

SITE CONSTRUCTION PLANS

FOR

NURSEFINDERS

5500 NORTH DAVIS HWY

REC'D FEB 25 2016

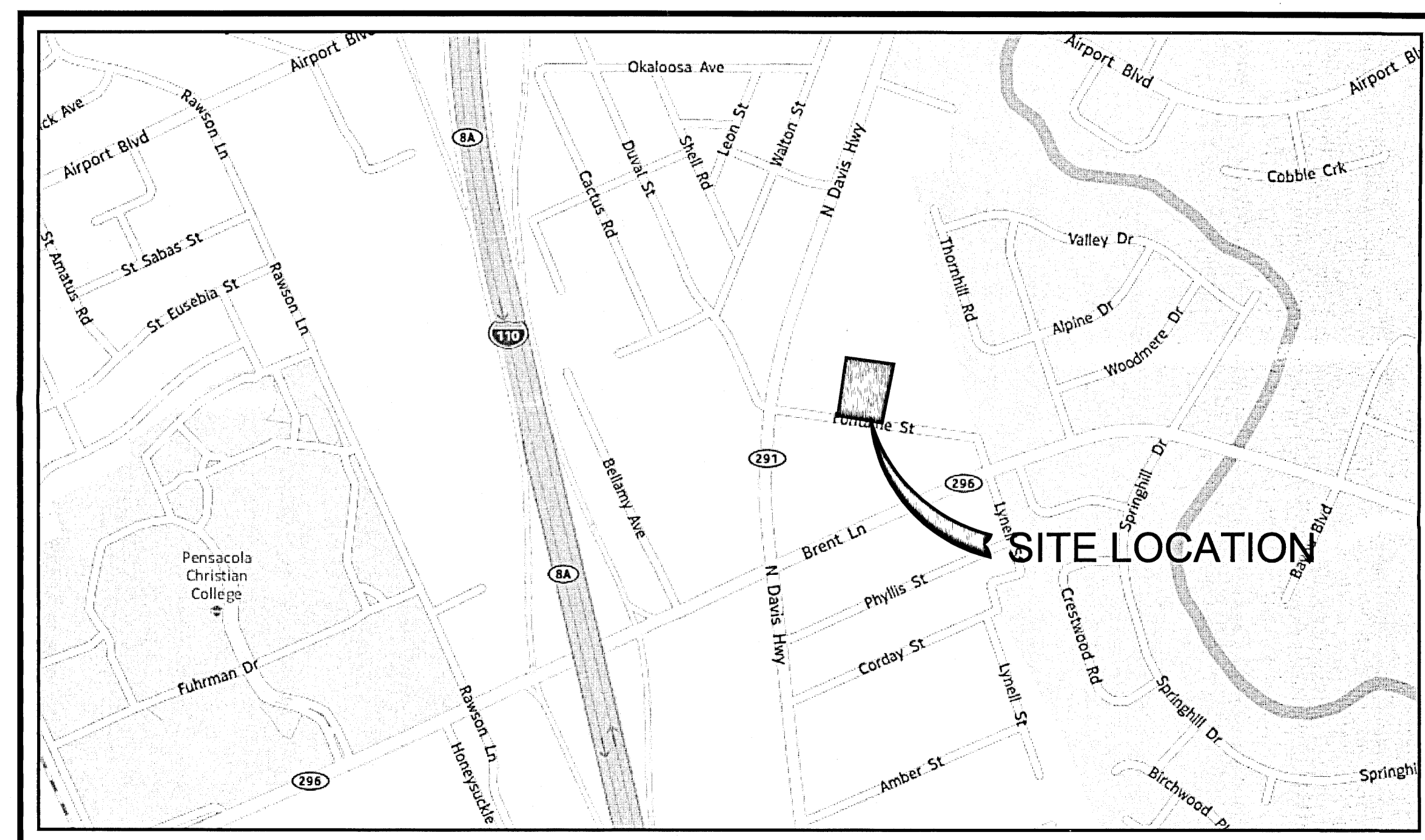
Approved
ESCAMBIA COUNTY DRC PLAN REVIEW
 DRC Chairman Signature: *Charles J. [Signature]* Date: *Feb 23/16*
 Development Services Director or Designee
 This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order must be obtained from the Development Review Committee (DRC) prior to the commencement of construction. This approval by the DRC does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

February 16, 2016

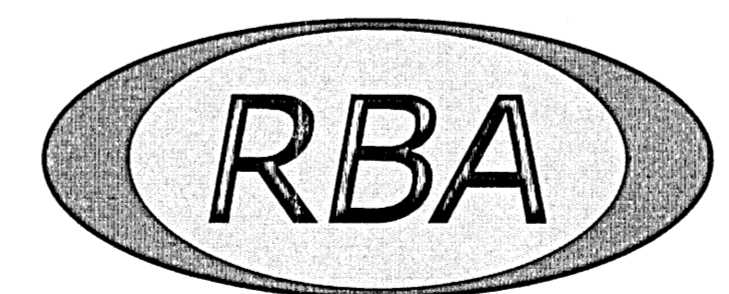
RBA PROJECT NO.: 2016.009

SITE INFORMATION	
OWNER:	5500 OFFICE LLC 5498 N DAVIS HWY PENSACOLA, FL 32503
DEVELOPER:	5500 OFFICE LLC 5498 N DAVIS HWY PENSACOLA, FL 32503
PROPERTY REFERENCE NO:	48-1S-30-7215-000-001 & 48-1S-30-7215-001-001
PROPERTY ADDRESS:	5500 N DAVIS HWY 32503
PROPERTY AREA:	0.16 ACRES
PROJECT AREA:	0.16 ACRES
PROPERTY ZONING:	COM
FUTURE LAND USE:	MU-U
PROPOSED ACTIVITY:	OFFICE/WAREHOUSE
REQUIRED BUILDING SETBACKS COM:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	380	G	SEP 29, 2006



VICINITY MAP
SCALE: 1"=1000'



REBOL-BATTLE & ASSOCIATES

Civil and Environmental Engineers

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 Pensacola, Florida 32503
 Telephone 850.438.0400
 Fax 850.438.0448
 EB 00009657 LB 7916

CONTACTS	
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COX CABLE 2205 LAVISTA AVE. PENSACOLA, FLORIDA 32504	CONTACT: RICHARD EMMONS PHONE: 850.477.2695 FAX: 850.479.3912
ECUA P.O. BOX 15311 PENSACOLA, FLORIDA 32514	CONTACT: WENDELL KUTZER PHONE: 850.476.5110
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: JOHN DeMARS PHONE: 850.474.5322 FAX: 850.474.5330
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: SHARON BLACKMAN PHONE: 850.436.1662
ESCAMBIA COUNTY ENGINEER 1190 W. LEONARD STREET PENSACOLA, FLORIDA 32501	CONTACT: JOY BLACKMAN PHONE: 850.595.3434
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

INDEX OF DRAWINGS

- C1.0 OVERALL EXISTING SITE
- C1.1 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C3.0 GRADING AND DRAINAGE PLAN

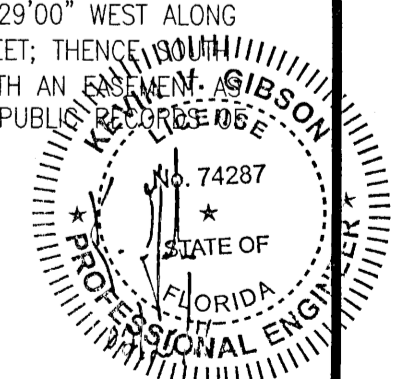
LEGAL DESCRIPTION

PARCEL "A" (PER DESCRIPTION O.R. BOOK 6744, PAGE 1691)
 COMMENCING AT THE SOUTHEAST CORNER OF THE CLOPTON'S 60 ACRE TRACT LOCATED IN SECTION 48, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 65°35' EAST ALONG SOUTH LINE OF SAID CLOPTON'S 60 ACRE TRACT FOR 957.40 FEET TO A POINT ON THE WESTERLY LINE OF THE BAARS PROPERTY; THENCE NORTH 19°43' WEST ALONG SAID BAARS PROPERTY FOR 379.65 FEET; THENCE NORTH 82°29' WEST FOR 681.26 FEET; THENCE SOUTH 07°31' WEST FOR 9.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 07°31' WEST ALONG THE OUTSIDE OF THE EXTERIOR WALL FOR 103.60 FEET; THENCE NORTH 82°29' WEST ALONG THE OUTSIDE OF AN EXTERIOR WALL FOR 48.00 FEET; THENCE NORTH 07°31' EAST ALONG THE OUTSIDE OF AN EXTERIOR WALL FOR 103.60 FEET; THENCE SOUTH 82°29' EAST ALONG THE OUTSIDE OF AN EXTERIOR WALL FOR 48.00 FEET TO THE POINT OF BEGINNING, TOGETHER WITH AN EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 3530, AT PAGE 525 AND OFFICIAL RECORDS BOOK 3530 AT PAGE 527, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

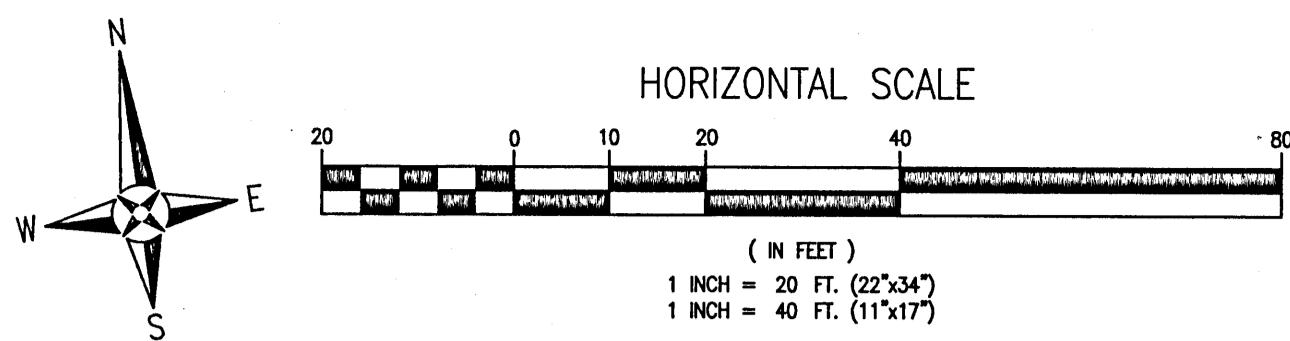
PARCEL "B" (PER DESCRIPTION O.R. BOOK 6744, PAGE 1691)
 THAT PORTION OF SECTION 48, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF CLOPTON'S 60 ACRES TRACT, AS DESCRIBED IN DEED BOOK 74, AT PAGE 255, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 65° 35' EAST ALONG THE EASTERLY EXTENSIONS OF THE SOUTH LINE OF SAID 60 ACRES TRACT, A DISTANCE OF 268.00 FEET; THENCE NORTH 24°25' WEST, 325.00 FEET TO AN IRON ROD; THENCE NORTH 6°53' EAST 168.00 FEET TO AN IRON ROD FOR THE POINT OF BEGINNING; THENCE NORTH 80° 30' EAST FOR 84.0 FEET TO AN IRON ROD IN THE SOUTH RIGHT OF WAY LINE OF COUNTY 30 FOOT ROAD; THENCE NORTH 82°23' WEST 158.00 FEET TO AN IRON ROD; THENCE SOUTH 6°38'36" WEST 112.98 FEET; THENCE NORTH 86°58' EAST 156.82 FEET TO THE POINT OF BEGINNING.

PARCEL "C" (AS PREPARED BY LANDS END SURVEYING)
 COMMENCING AT THE SOUTHEAST CORNER OF THE CLOPTON'S 60 ACRE TRACT LOCATED IN SECTION 48, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 65°35' EAST ALONG SOUTH LINE OF SAID CLOPTON'S 60 ACRE TRACT FOR 957.40 FEET TO A POINT ON THE WESTERLY LINE OF THE BAARS PROPERTY; THENCE NORTH 19°43' WEST ALONG SAID BAARS PROPERTY FOR 379.65 FEET; THENCE NORTH 82°29' WEST FOR 681.26 FEET; THENCE SOUTH 07°31' WEST FOR 9.60 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN O.R. BOOK 6744, PAGE 1691 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO NORTH 82°29'00" WEST THE OUTSIDE OF AN EXTERIOR WALL FOR A DISTANCE OF 48.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 82°29'00" WEST FOR A DISTANCE OF 7.50 FEET; THENCE GO SOUTH 07°31'00" WEST ALONG AN INTERIOR PARTY WALL FOR 50.50 FEET; THENCE SOUTH 82°29' EAST ALONG THE OUTSIDE OF AN EXTERIOR WALL FOR 7.50 FEET; THENCE NORTH 07°31'00" EAST FOR 50.50 FEET TO THE POINT OF BEGINNING; TOGETHER WITH AN EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 3530, AT PAGE 525 AND OFFICIAL RECORDS BOOK 3530 AT PAGE 527, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

PARCEL "D" (AS PREPARED BY LANDS END SURVEYING)
 COMMENCING AT THE SOUTHEAST CORNER OF THE CLOPTON'S 60 ACRE TRACT LOCATED IN SECTION 48, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 65°35' EAST ALONG SOUTH LINE OF SAID CLOPTON'S 60 ACRE TRACT FOR 957.40 FEET TO A POINT ON THE WESTERLY LINE OF THE BAARS PROPERTY; THENCE NORTH 19°43' WEST ALONG SAID BAARS PROPERTY FOR 379.65 FEET; THENCE NORTH 82°29' WEST FOR 681.26 FEET; THENCE SOUTH 07°31' WEST FOR 9.60 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN O.R. BOOK 6744, PAGE 1691 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE CONTINUE SOUTH 07°31'00" WEST ALONG THE OUTSIDE OF THE EXTERIOR WALL FOR 103.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 07°31'00" WEST FOR 36.54 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF FONTAINE STREET (30' R/W); THENCE NORTH 82°29'00" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE FOR 55.88 FEET; THENCE GO NORTH 07°31'00" EAST FOR A DISTANCE OF 36.54 FEET; THENCE SOUTH 82°29'00" EAST ALONG THE OUTSIDE OF AN EXTERIOR WALL FOR 55.88 FEET TO THE POINT OF BEGINNING, TOGETHER WITH AN EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 3530, AT PAGE 525 AND OFFICIAL RECORDS BOOK 3530 AT PAGE 527, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.



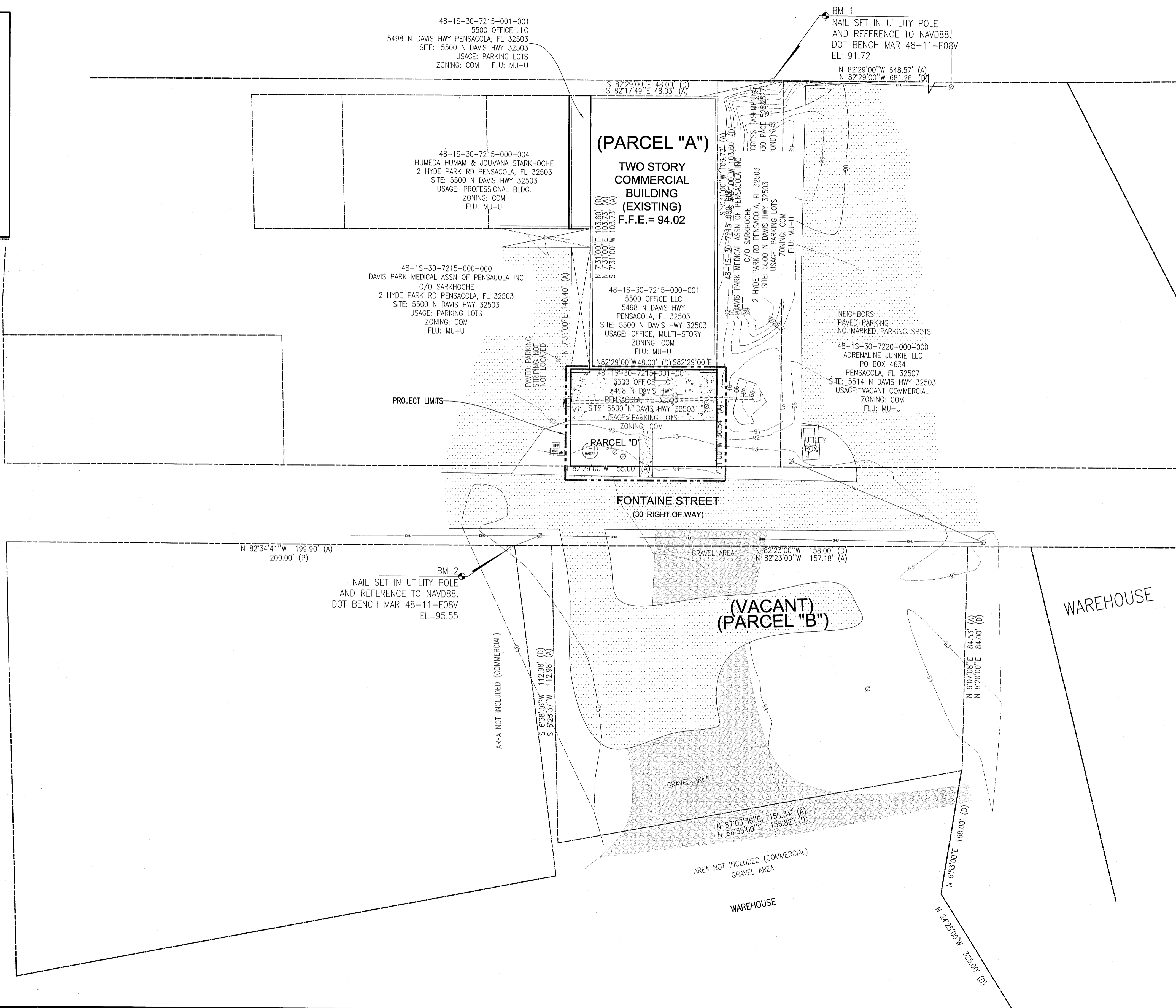
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



FLOOD ZONE NOTE:
 THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X' (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	DEMOLITION
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	OVERHEAD UTILITIES
	EXISTING CONTOURS
	BENCH MARK
	UTILITY POLE

DAVIS HIGHWAY

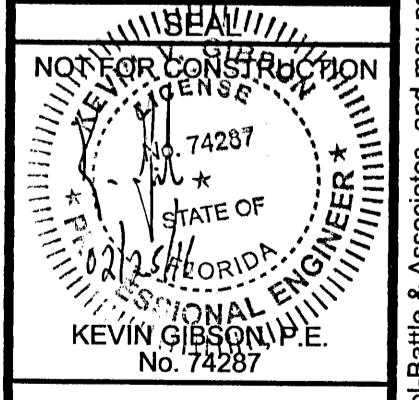


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 EB 00002657 LB7916

OVERALL EXISTING SITE

NURSEFINDERS
 5500 NORTH DAVIS HWY
 PENSACOLA, FLORIDA

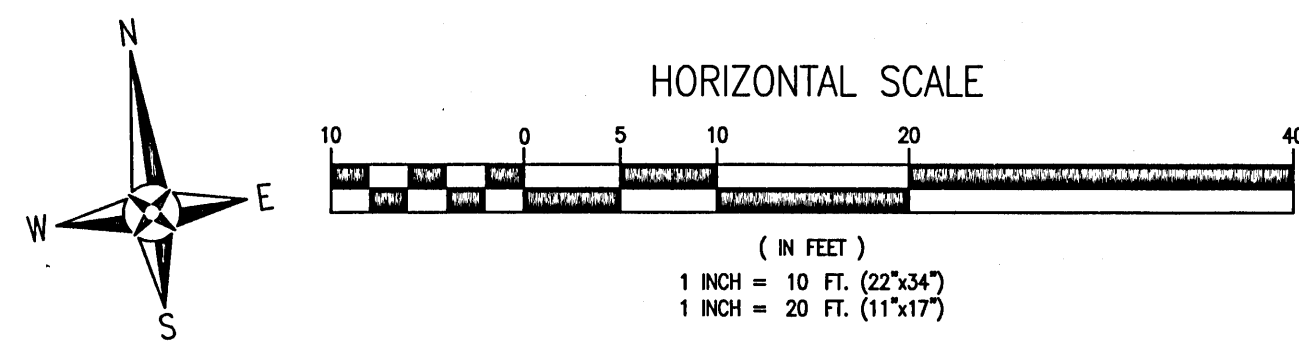
No.	DATE	REVISION



Dr. By: GTP
 Ck By: KVG
 Job No.: 2016.009
 Date: 2-16-2016

DRAWING No.
C1.0
 SHEET 2 OF 5

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TREE CHART		
TREE #	SIZE & TYPE	PROTECT/REMOVE
T-1	MAG25	PROTECT

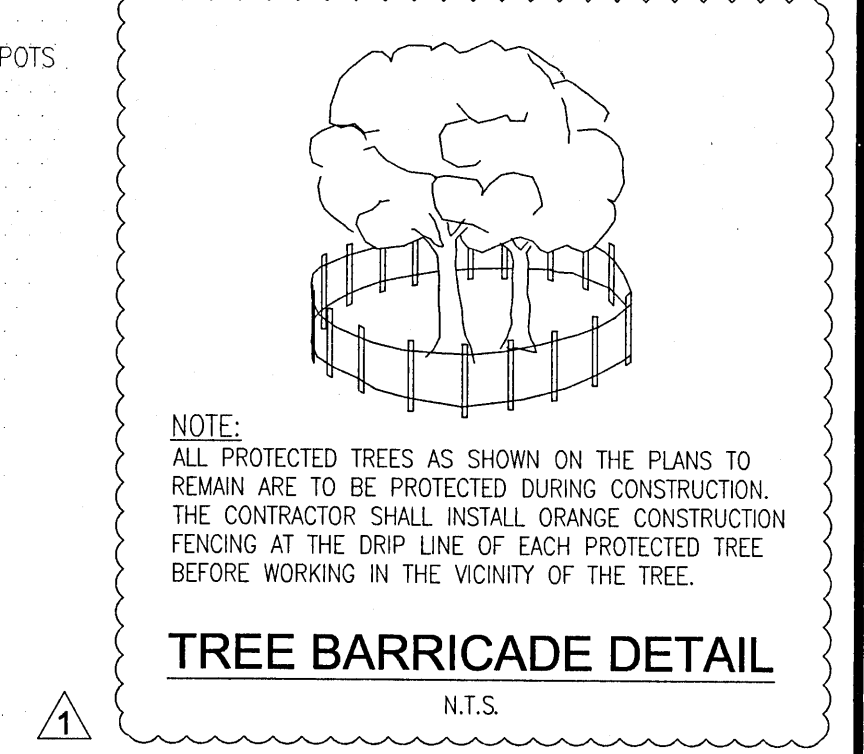
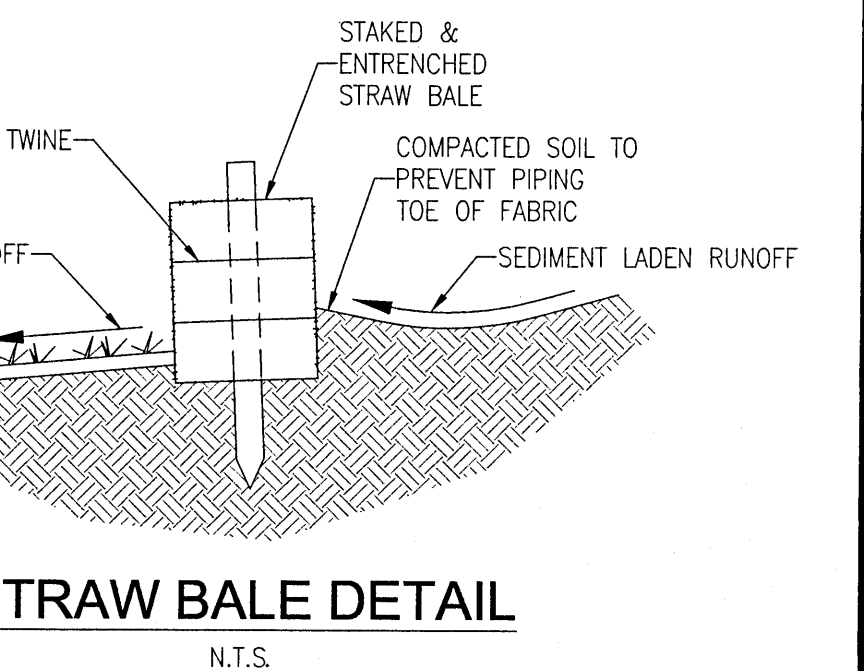
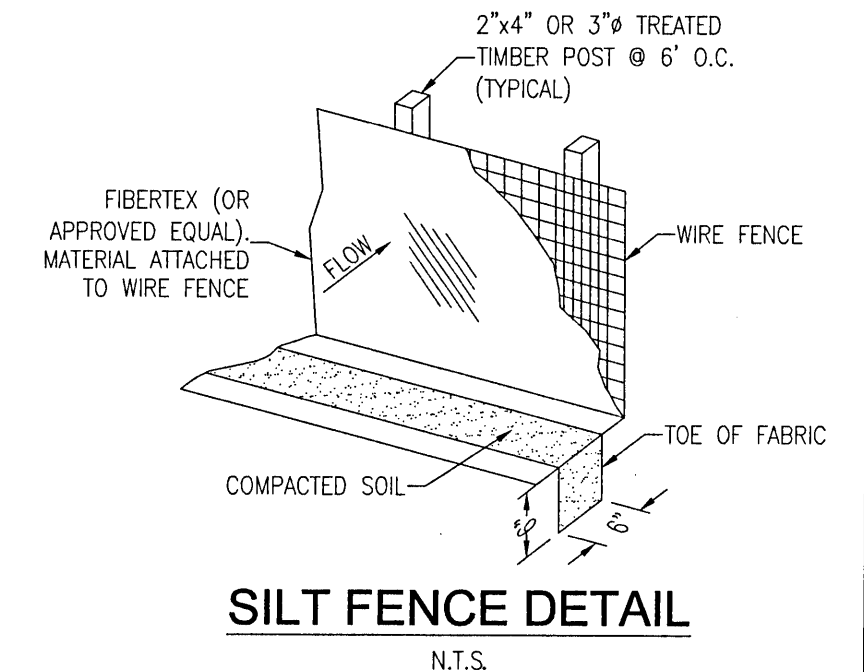
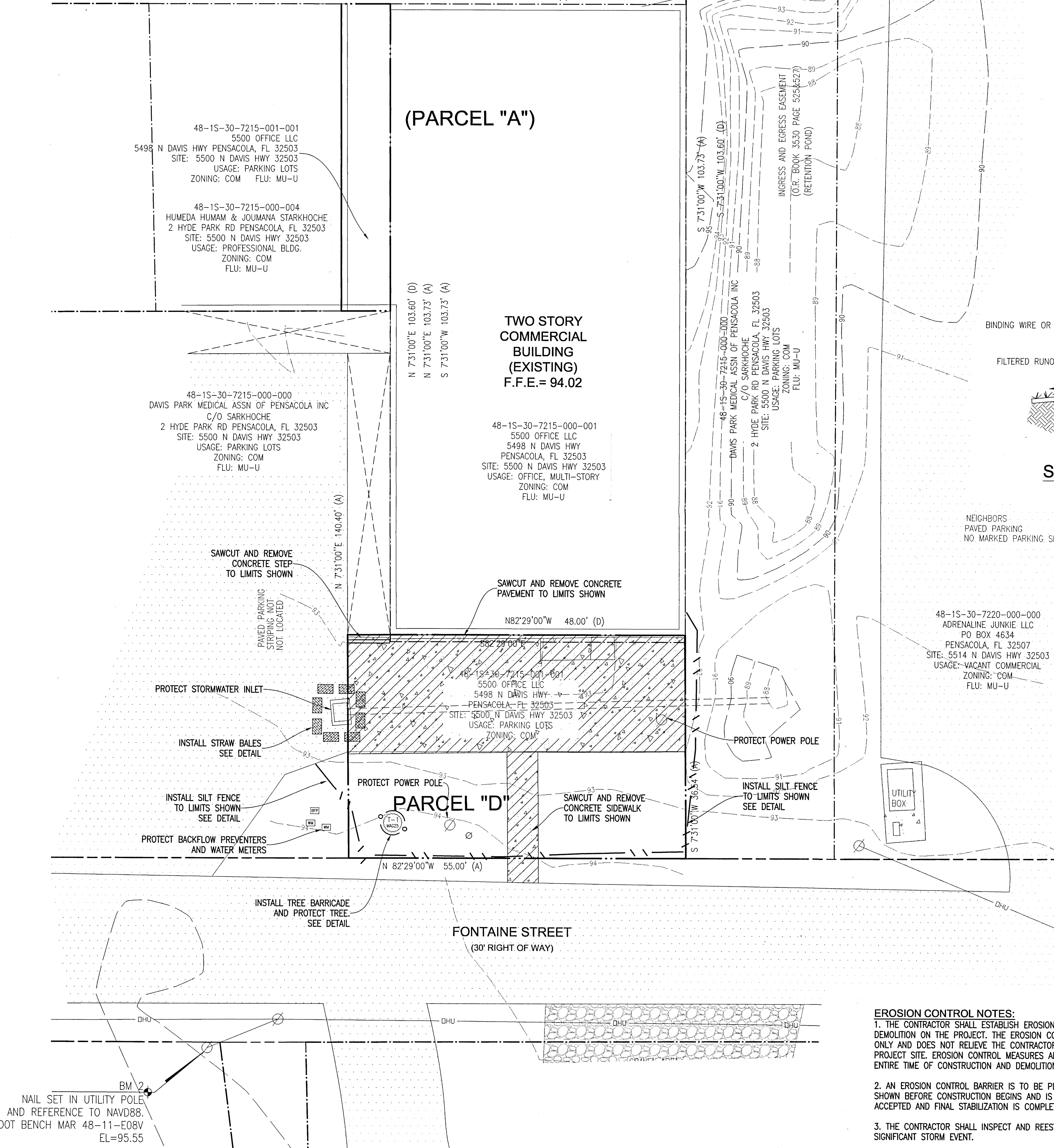
TREE MITIGATION NOTES:
 1. NO PROTECTED TREES ARE SCHEDULED TO BE REMOVED. THEREFORE, TREE MITIGATION IS NOT REQUIRED.

FLOOD ZONE NOTE:
 THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	DEMOLITION
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	OVERHEAD UTILITIES
	EXISTING CONTOURS
	SILT FENCE
	STRAW BALES
	BENCH MARK
	UTILITY POLE

- PROJECT NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
 - THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION AND DIG A TEST PIT OR USE GROUND PENETRATING RADAR TO VERIFY EXACT LOCATION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
 - ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
 - RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH FDOT STANDARD INDEX 600 (LATEST EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND IN ACCORDANCE WITH ALL PERMIT REQUIREMENTS.
 - THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK, IN ACCORDANCE WITH APPLICABLE MUTCD INDEX.
 - ALL AREAS, NOT PAVED, DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY CENTIPEDE SOD AS INDICATED ON THE PLANS. CENTIPEDE SOD SHALL BE PLACED, WATERED, FERTILIZED W/APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
 - ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
 - CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
 - THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
 - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
 - TREE BARRICADES & OTHER TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO SITE CONSTRUCTION ACTIVITIES.

- DEMOLITION NOTES:**
- ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
 - THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
 - NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.



- EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. THE EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
 - AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG THE BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
 - THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.

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EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

NURSEFINDERS
 5500 NORTH DAVIS HWY
 PENSACOLA, FLORIDA

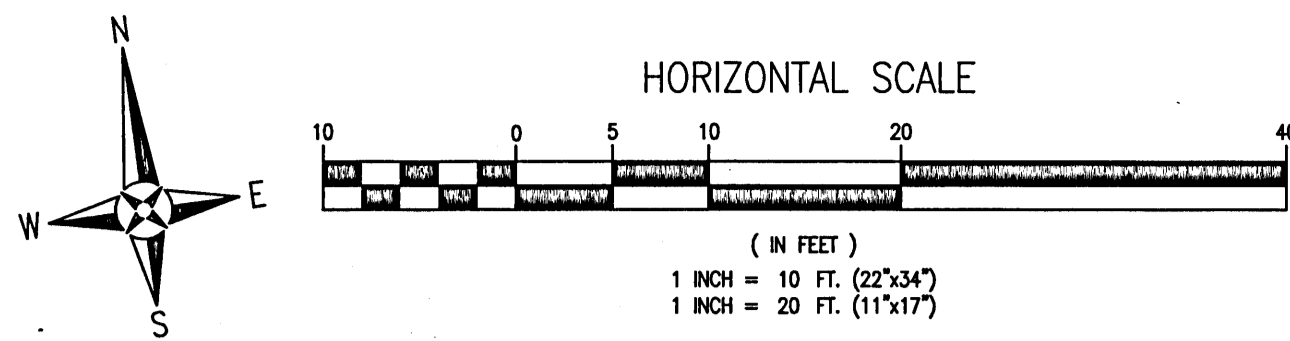
No.	DATE	REVISION

SEAL
 NOT FOR CONSTRUCTION
 KEVIN GIBSON
 ENGINEER
 STATE OF FLORIDA
 No. 74287
 No. 74287

Dr. By: GTP
 Ck By: KVG
 Job No.: 2016.009
 Date: 2-16-2016

DRAWING No.
C1.1
 SHEET 3 OF 5

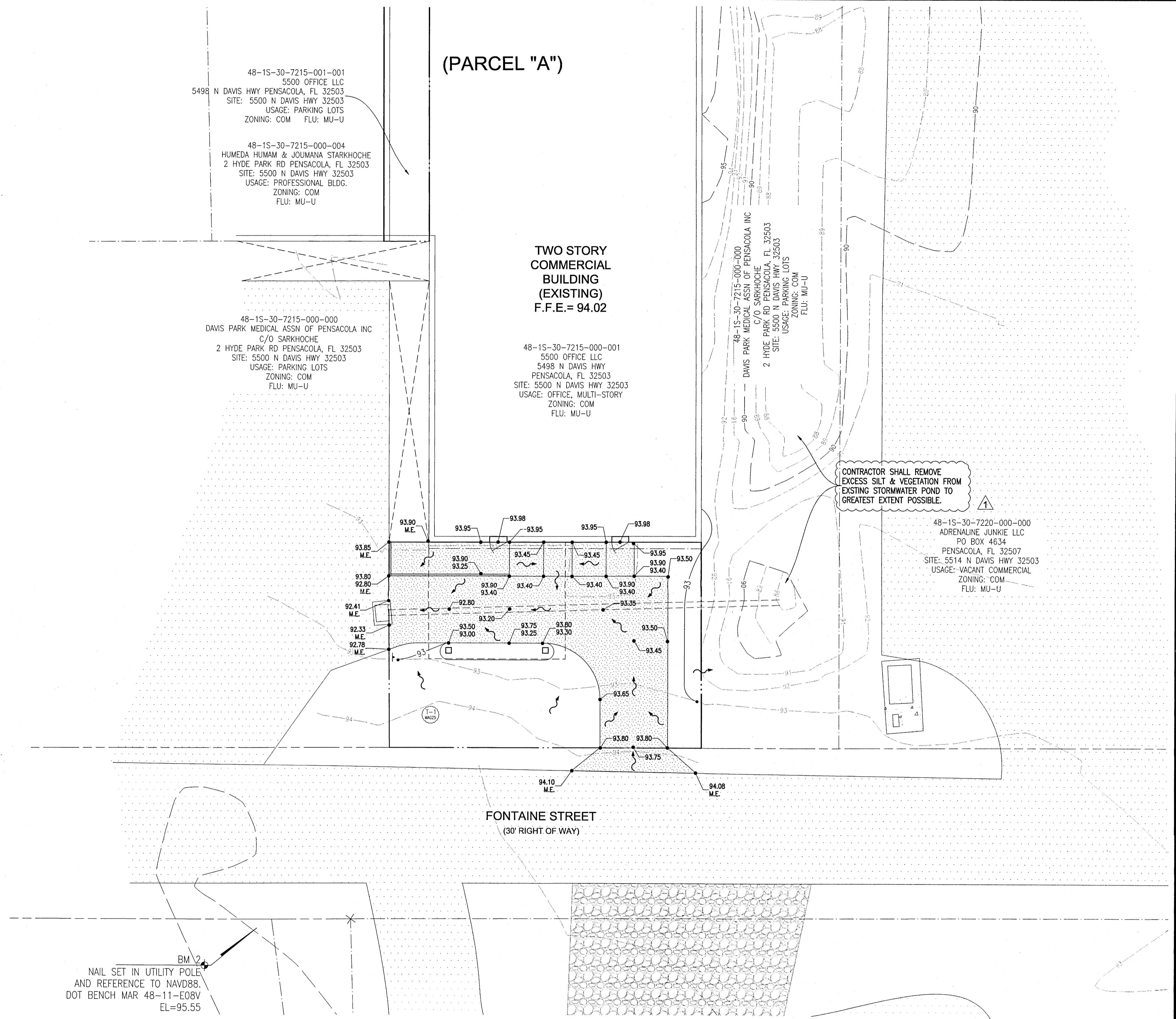
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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	PROPOSED CONCRETE
	BOUNDARY LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FLOW ARROW
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)
	PROPOSED SPOT ELEVATION
	PROPOSED SPOT ELEVATION MEET EXISTING

GENERAL NOTES:

1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
3. ALL DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEED, MULCHED & FERTILIZED.
4. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
5. "THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
6. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY."



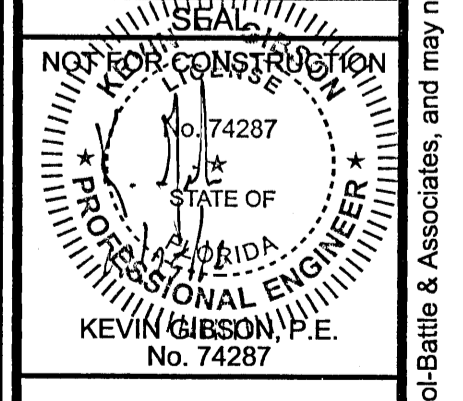
BM 2
 NAIL SET IN UTILITY POLE
 AND REFERENCE TO NAVD88.
 DOT BENCH MAR 48-11-E08V
 EL=95.55

RBA
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 Telephone: 850.438.0400 Fax: 850.438.0448
 E-mail: info@rba.com

GRADING & DRAINAGE PLAN

NURSEFINDERS
 5500 NORTH DAVIS HWY
 PENSACOLA, FLORIDA

NO.	DATE	REVISION	ESCO COMMENTS
1	1-26-16		



Dr. By: GTP
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DRAWING No.
C3.0
 SHEET 5 OF 5

3/2/16

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