAINING WALL IS INSTALLED PER INDUSTRY AND MANUFACTURERS ACCEPTED STANDARDS.



**Typical Reinforced Wall Section**  
 Standard Unit - Near Vertical Setback



**Standard Unit/Base Pad Isometric Section View**  
 \*Dimensions & Weight May Vary by Region

**Base Leveling Pad Notes:**

- The leveling pad is to be constructed of crushed stone or 2,000 psi unreinforced concrete.
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

	Compac Unit	Cap Unit
*Width:	18"	18"
*Depth:	12"	10 1/2"
*Height:	8"	4"
*Weight:	90 lbs	50 lbs

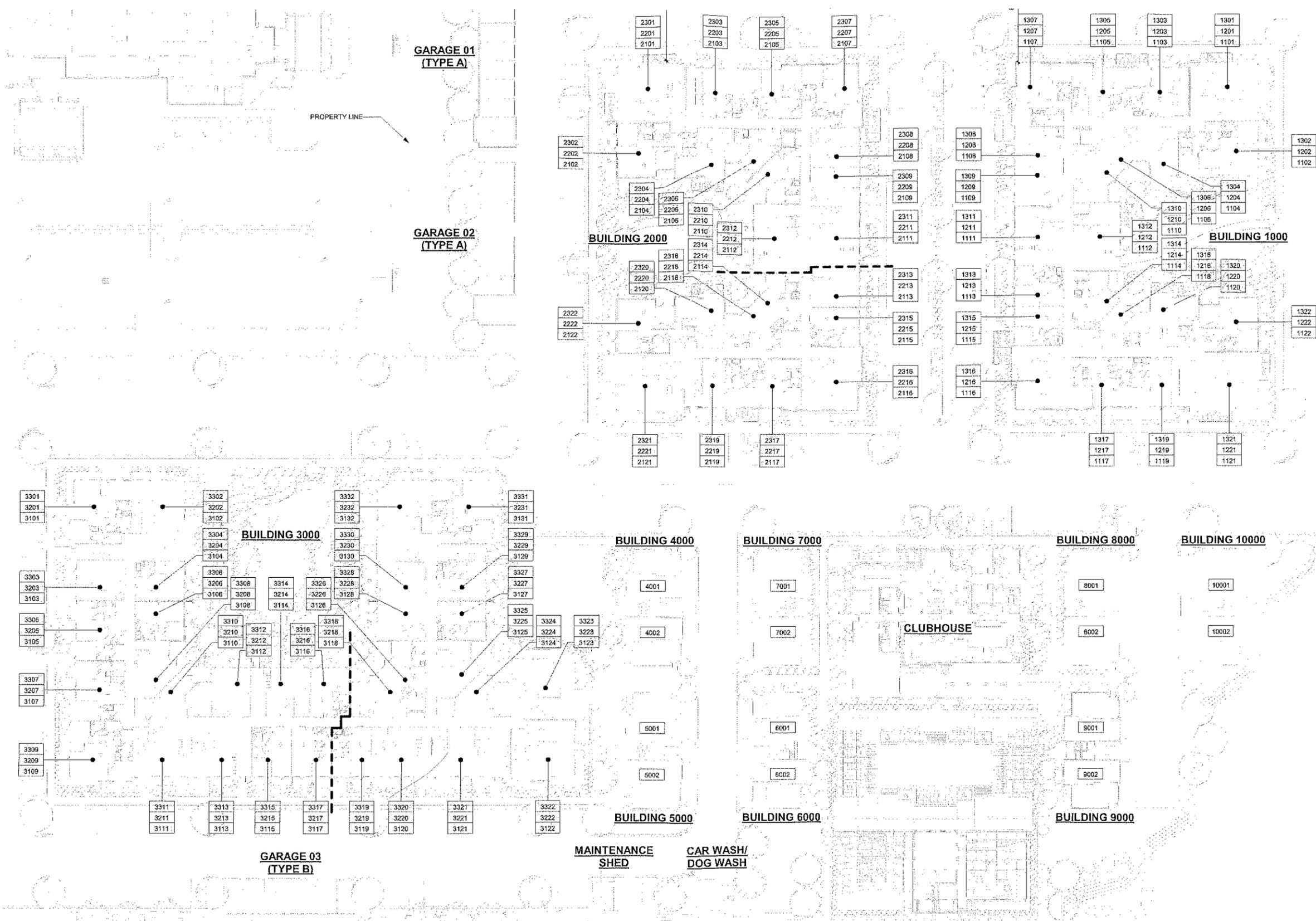
REVISION	DATE	ESCO COMMENTS
1	12-20-2019	

SEAL  
 CONSTRUCTION SET  
 No. 53126  
 3/3/21  
 Paul A. Battle, P.E.  
 No. 53126  
 FLORIDA  
 DR. By: JWR  
 Ck. By: PAB  
 Date: April 20, 2020  
 DRAWING No.  
**C2.5**  
 SHEET 10 OF 22

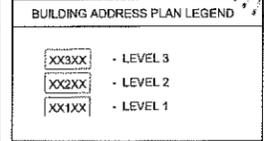
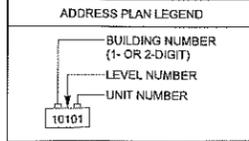
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NO.	DATE	REVISION	ESCO COMMENTS
1	11-20-2019		

CONSTRUCTION SET  
 No. 53126  
 STAYED  
 Paul A. Battle, P.E.  
 No. 53126  
 DYN DA  
 C.E. By: PAF  
 Job No. 2018.096  
 Date: April 20, 2020  
 DRAWING No.  
**C2.6**  
 SHEET 1 OF 22

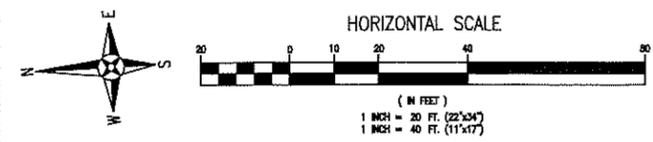


**LAND DISTURBING NOTE**  
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**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. High Avenue, Suite 300  
 Panama City, Florida 32503  
 Telephone: 904.360.0800  
 Fax: 904.360.0846  
 E-mail: rba@rba.com

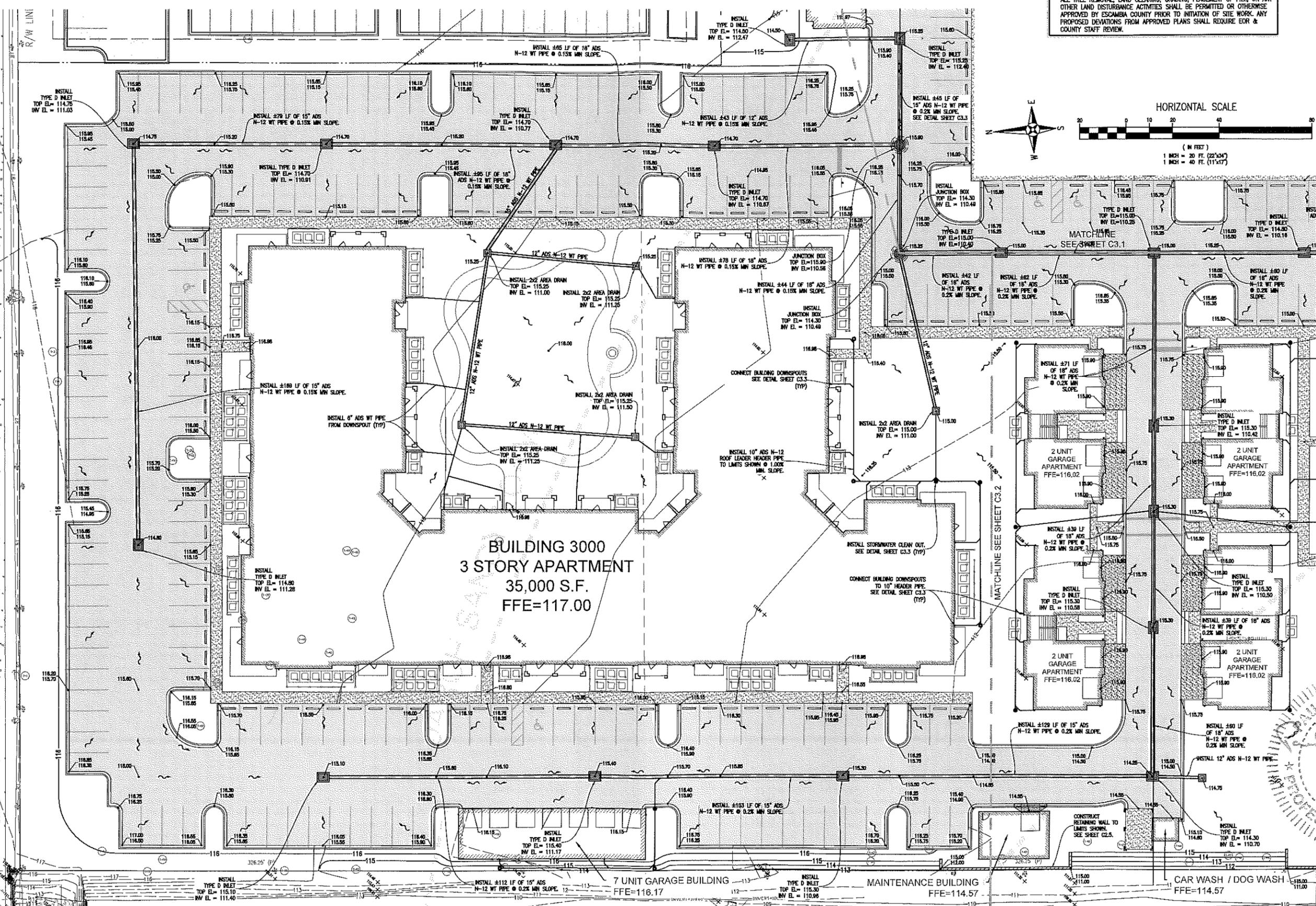
**GRADING & DRAINAGE PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION
1	12-20-2019	ESCO COMMENTS

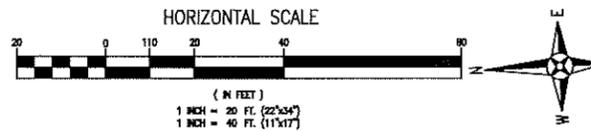
SEAL  
 CONSTRUCTION SET  
 No. 53125  
 3/3/21  
 Paul A. Battle, P.E.  
 No. 53125  
 Dr. Jay R. RAB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C3.0**  
 SHEET 11 OF 22

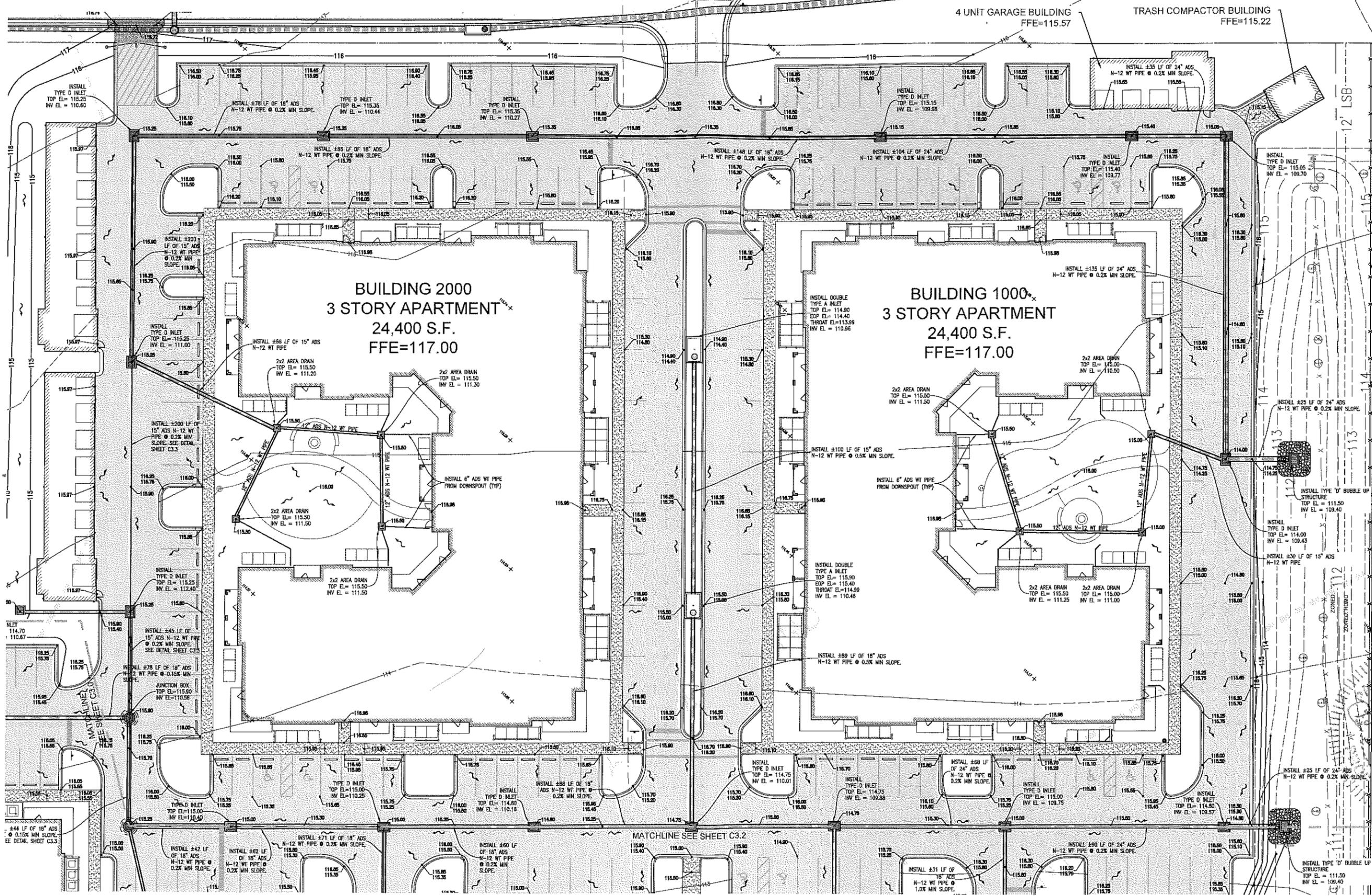


DATE: OCTOBER 2019  
 REVISION: 1/1/2020

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**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Panama City, Florida 32383  
 Telephone 850.438.0400 Fax 850.438.0448  
 EDD 20080227 131726

**GRADING & DRAINAGE PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

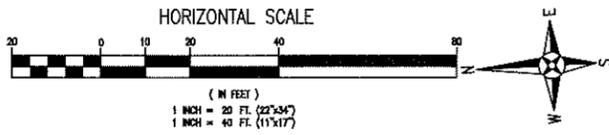
REVISION	DATE	ESCO COMMENTS
1	02/20/2019	

SEAL  
 STATE OF FLORIDA  
 3/3/21  
 RBA  
 No. 23126

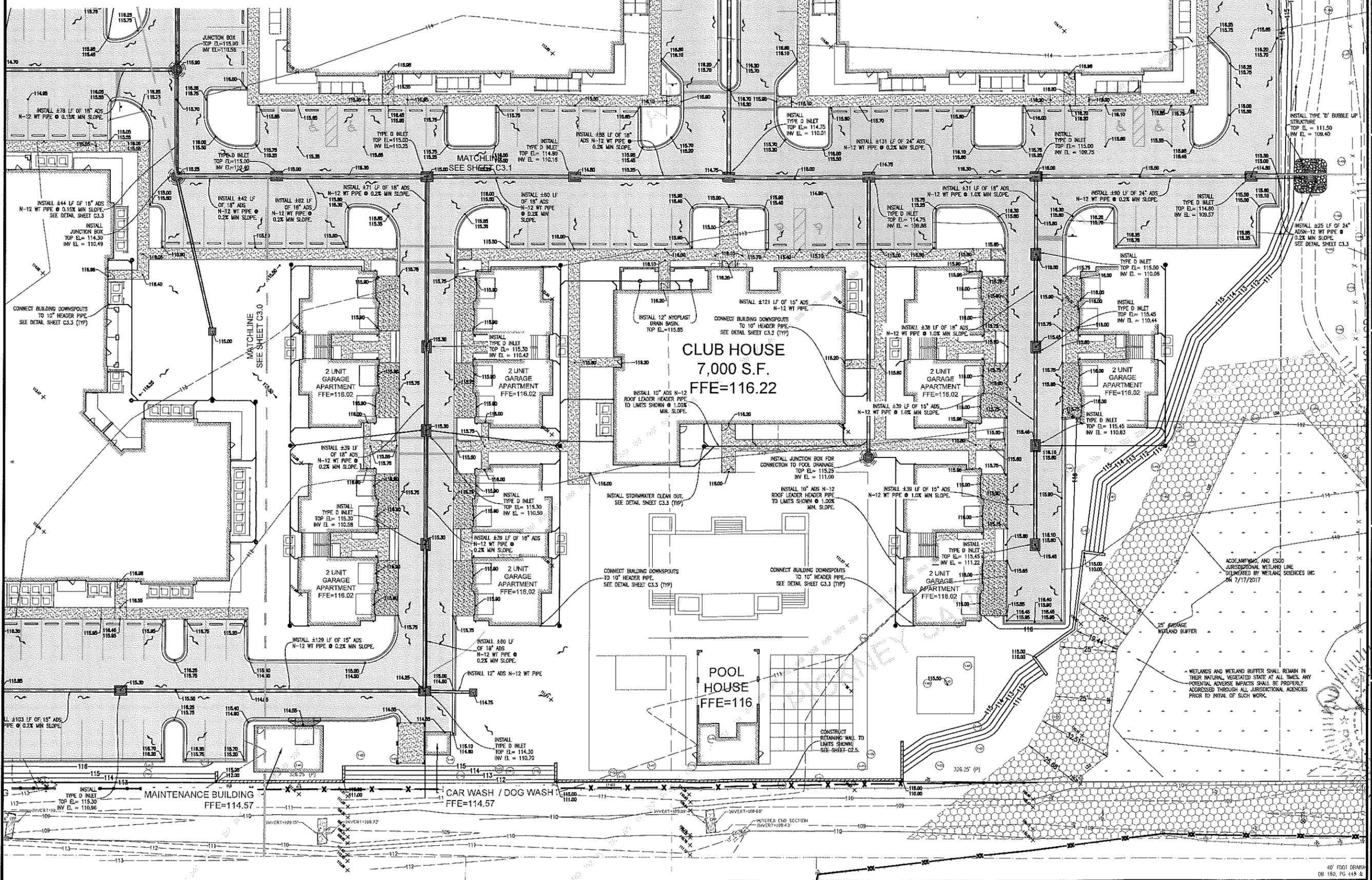
Dr. By: JWR  
 Ck By: PAB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C3.1**  
 SHEET 12 OF 22

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**LAND DISTURBING NOTE**  
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**RBA**  
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 Panama City, Florida 32503  
 Telephone 850.435.0400 Fax 850.438.0448  
 EID 20060597 132976

**GRADING & DRAINAGE PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

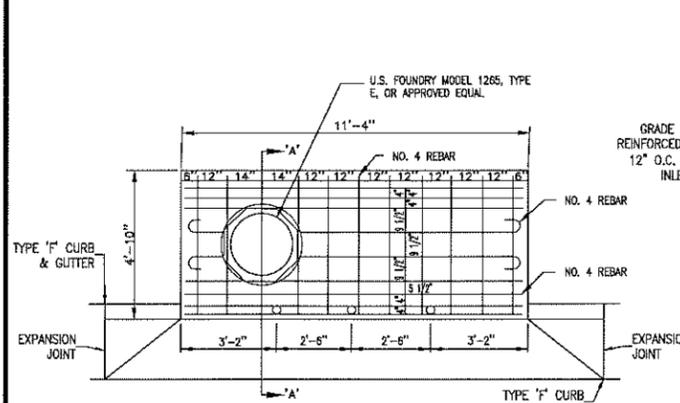
NO.	DATE	REVISION	ESCO COMMENTS
1	12/20/2019		

SEAL  
 CONSTRUCTION SET  
 STATE OF FLORIDA  
 3/3/21  
 PAUL A. BATTLE  
 PE 14661128

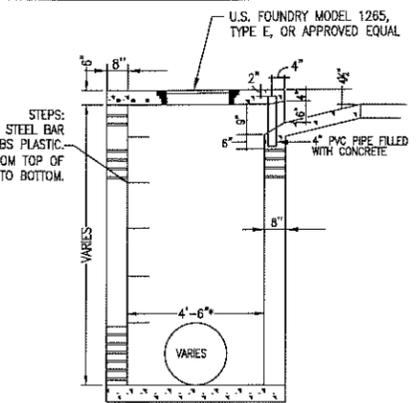
Dr. By: JUP  
 CK By: IPAS  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C3.2**  
 SHEET 13 OF 22

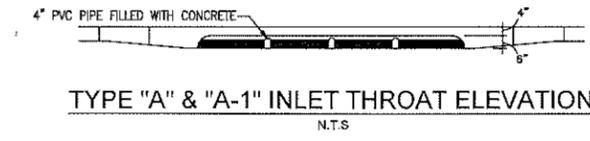
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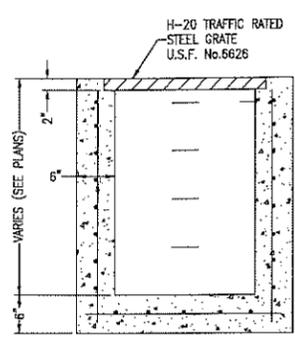
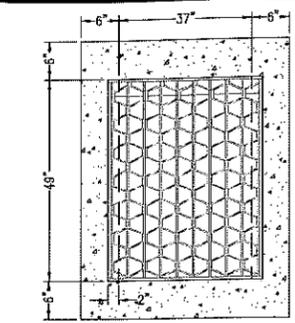
PLAN VIEW  
TYPE "A" CURB INLET DETAIL  
N.T.S.



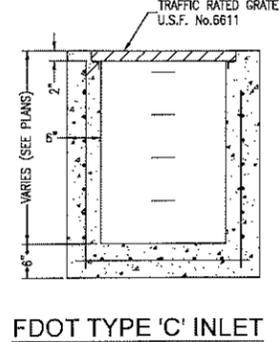
SECTION A-A  
TYPE "A" CURB INLET DETAIL  
N.T.S.



TYPE "A" & "A-1" INLET THROAT ELEVATION  
N.T.S.



FDOT TYPE 'D' INLET  
N.T.S.



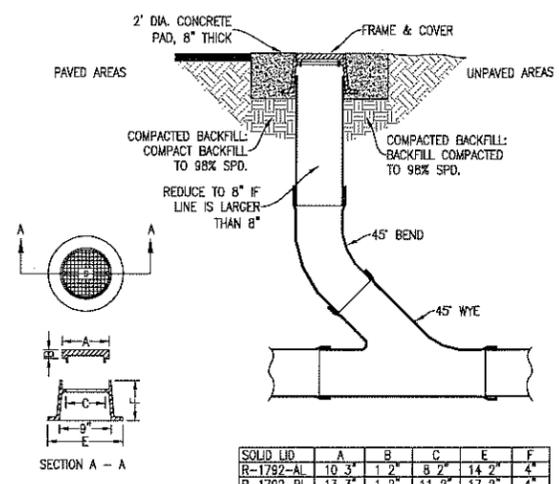
FDOT TYPE 'C' INLET  
N.T.S.

**LEGEND**

[Symbol]	EXISTING ASPHALT	[Symbol]	BENCHMARK
[Symbol]	EXISTING CONCRETE	[Symbol]	GUY ANCHOR
[Symbol]	PROPOSED ASPHALT	[Symbol]	FLOW ARROW
[Symbol]	PROPOSED CONCRETE	[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED GRAVEL	[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	BOUNDARY LINE	[Symbol]	PROPOSED SPOT ELEVATION MEET EXISTING
[Symbol]	EASEMENT LINE		
[Symbol]	LOT LINE		
[Symbol]	RIGHT-OF-WAY LINE		
[Symbol]	EXISTING CONTOUR		
[Symbol]	PROPOSED CONTOUR		
[Symbol]	UTILITY POLE		
[Symbol]	LIGHT POLE		
[Symbol]	TELEPHONE BOX		
[Symbol]	100.00 (BACK OF CURB)		
[Symbol]	99.50 (EDGE OF PAVEMENT)		

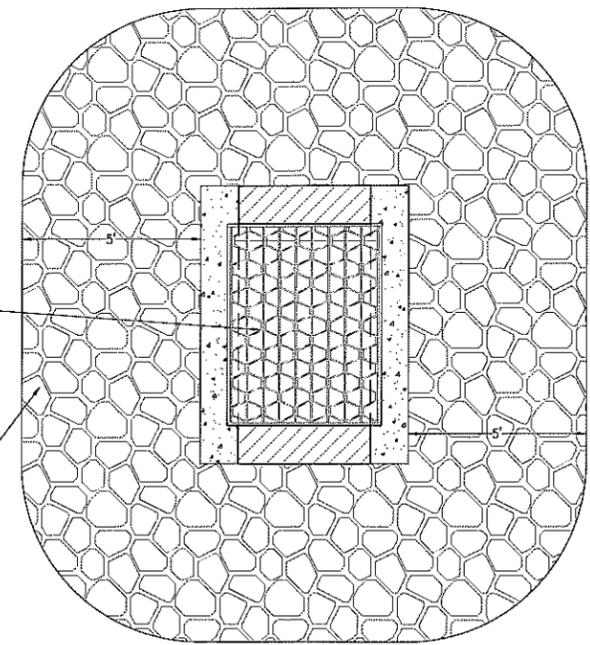
- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
  2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
  3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
  4. DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDED, MULCHED & FERTILIZED.
  5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
  6. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
  7. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBA COUNTY AS-BUILT CERTIFICATION AND/OR DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY.
  8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
  9. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
  10. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
  11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
  12. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
  13. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
  14. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
  15. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR SUBMITTING THE "CONSTRUCTION COMMENCEMENT NOTICE FORM" 62-346.900(3).
  16. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "AS BUILT CERTIFICATION FORM" 62-346.900(4) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
  17. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "REQUEST FOR CONVERSION OF STORMWATER MANAGEMENT PERMIT CONSTRUCTION PHASE TO OPERATION AND MAINTENANCE PHASE FORM" 62-346.900(6). THIS FORM SHALL BE SUBMITTED CONCURRENTLY WITH THE AS BUILT CERTIFICATION.
  18. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

**LAND DISTURBING NOTE**  
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

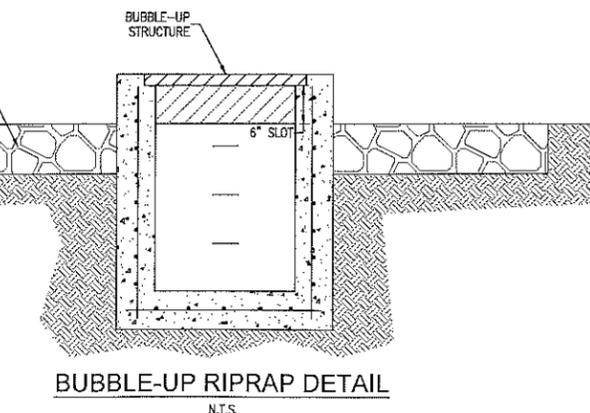


CLEANOUT DETAIL  
N.T.S.

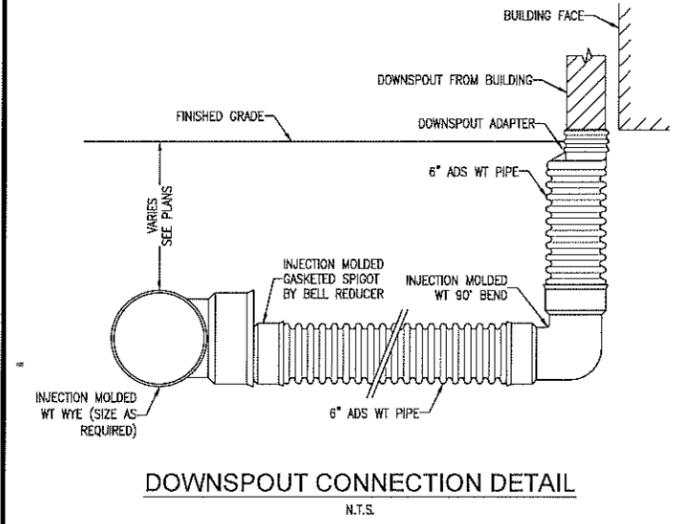
SOLID LID	A	B	C	E	F
R-1792-AL	10' 3"	1' 2"	8' 2"	14' 2"	4' 4"
R-1792-BL	13' 3"	1' 2"	11' 2"	17' 2"	4' 4"



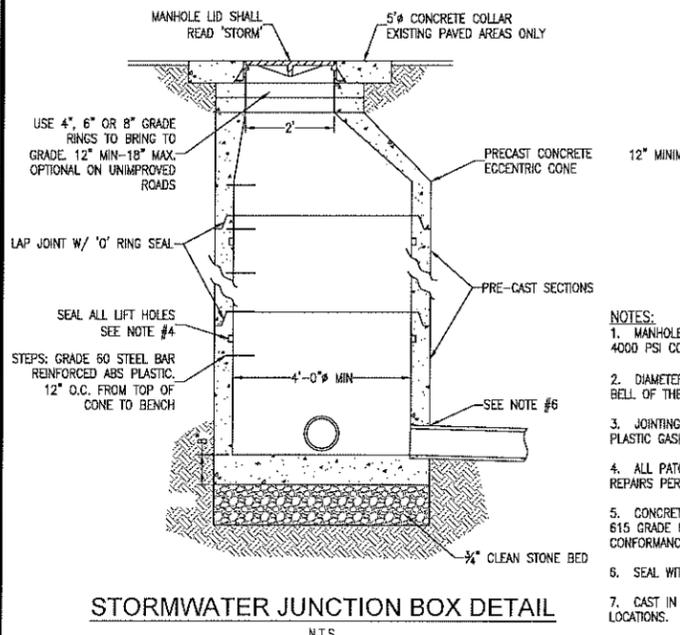
BUBBLE-UP RIPRAP DETAIL  
N.T.S.



BUBBLE-UP RIPRAP DETAIL  
N.T.S.



DOWNSPOUT CONNECTION DETAIL  
N.T.S.



STORMWATER JUNCTION BOX DETAIL  
N.T.S.

- NOTES:**
1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
  2. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
  3. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, FORM PLASTIC GASKET OR EQUAL.
  4. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
  5. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTM C-478.
  6. SEAL WITH A-LOK, KORE-N-SEAL OR LOCK-JOINT
  7. CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.

**RBA**  
REBOL-BATTLE & ASSOCIATES  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Palm Beach, Florida 33503  
Telephone 880.238.0400 Fax 880.438.0446  
EID 20020697 132976

GRADING & DRAINAGE  
DETAILS

NINE MILE ROAD  
APARTMENTS  
ESCAMBA COUNTY, FLORIDA

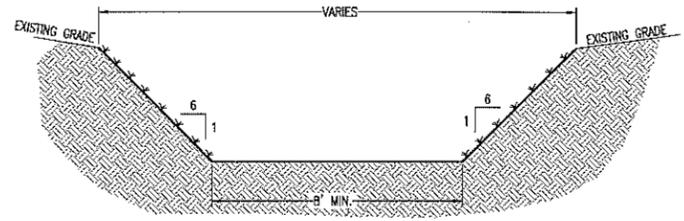
NO.	DATE	REVISION	ESCO COMMENTS
1	12-20-2017		

SEAL  
STATE OF FLORIDA  
PAUL A. BATTLE  
No. 53126  
Professional Engineer

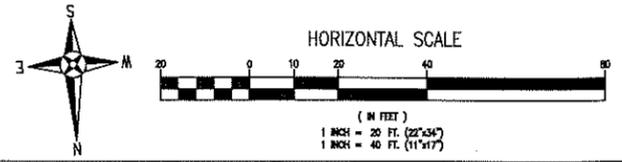
Dr: By: JUB  
Ck By: PAB  
Job No.: 2018.096  
Date: April 20, 2020

DRAWING No.  
**C3.3**  
SHEET 14 OF 22

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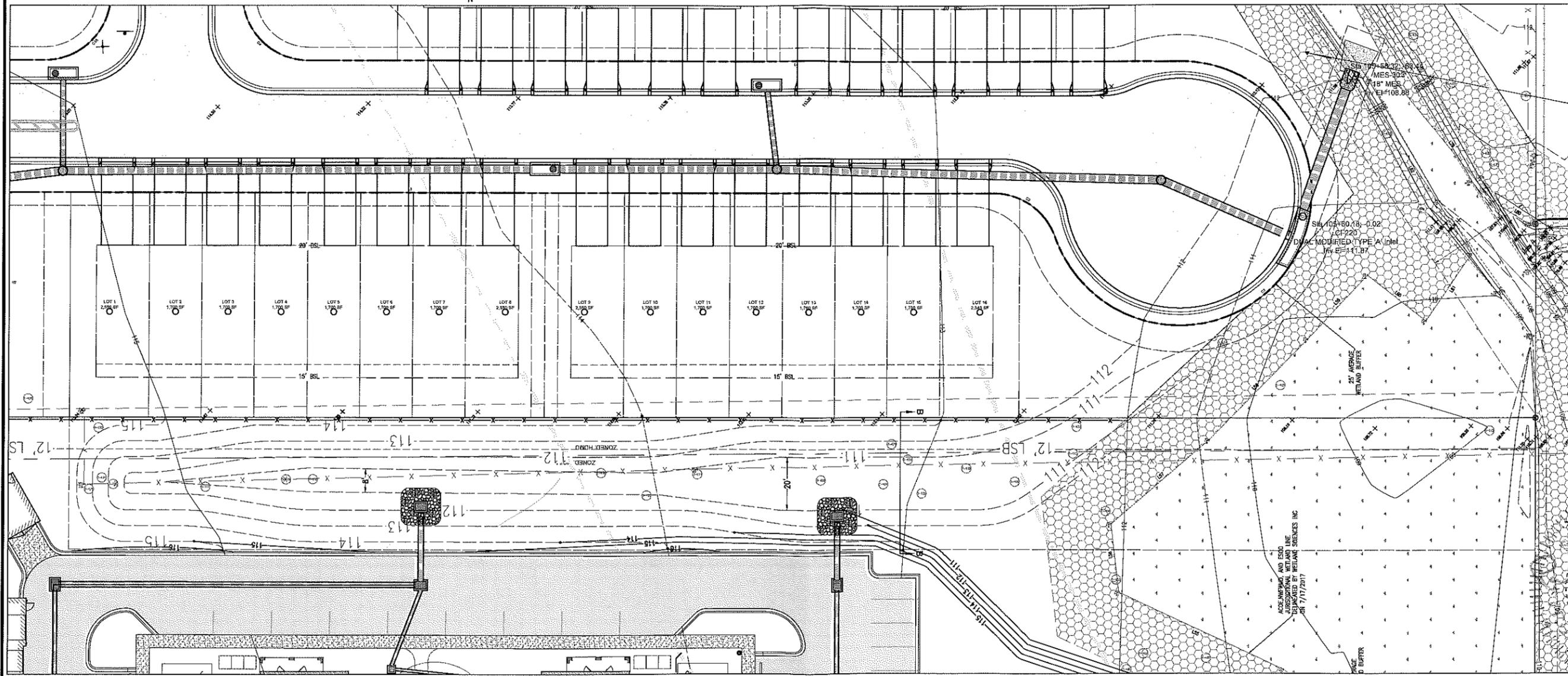


EXISTING DITCH  
CROSS SECTION B-B  
N.T.S.



**LAND DISTURBING NOTE**  
ALL TREE REMOVAL, LAND CLEARING, GRADING, PLACEMENT OF FILL, OR ANY OTHER LAND DISTURBANCE ACTIVITIES SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF SITE WORK. ANY PROPOSED DEVIATIONS FROM APPROVED PLANS SHALL REQUIRE EOR & COUNTY STAFF REVIEW.

LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED GRAVEL
[Line]	BOUNDARY LINE
[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE
[Line]	EXISTING CONTOUR
[Line]	PROPOSED CONTOUR
[Symbol]	UTILITY POLE
[Symbol]	BENCHMARK
[Symbol]	LIGHT POLE
[Symbol]	GUY ANCHOR
[Symbol]	TELEPHONE BOX
[Symbol]	FLOW ARROW
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION MEET EXISTING



DRAINAGE DITCH DETAIL  
N.T.S.

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Panama City, Florida 32383  
Telephone: 850.438.0460 Fax: 850.438.0448  
EID License # 132916

GRADING & DRAINAGE  
DETAILS

NINE MILE ROAD  
APARTMENTS  
ESCAMBIA COUNTY, FLORIDA

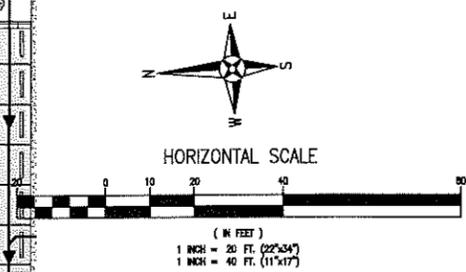
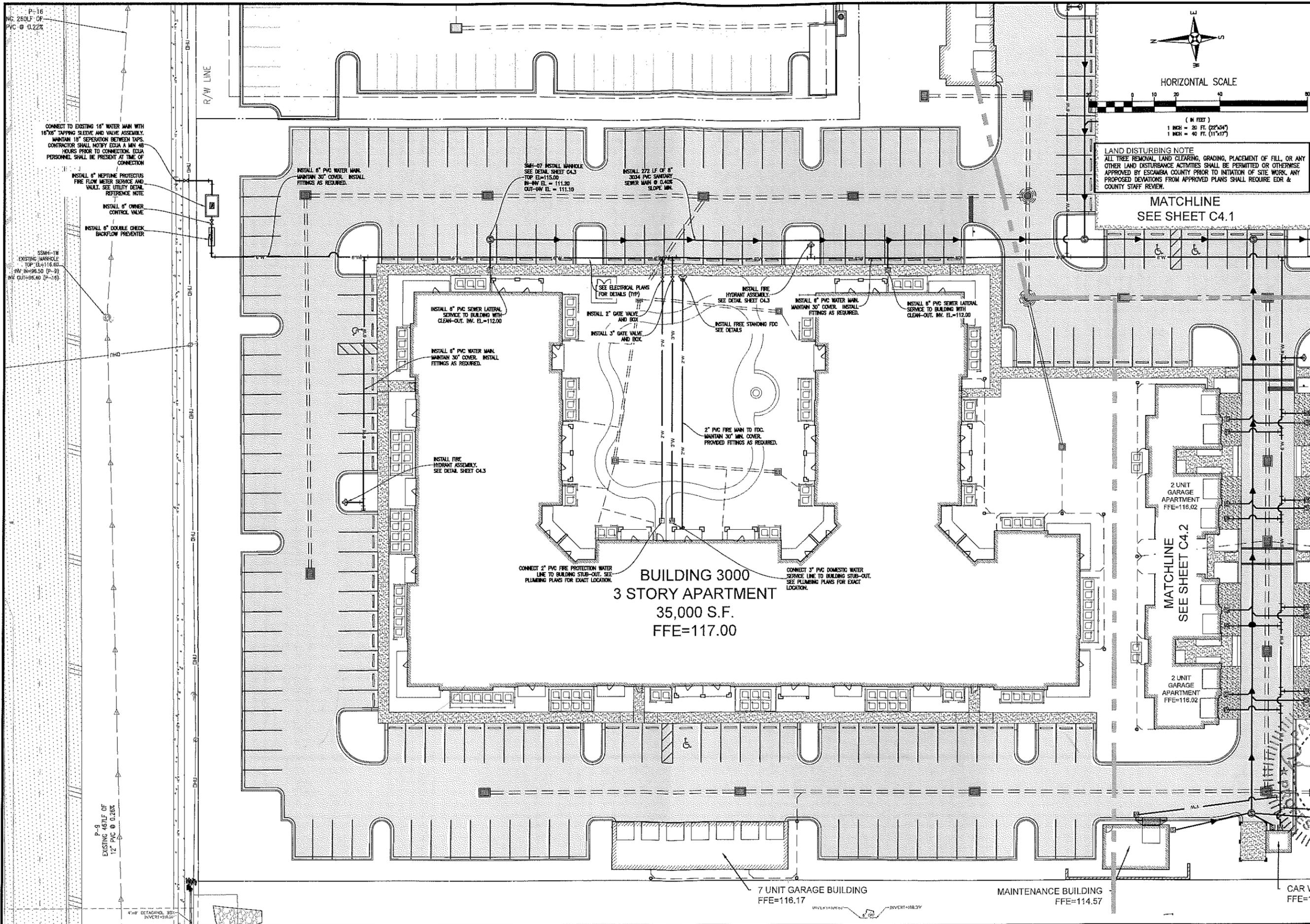
NO.	DATE	REVISION	ESCO COMMENTS
1	02-20-2019		

SEAL  
CONSTRUCTION SET  
No. 53128  
STATE OF FLORIDA  
3/5/21  
Raul A. Battle, P.E.  
No. 53128

DR. BY: JLR  
OWNED BY: PAB  
Job No.: 2018.096  
Date: April 20, 2020

DRAWING No.  
**C3.3**  
SHEET 14 OF 22

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LAND DISTURBING NOTE  
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MATCHLINE  
 SEE SHEET C4.1

**BUILDING 3000**  
**3 STORY APARTMENT**  
 35,000 S.F.  
 FFE=117.00

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Nida Avenue, Suite 300  
 Panama City, Florida 32503  
 Telephone: 850.438.0400 Fax: 850.438.0446  
 EID: 00000097 137918

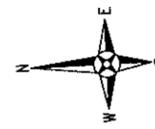
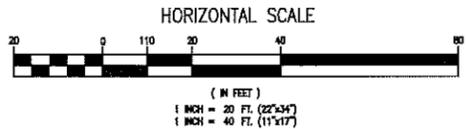
UTILITY PLAN

**NINE MILE ROAD**  
**APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION
1	12-2-2019	ESCO COMMENTS

SEAL  
 CONSTRUCTION SET  
 No. 03126  
 STATE OF FLORIDA  
 APR 20 2020  
 Job No.: 2018.096  
 Date: April 20, 2020  
 DRAWING No.  
**C4.0**  
 SHEET 15 OF 22

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**LAND DISTURBING NOTE**  
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4 UNIT GARAGE BUILDING  
 FFE=115.57

TRASH COMPACTOR BUILDING  
 FFE=115.22

**BUILDING 2000**  
 3 STORY APARTMENT  
 24,400 S.F.  
 FFE=117.00

**BUILDING 1000**  
 3 STORY APARTMENT  
 24,400 S.F.  
 FFE=117.00

SMH-01 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 CONNECT TO STUB-OUT  
 TOP EL.=115.00  
 IN-NV EL. = 108.85  
 OUT-NV EL. = 108.75

INSTALL 88 LF OF 8"  
 3034 PVC SANITARY SEWER  
 MAN @ 0.40% SLOPE MIN.

SMH-02 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=118.25  
 IN-NV EL. = 107.33  
 OUT-NV EL. = 107.20

SMH-04 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=115.75  
 IN-NV EL. = 111.50  
 OUT-NV EL. = 111.40

INSTALL 6" PVC SEWER LATERAL  
 SERVICE TO BUILDING WITH  
 CLEAN-OUT. INV. EL.=112.00

INSTALL 192 LF OF 8"  
 3034 PVC SANITARY  
 SEWER MAN @ 0.72%  
 SLOPE MIN.

2" PVC FIRE MAIN TO FDC.  
 MAINTAIN 30" MIN. COVER.  
 PROVIDED FITTINGS AS REQUIRED.

INSTALL FREE STANDING FDC.  
 SEE DETAILS.

CONNECT 3" PVC DOMESTIC WATER  
 SERVICE LINE TO BUILDING STUB-OUT.  
 SEE PLUMBING PLANS FOR EXACT  
 LOCATION.

CONNECT 2" PVC FIRE PROTECTION WATER  
 LINE TO BUILDING STUB-OUT. SEE  
 PLUMBING PLANS FOR EXACT LOCATION.

3" GATE VALVE IN BOX.  
 2" GATE VALVE IN BOX.

INSTALL FIRE  
 HYDRANT ASSEMBLY.  
 SEE DETAIL SHEET C4.1

INSTALL 6" PVC SEWER LATERAL  
 SERVICE TO BUILDING WITH  
 CLEAN-OUT. INV. EL.=112.00  
 INSTALL 6" PVC WATER MAIN.  
 MAINTAIN 30" COVER. INSTALL  
 FITTINGS AS REQUIRED.

SMH-08 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=118.25  
 IN-NV EL. = 110.01  
 OUT-NV EL. = 109.91

INSTALL 77 LF OF 8"  
 3034 PVC SANITARY  
 SEWER MAN @ 0.40%  
 SLOPE MIN.

SMH-05 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=115.75  
 IN-NV EL. = 109.50  
 OUT-NV EL. = 109.50

INSTALL 183 LF OF 8"  
 3034 PVC SANITARY  
 SEWER MAN @ 0.62%  
 SLOPE MIN.

SEE ELECTRICAL PLANS  
 FOR DETAILS (TYP)

SMH-03 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=118.25  
 IN-NV EL. = 107.77  
 OUT-NV EL. = 107.67

INSTALL 6" PVC SEWER LATERAL  
 SERVICE TO BUILDING WITH  
 CLEAN-OUT. INV. EL.=112.00

INSTALL 244 LF OF 8"  
 3034 PVC SANITARY  
 SEWER MAN @ 0.40%  
 SLOPE MIN.

CONNECT 3" PVC DOMESTIC WATER  
 SERVICE LINE TO BUILDING STUB-OUT.  
 SEE PLUMBING PLANS FOR EXACT  
 LOCATION.

CONNECT 2" PVC FIRE PROTECTION WATER  
 LINE TO BUILDING STUB-OUT. SEE  
 PLUMBING PLANS FOR EXACT LOCATION.

INSTALL 196 LF OF 8"  
 3034 PVC SANITARY SEWER  
 MAN @ 0.40% SLOPE MIN.

INSTALL 6" PVC SEWER LATERAL  
 SERVICE TO BUILDING WITH  
 CLEAN-OUT. INV. EL.=112.00

SMH-04 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=115.75  
 IN-NV EL. = 108.85  
 OUT-NV EL. = 108.75

INSTALL 116 LF OF 8"  
 3034 PVC SANITARY  
 SEWER MAN @ 1.00%  
 SLOPE MIN.

SEE ELECTRICAL PLANS  
 FOR DETAILS (TYP)

SMH-10 INSTALL MANHOLE  
 SEE DETAIL SHEET C4.3  
 TOP EL.=116.00  
 IN-NV EL. = 110.81  
 OUT-NV EL. = 110.71

INSTALL FREE STANDING FDC  
 SEE DETAILS

INSTALL 6" PVC WATER MAIN.  
 MAINTAIN 30" COVER. INSTALL  
 FITTINGS AS REQUIRED.

INSTALL FREE  
 HYDRANT ASSEMBLY.  
 SEE DETAIL SHEET C4.1

INSTALL 6" PVC WATER MAIN.  
 MAINTAIN 30" COVER.  
 INSTALL FITTINGS AS REQUIRED.

INSTALL 6" PVC WATER MAIN.  
 MAINTAIN 30" COVER.  
 INSTALL FITTINGS AS REQUIRED.

MATCHLINE  
 SEE SHEET C4.2

MATCHLINE  
 SEE SHEET C4.0

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Pensacola, Florida 32503  
 Telephone 850.435.0450 Fax 850.435.0448  
 EID 9009967 137216

UTILITY PLAN

**NINE MILE ROAD  
 APARTMENTS**  
 ESCAMBA COUNTY, FLORIDA

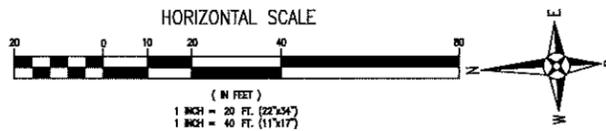
NO.	DATE	REVISION

STATE OF FLORIDA  
 PROFESSIONAL SEAL  
 5398  
 CONSTRUCTION SET  
 R. A. Battle, P.E.  
 No. 53126

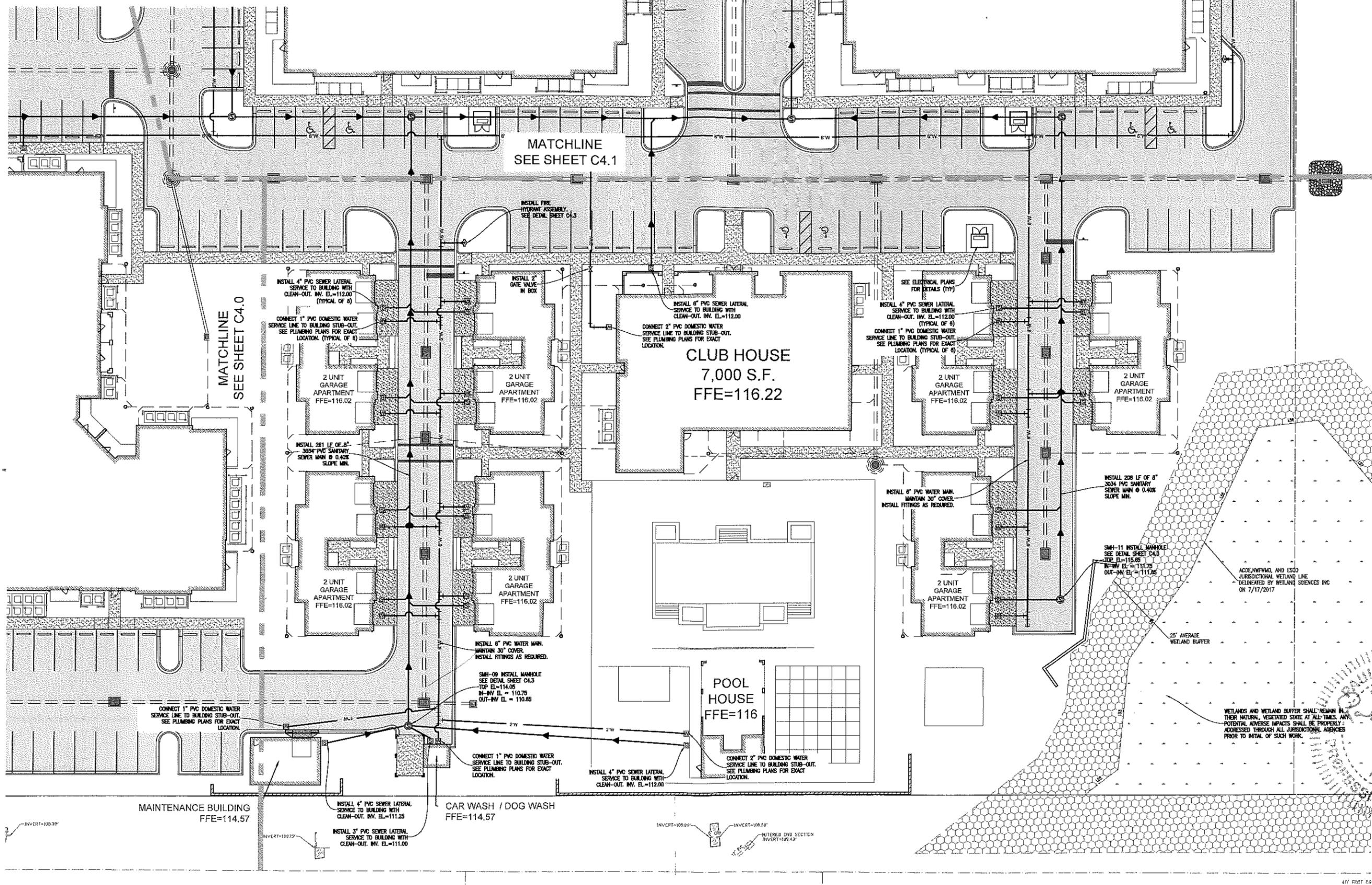
Dr. By: JJR  
 Ck. By: PAB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C4.1**  
 SHEET 16 OF 22

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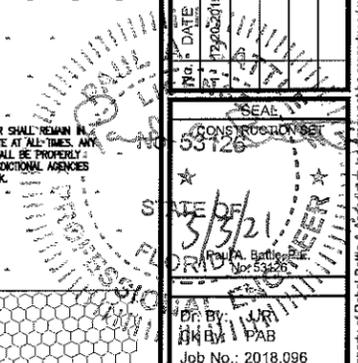
**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. High Avenue, Suite 300  
 Panama City, Florida 32383  
 Telephone 850.233.0400 Fax 850.438.0446  
 EID 30000907 137216

**UTILITY PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	1/20/2018		

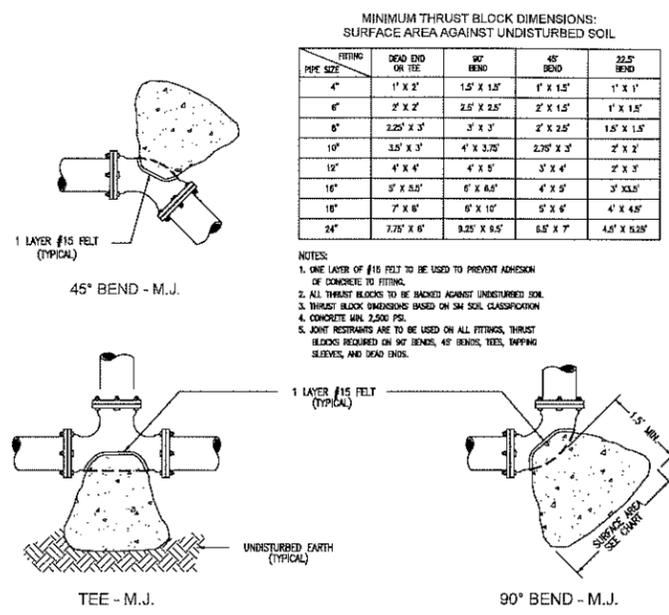
WETLANDS AND WETLAND BUFFER SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES. ANY POTENTIAL ADVERSE IMPACTS SHALL BE PROPERLY ADDRESSED THROUGH ALL JURISDICTIONAL AGENCIES PRIOR TO INITIAL OF SUCH WORK.



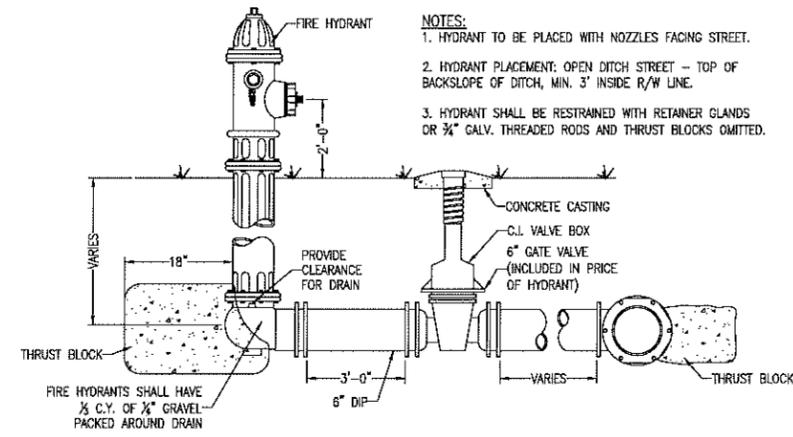
DR. BY: JRB  
 JRB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C4.2**  
 SHEET 17 OF 22

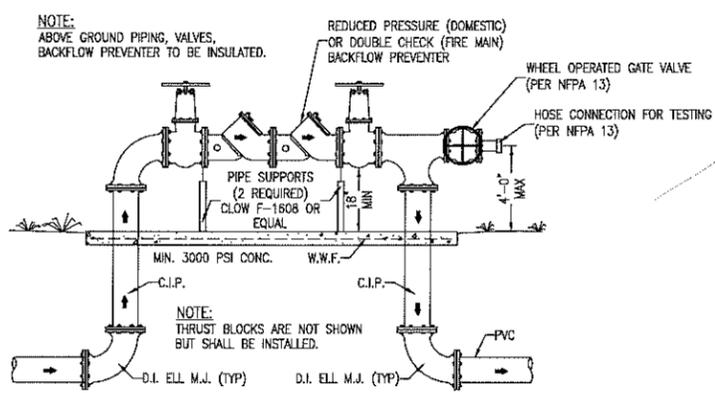
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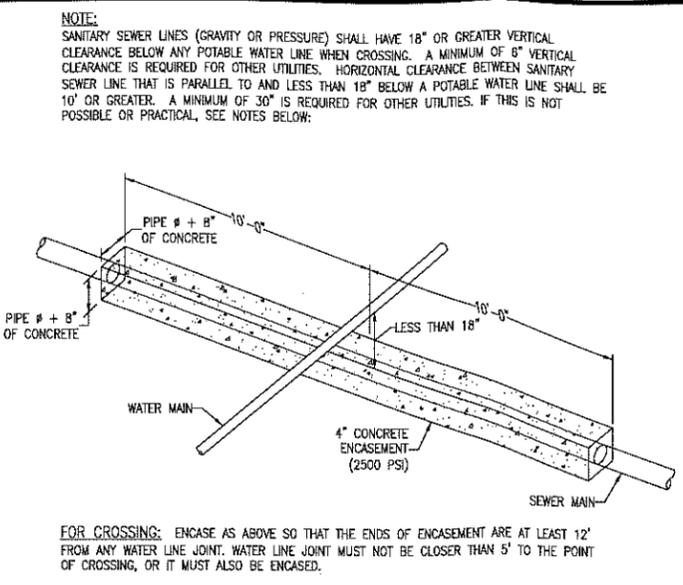
TYPICAL THRUST BLOCK INSTALLATIONS  
N.T.S.



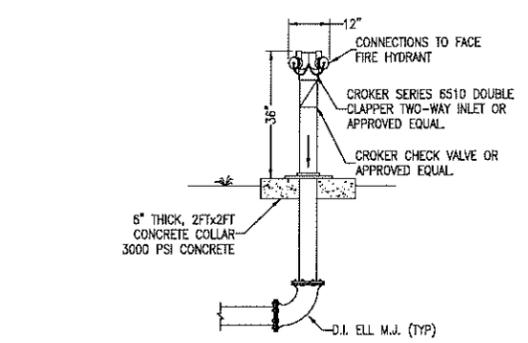
FIRE HYDRANT DETAIL  
N.T.S.



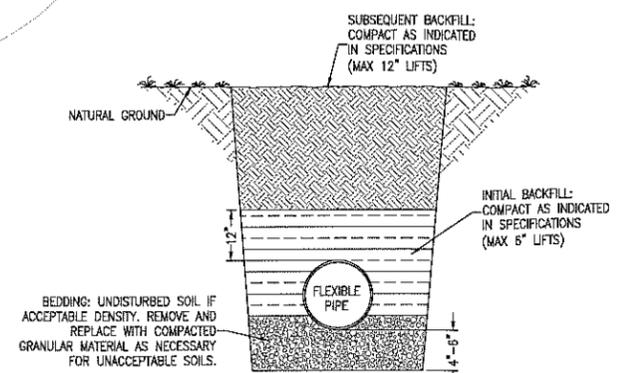
BACKFLOW PREVENTER W/  
FLOW TEST CONNECTION DETAIL  
N.T.S.



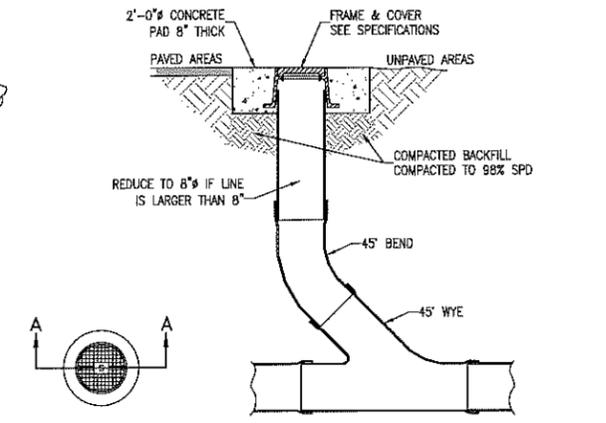
SEWER / WATER SEPARATION & CLEARANCES  
N.T.S.



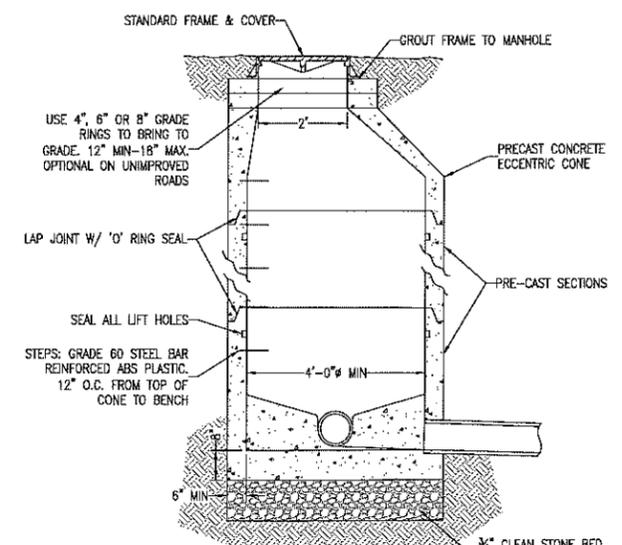
FREESTANDING FIRE DEPARTMENT  
CONNECTION DETAIL  
N.T.S.



FLEXIBLE PIPE BEDDING  
N.T.S.



SECTION A - A  
SEWER CLEANOUT DETAIL (TRAFFIC RATED)  
N.T.S.



JUNCTION BOX DETAIL  
N.T.S.

LEGEND

[Symbol]	EXISTING ASPHALT
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING WOODEN FENCE
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE (GRAVITY)
[Symbol]	FORCE MAIN
[Symbol]	OVERHEAD UTILITIES
[Symbol]	BURIED TELEPHONE LINE
[Symbol]	GAS LINE
[Symbol]	BURIED ELECTRIC LINE
[Symbol]	BURIED FIBER OPTIC CABLE
[Symbol]	BURIED TV LINE
[Symbol]	BENCHMARK
[Symbol]	FIRE HYDRANT
[Symbol]	UTILITY POLE
[Symbol]	WATER METER
[Symbol]	GUY ANCHOR
[Symbol]	WATER VALVE
[Symbol]	LIGHT POLE
[Symbol]	CLEANOUT
[Symbol]	TELEPHONE BOX
[Symbol]	SEWER MANHOLE
[Symbol]	GAS VALVE
[Symbol]	STORMWATER MANHOLE

- UTILITY NOTES:
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
  - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
  - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
  - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
  - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
  - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
  - ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
  - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
  - ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY AND THE ECUA GUIDELINES.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
  - ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
  - ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
  - THE LIFT STATION AND FORCE MAIN SHALL BE PRIVATELY OWNED, OPERATED AND MAINTAINED.

LAND DISTURBING NOTE  
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RBA  
REBOL-BATTLE & ASSOCIATES  
Civil Engineers and Surveyors  
2301 N. Ninth Avenue, Suite 300  
Panama City, Florida 32503  
Telephone 850.438.0460 Fax 850.438.0448  
E-mail: rebol@rba.com

UTILITY DETAILS

NINE MILE ROAD  
APARTMENTS  
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	ESCO COMMENTS
No. 1	12-20-2019	

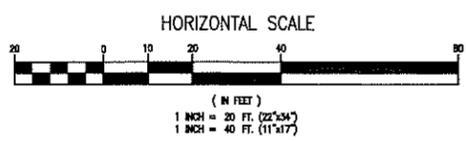
SEAL  
CONSTRUCTION SET  
No. 53126  
DATE: 3/3/21  
P.L.A. BATTLE, P.E.  
No. 43126

Dr. By: JWR  
Ck. By: JWR  
Job No.: 2018.098  
Date: April 20, 2020

DRAWING No.  
C4.3  
SHEET 18 OF 22

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LAND DISTURBING NOTE  
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MATCHLINE  
 SEE SHEET C5.1

BUILDING 3000  
 3 STORY APARTMENT  
 35,000 S.F.  
 FFE=117.00

MATCHLINE  
 SEE SHEET C5.2

2 UNIT GARAGE APARTMENT  
 FFE=116.02

2 UNIT GARAGE APARTMENT  
 FFE=116.02

7 UNIT GARAGE BUILDING  
 FFE=116.17

MAINTENANCE BUILDING  
 FFE=114.57

CAR WASH / DOG WASH  
 FFE=114.57

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Panama City, Florida 32503  
 Telephone: (904) 397-6867 Fax: (904) 397-6868  
 E-mail: rba@rba-engineers.com

LANDSCAPE PLAN

NINE MILE ROAD  
 APARTMENTS  
 ESCAMBIA COUNTY, FLORIDA

DATE	REVISION	ESCO COMMENTS
12/15/19	1	
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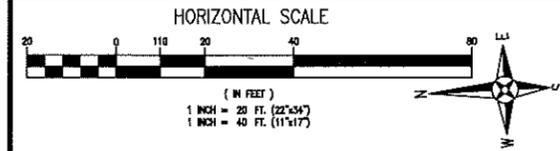
SEAL  
 CONSTRUCTION SET  
 No. 53426

STATE OF  
 FLORIDA  
 3/3/21  
 FFLA Building  
 No. 53426

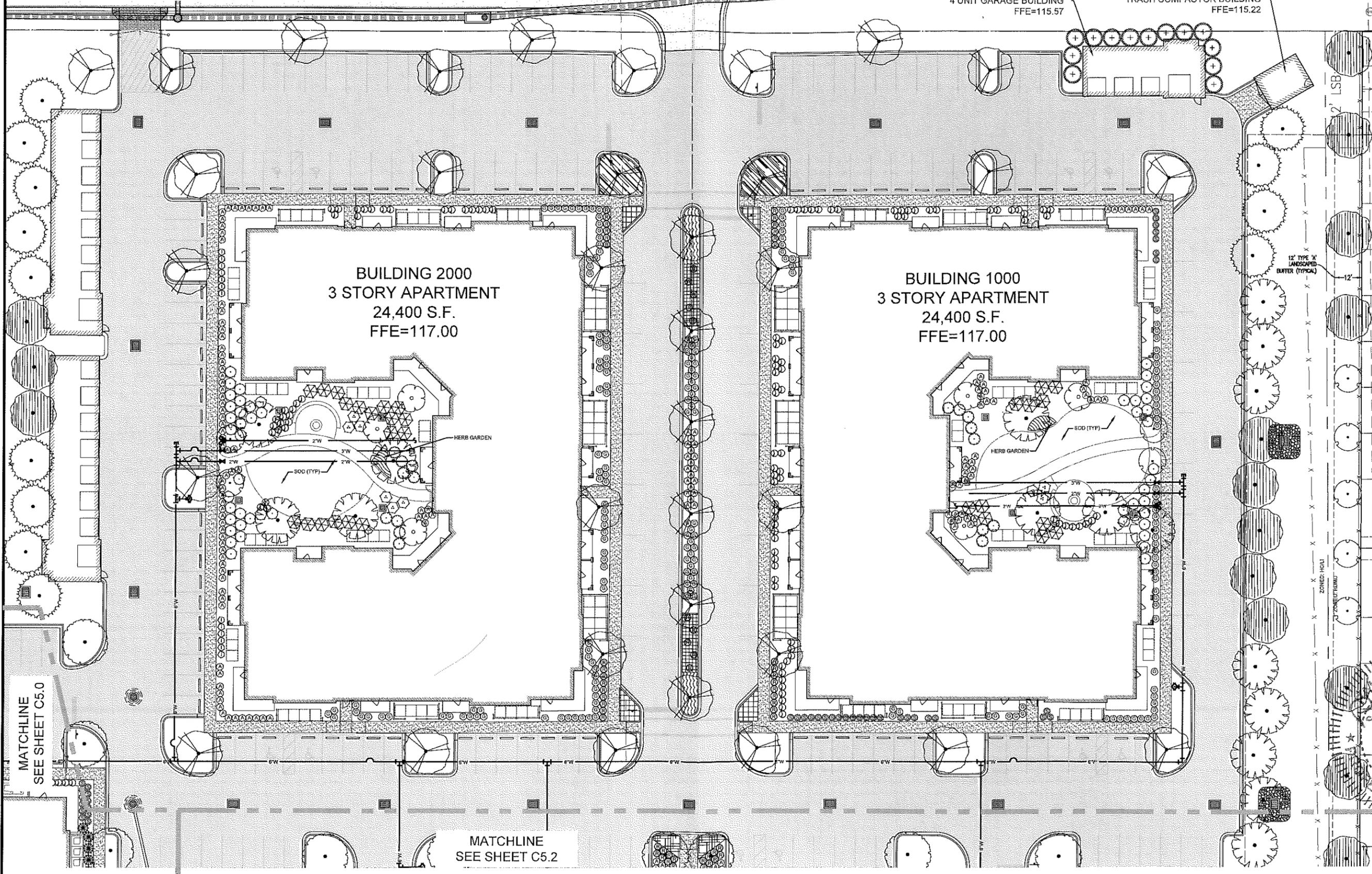
Dr. By: JJP  
 Ck By: JJP  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C5.0**  
 SHEET 19 OF 22

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**LAND DISTURBING NOTE**  
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**BUILDING 2000**  
 3 STORY APARTMENT  
 24,400 S.F.  
 FFE=117.00

**BUILDING 1000**  
 3 STORY APARTMENT  
 24,400 S.F.  
 FFE=117.00

4 UNIT GARAGE BUILDING  
 FFE=115.57

TRASH COMPACTOR BUILDING  
 FFE=115.22

MATCHLINE  
 SEE SHEET C5.0

MATCHLINE  
 SEE SHEET C5.2

**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Panama City, Florida 32503  
 Telephone 850.438.0400 Fax 850.438.0446  
 EID 30002657 LS2416

**LANDSCAPE PLAN**

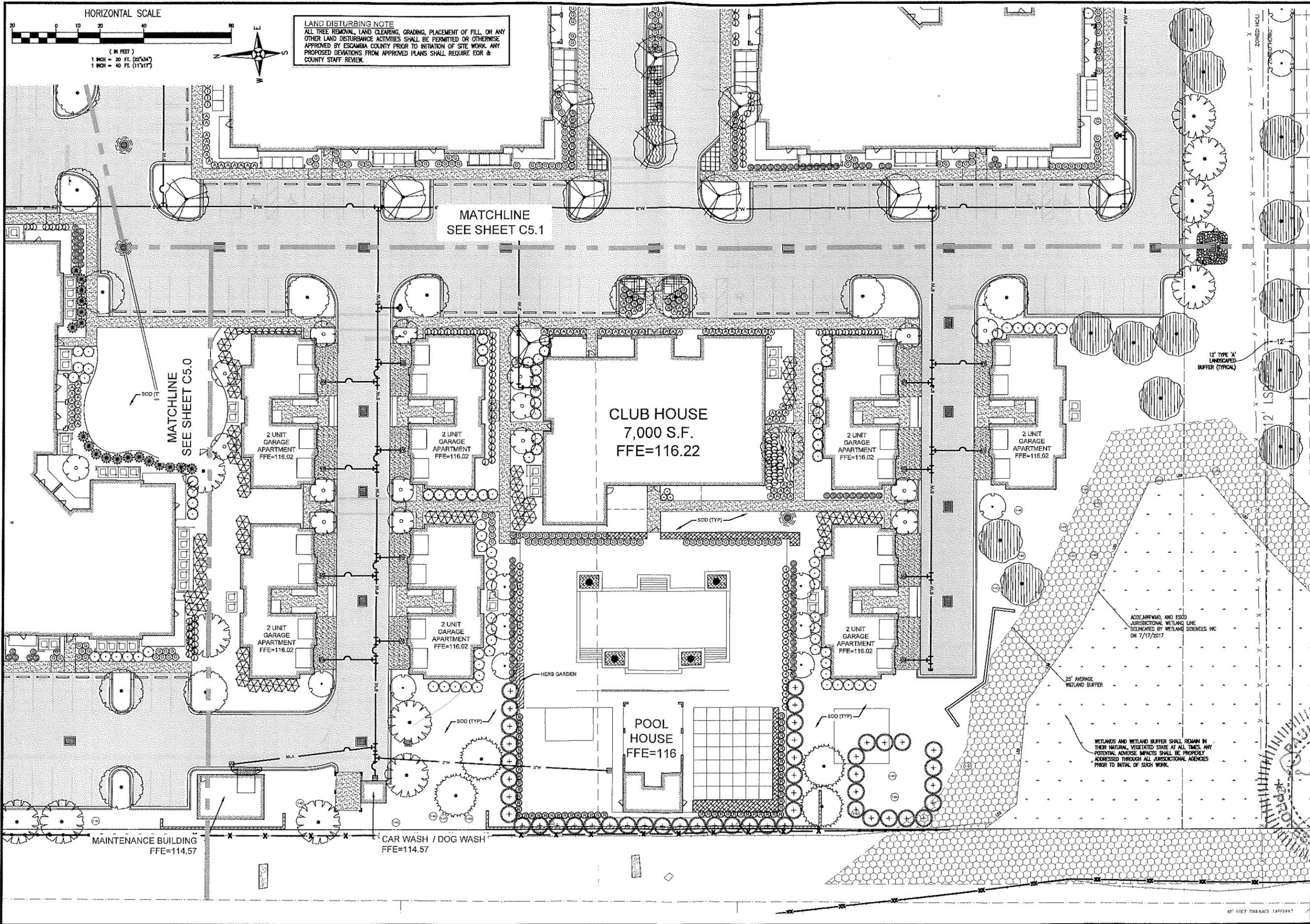
**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	1/22/2019	DATE	

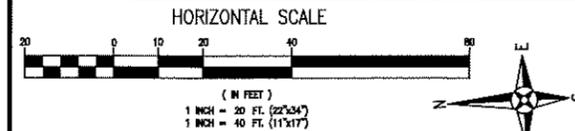
CONSTRUCTION SET  
 No. 53128  
 5/13/2019  
 Paul A. Battle, P.E.  
 No. 53128  
 FLORIDA  
 Check By: PAB  
 Job No.: 2018.096  
 Date: April 20, 2020

DRAWING No.  
**C5.1**  
 SHEET 20 OF 22

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**RBA**  
**REBOL-BATTLE & ASSOCIATES**  
 Civil Engineers and Surveyors  
 2301 N. Ninth Avenue, Suite 300  
 Pensacola, Florida 32503  
 Telephone 850.436.0400 Fax 850.436.0448  
 EOE/DFW/AAE/ADA/504

**LANDSCAPE PLAN**

**NINE MILE ROAD APARTMENTS**  
 ESCAMBIA COUNTY, FLORIDA

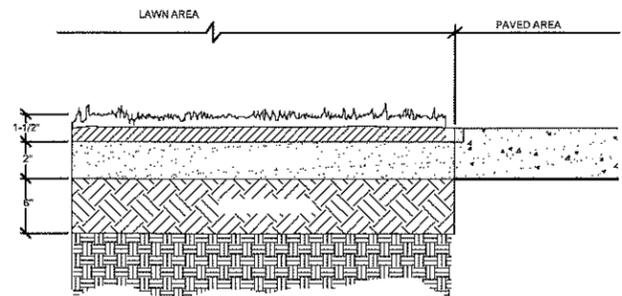
DATE	REVISION	ESCO COMMENTS
10-20-2019		

**PROFESSIONAL SEAL**  
 CONSTRUCTION SET  
 No. 53126  
 STATE OF FLORIDA  
 Paul A. Battle, P.E.  
 No. 53126

Drawn By: JURE  
 Check By: PAB  
 July 16, 2018 096  
 Date: April 20, 2020

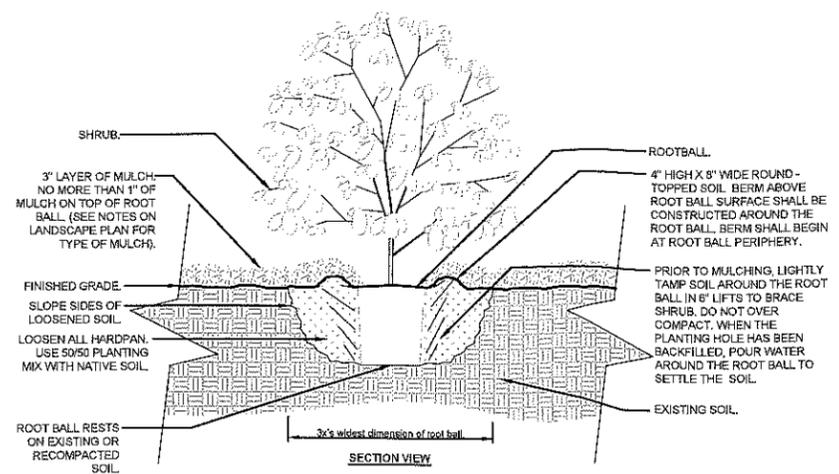
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 SHEET 21 OF 22

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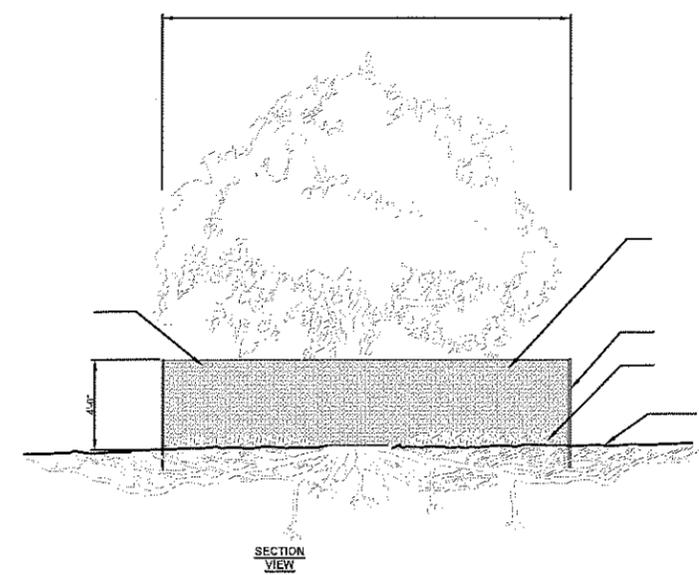
**1 SOD INSTALLATION**

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE



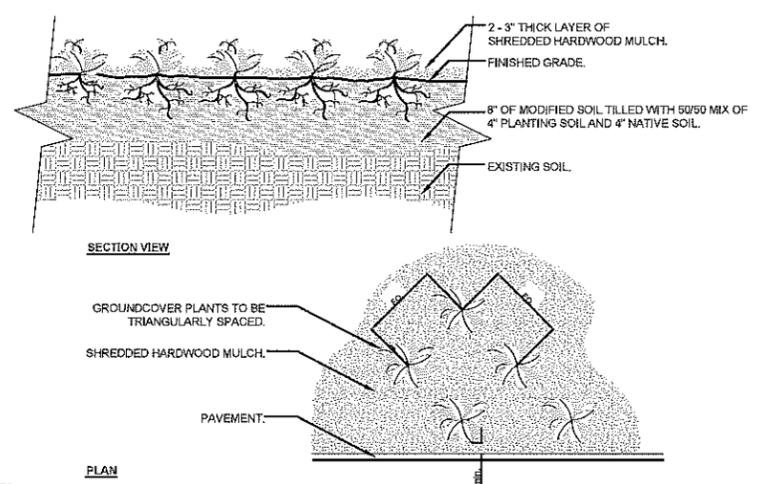
**3 SHRUB PLANTING**

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE



**5 TREE PROTECTION**

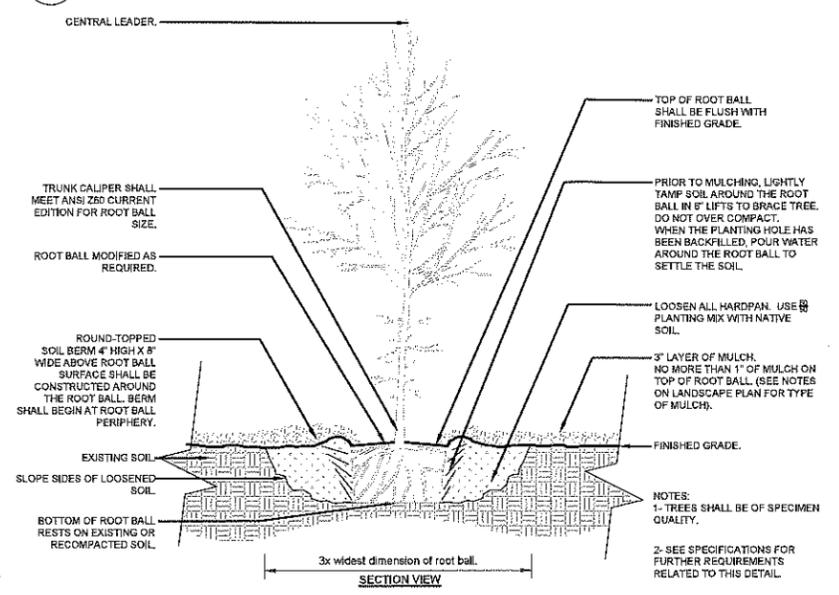
URBAN TREE FOUNDATION © 2014  
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**NOTES:**  
1- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.  
2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).  
3- SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

**2 GROUNDCOVER**

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE



**4 TREE PLANTING**

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- GENERAL LANDSCAPE NOTES:**
- WARRANTY: ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE, HEALTHY, AND IN THRIVING CONDITION FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
  - PLANTS SHALL MEET DOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.
  - PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
  - HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
  - SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED.
  - PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT, LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
  - PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
  - BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UTILITY LINES.
  - PROVIDE SHOVEL-CUT TRENCH AT SHRUB BEDS IN LAWN AREAS UNLESS OTHERWISE NOTED.
  - PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH MUST BE 3" THICK AT TIME OF FINAL WALK-THROUGH. MULCH IN SHRUB AND TREE PLANTING BEDS SHALL BE PINE STRAW UNLESS OTHERWISE NOTED. MULCH IN GROUNDCOVER BEDS TO BE SHREDDED HARDWOOD UNLESS OTHERWISE NOTED. MULCH SAMPLE IS TO BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. MULCH IS TO BE REPLACED AT CONTRACTOR'S OWN EXPENSE IF LAID PRIOR TO APPROVAL.
  - MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
  - CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.
  - QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE OWNER'S REPRESENTATIVE ASSUMES NO LIABILITY FOR OMISSION OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
  - WHERE LANDSCAPING AREAS ADJOIN GRASSED RIGHTS-OF-WAY, SUCH AREAS SHALL BE CONSIDERED PART OF THE LANDSCAPED AREA FOR PURPOSES OF MAINTENANCE. AS OF COMPLETION OF SITE IMPROVEMENTS, THE PROPERTY OWNER SHALL HAVE AN IMPLIED EASEMENT OF THE RIGHT-OF-WAY EXTENDING FROM THE SITE TO THE ROAD PAVEMENT IN ORDER TO COMPLETE THE REQUIRED MAINTENANCE.
  - A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
  - CONTRACTOR TO DESIGN-BUILD IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF NEW PLANT MATERIAL. IRRIGATION HEADS TO BE INSTALLED FLUSH WITH GRADE.
  - ALL SOD SHALL BE SAND-GROWN, NOT MUCK-GROWN.
  - MAXIMUM DIVERSITY OF ANY ONE SPECIES IS 30%.

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	26	CHIDNANTHUS VIRGINICUS / WHITE FRINGETREE NATIVE	B & B	2.5" CAL
	32	CORNUS KOUSA / KOUSA DOGWOOD	B & B	2.5" CAL
	17	CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	B & B	3" CAL
	19	JUNIPERUS VIRGINIANA 'BRODIE' / BRODIE COLUMNAR CEDAR NATIVE	B & B	7" - 8" MIN
	32	LIRIODENDRON TULIPIFERA / TULIP TREE NATIVE MITIGATION TREE	B & B	3" CAL
	23	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S BROWN BEAUTY NATIVE	B & B	3" CAL
	32	QUERCUS SHUMARDII / SHUMARD RED OAK NATIVE MITIGATION TREE	B & B	3" CAL
	36	ULMUS ALATA / WINGED ELM NATIVE MITIGATION TREE	B & B	3" CAL

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	40	ABELIA X GRANDIFLORA 'ROSE CREEK' / ROSE CREEK ABELIA	3 GAL	36" o.c.
	271	AZALEA X 'FASHION' / FASHION AZALEA NATIVE	3 GAL	36" o.c.
	4	CHAMAECYPARIS OBTUSA 'NANA LUTEA' / NANA LUTEA HINCKI FALSE CYPRESS	5 GAL	36" o.c.
	81	OLEYERA JAPONICA / SAKAKI	5 GAL	60" o.c.
	308	GARDENIA AUGUSTA 'RADICANS' / DWARF GARDENIA MIN 24" HT	3 GAL	36" o.c.
	12	HYDRANGEA MACROPHYLLA 'NIKKO BLUE' / NIKKO BLUE HYDRANGEA	3 GAL	60" o.c.
	35	ILEX GLABRA / INKBERRY HOLLY NATIVE	3 GAL	36" o.c.
	111	ILEX VOMITORIA 'SCHILLINGS DWARF' / DWARF SCHILLINGS HOLLY NATIVE	3 GAL	36" o.c.
	60	ILEX X 'MAGLAND' TM / OAKLAND HOLLY MIN 4" HT	7 GAL	96" o.c.
	114	ILICUM PARVIFLORUM / ANISE TREE NATIVE	7 GAL	72" o.c.
	113	ROSA X 'RADRAZZ' TM / KNOCKOUT ROSE	3 GAL	36" o.c.
	182	VIBURNUM ANABURKI 'CHINDO' / CHINDO VIBURNUM	7 GAL	96" o.c.
	289	VIBURNUM OBOVATUM 'DENSA' / DWARF WALTER'S VIBURNUM NATIVE	3 GAL	36" o.c.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	228 SF	HERB GARDEN CHIVES LEMON BALM MINT PARSLEY THYME	4" POT	
	309	HYPERICUM CALYDINUM / CREEPING ST. JOHN'S WORT	4" POT	18" o.c.
	882	LIRIOPE SPIGATA / CREEPING LILY TURF	4" POT	10" o.c.
	279	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	FLAT	18" o.c.
	280	PHLOX SUBULATA 'EMERALD BLUE' / EMERALD BLUE CREEPING PHLOX NATIVE	FLAT	18" o.c.
	138 SF	SEASONAL ANNUALS	FLAT	

**LANDSCAPE REQUIREMENTS:**  
ENTIRE PARCEL - 10.85 ACRES  
PARKING LOT LANDSCAPE: (1) TREE PER ISLAND  
31 ISLANDS  
31 TREES PROPOSED

REPLACEMENT RATIO: (DSM 2-5.2 (a))  
TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 1229 INCHES  
1229 X 0.50 = 614.5 INCHES. TOTAL CALIPER REPLACEMENT = 614.5 INCHES

REPLACEMENT LIMITS: (DSM 2-5.2 (a))  
TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.  
TOTAL DEVELOPMENT SITE = 10.85 ACRE X 25 = 271.25  
REPLACEMENT LIMITS = 271.25 INCHES

TOTAL 2.5 INCH TREES REQUIRED = 108 OR TOTAL 3 INCH TREES REQUIRED = 91  
DEVELOPER MAY CHOOSE COMBINATION OF 2.5 AND 3 INCH TREES BUT A TOTAL OF 272 CALIPER INCHES ARE TO BE REPLACED/PLANTED USING A MINIMUM 2.5 CALIPER INCH NATIVE, FLORIDA GRADE 1, CANOPY REPLACEMENT/MITIGATION TREE AND ATTAIN A MATURE HEIGHT OF AT LEAST 30 FEET.

\*\*TREES TO BE USED FOR MITIGATION ARE NOTED IN THE PLANT SCHEDULE TO THE LEFT.

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REVISION	DATE	ESCO COMMENTS

SEARCHED  
SERIALIZED  
INDEXED  
FILED  
APR 20 2020  
FBI - PANAMA CITY

Dr. By: **JJR**  
**ckm/jpb**  
Job No.: 2018.096  
Date: April 20, 2020

DRAWING No.  
**C5.3**  
SHEET 22 OF 22