

GENERAL NOTES:

- CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND COMPLETION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOO (RECOMMEND CENTEPEDE, PENSACOLA BAHIA OR BERMUDA SOO). POND AND SWALE TOPS AND SIDES SHALL BE SOODED AND PINNED. ALL SOO PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
- WHERE SOO IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SOODING.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SOODING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNIFORM COMPACTING.
- CONTRACTOR IS TO MAINTAIN SOODING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SOODED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SOODING AND GRASSING IN THE BID.
- CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING OF FILING, DRAINAGE STRUCTURES, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, UNDERGROUND UTILITIES, AND ALL OTHER DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR CUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO STORMWATER CONVEYANCE SYSTEM.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO TREES THAT ARE TO REMAIN (IF APPLICABLE).
- TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.

SIGNAGE:

FREESTANDING SIGNAGE:
 ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.
 9 MILE ROAD/SR-10 (ARTERIAL STREET):
 FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 220 SF (220' FRONTAGE * 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 35 LF IN HEIGHT.

WALL SIGNAGE:
 9 MILE ROAD FRONTAGE (ARTERIAL/FOUR-LANE ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 235.58 SF (2.50 SF * 94.23 LF BLDG. FRONTAGE)

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES
 3365 WEST PARK PLACE
 PENSACOLA, FL 32505
 PHONE NO.: (850)-595-3475
 FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY
 9255 STURDEVANT STREET
 PENSACOLA, FL 32514
 PHONE NO.: (850)-476-5110
 FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
 700 US HIGHWAY 331 SOUTH
 DEFUNIAK SPRINGS, FL 32435
 PHONE NO.: (850)-951-4680
 FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 2600 BLAIR STONE ROAD
 TALLAHASSEE, FL 32399
 PHONE NO.: (866)-336-6312
 FAX NO.: (850)-297-1211

FLORIDA DEPARTMENT OF TRANSPORTATION
 6025 OLD BAGDAD HIGHWAY
 MILTON, FL 32583
 PHONE NO.: (850)-981-3000
 FAX NO.: (850)-981-2719

PROJECT DIRECTORY:

CIVIL ENGINEER
 HAMMOND ENGINEERING, INC.
 3802 NORTH "S" ST.
 PENSACOLA, FL 32505
 PHONE NO.: (850)-434-2603
 FAX NO.: (850)-434-2650

SURVEYOR
 ALFRED J. KESLER, PSM.
 PO BOX 504
 MADISONVILLE, LA 70447
 PHONE NO.: (985)-801-9990

ARCHITECT
 DAVIDSON ARCHITECTURE & ENGINEERING
 4301 INDIAN CREEK PARKWAY
 OVERLAND PARK, KS 66207
 PHONE NO.: (913)-451-9390
 FAX NO.: (913)-451-9391

GEOTECHNICAL ENGINEER
 GFA INTERNATIONAL, INC.
 1215 WALLACE DRIVE
 DELRAY BEACH, FL 33444
 PHONE NO.: (561)-347-0070
 FAX NO.: (561)-395-5805

SITE DEVELOPMENT PLANS FOR



SLIM CHICKENS

**SECTION 10 TOWNSHIP 1 SOUTH, RANGE 30 WEST
 ESCAMBIA COUNTY, FLORIDA**

**707 W NINE MILE ROAD
 PENSACOLA, FL 32534**

OWNER/DEVELOPER:

BRET ELLIOT, PRESIDENT

(314)-882-7758

**PLAZA STREET FUND 101, LLC.
 2400 W 75TH STREET, SUITE 220
 PRAIRIE VILLAGE, KS 66208**

PROPERTY ID NO: 10-1S-30-3100-000-002

ZONING DESIGNATION: HC/LI

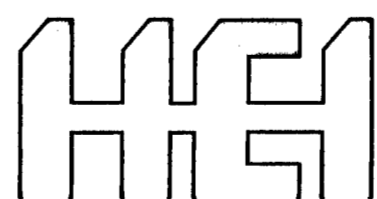
ADJACENT ZONING: HC/LI

FLU DESIGNATION: MU/U

ADJACENT FLU: MU/U

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE PLAN
- C5 ~ GRADING & DRAINAGE PLAN
- C6 ~ UTILITY PLAN
- C7 ~ LANDSCAPING PLAN
- C8 ~ EROSION CONTROL DETAILS
- C9 ~ CONSTRUCTION DETAILS
- C10 ~ CONSTRUCTION DETAILS
- C11 ~ DRAINAGE & UTILITY DETAILS
- LP1 ~ LIGHTING PHOTOMETRIC PLAN



HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850-434-2603
 FAX 850-434-2650
 TOM@SELANDDESIGN.COM

REVISED AUGUST 5, 2020

HEI PROJECT #: 20-030

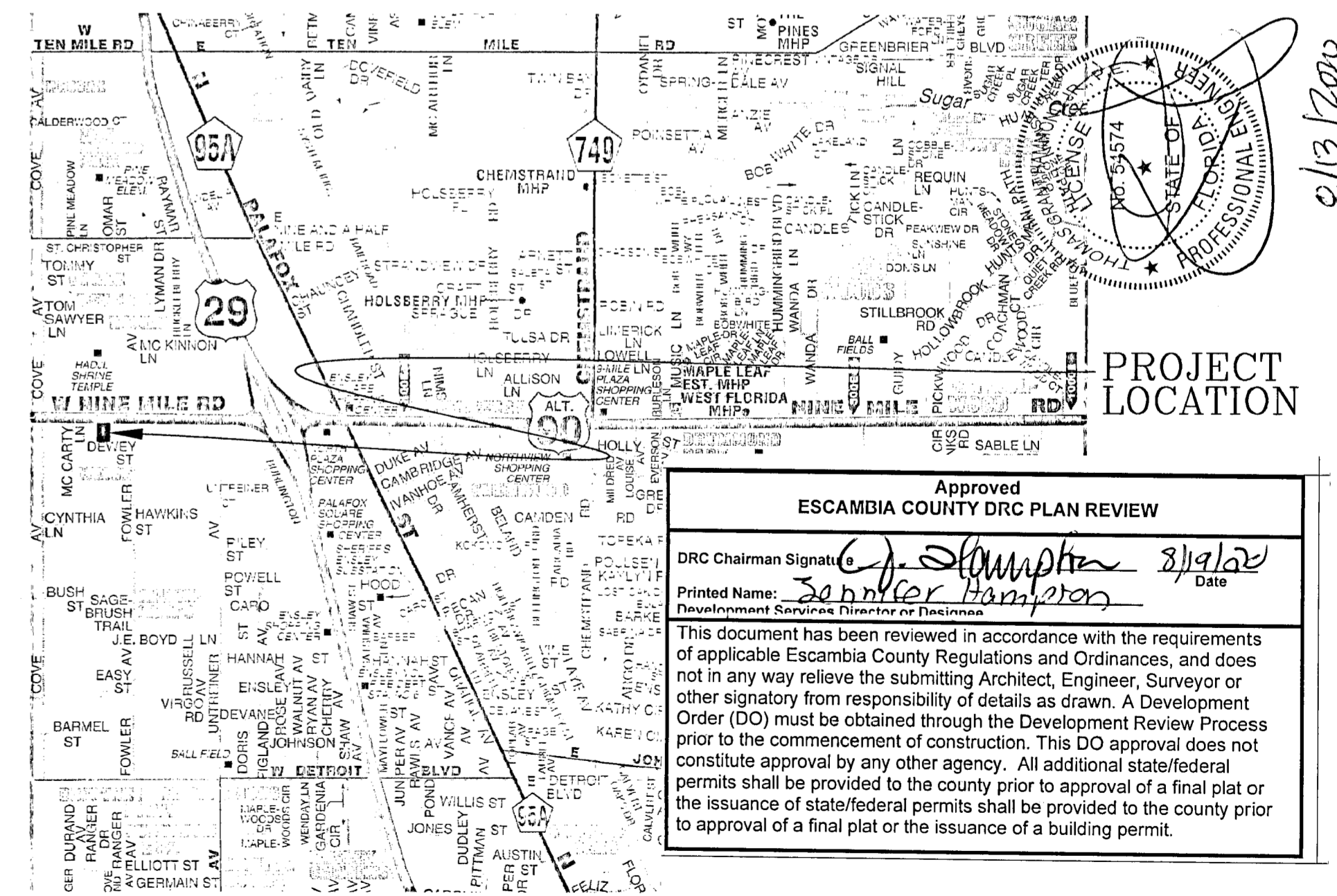
GENERAL NOTES:

- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
- THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.30(2) "GENERIC PERMIT FOR THE DISCHARGE OF PROTECTED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, WALLS, NUTS, BOLTS, BORDERS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOO REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1)
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #47 ABOVE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECMA STANDARDS AND REQUIREMENTS.
- FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY. OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT ANNUAL-CHANCE FLOODPLAINS, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0295C, MAP REVISION DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	NPIC COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPTEMBER 29, 2006



Approved
ESCAMBIA COUNTY DRC PLAN REVIEW
 DRC Chairman Signature: *[Signature]* Date: *[Date]*
 Printed Name: *[Name]*
 Development Services Director or Designee
 This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

NO.	DATE	REVISIONS
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	REVISED UTILITY PLAN TO ADD SUB-METERS @ POTABLE AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

VICINITY MAP GRAPHIC SCALE

(IN FEET)
 22" x 34": 1 inch = 2000 ft.
 11" x 17": 1 inch = 4000 ft.

SHEET C1

GRAPHIC SCALE

22"x34" SCALE 1 inch = 20 ft.



11"x17" SCALE 1 inch = 40 ft.

LEGEND OF SYMBOLS AND ABBREVIATIONS

SYMBOLS	Hatching & Line Type
Power Pole	Concrete
Light Pole	Striping
Water Valve	Ramp
Water Meter	Property Line
Sanitary Manhole	Easement Line
Storm Drain Inlet	Building Line
Sign	Overhead Utilities
Stop Sign	Drainage Line
8" Oak Tree	Water Line
	Fiber-Optic Utility Line
	Sanitary Sewer Line
	Unknown Utility Line

ALTA Notations
 9 Schedule 'B' Item Number

SURVEYOR NOTES

1. BASIS OF BEARING : Bearings shown hereon are based on the Southerly right-of-way line of West 9 Mile Road (Florida Highway 10), as being South 88°12'00" East. Bearings and distances shown hereon are the same record as measured unless otherwise noted.
2. This property has indirect physical access to West 9 Mile Road (Florida Highway 10), which is a dedicated public road or highway, with no gaps, gores or overlaps. Access is provided through the access easement filed in Official Records Book 6175, Page 231 as shown hereon.
3. Monuments have been recovered or placed at all corners of the property as shown hereon. {Table A Item #1}
4. Buildings located on this property are as shown. The address of this property was noted as being 707 West 9 Mile Road. {Table A Item #2}
5. The gross land area of this property is 40,342 square feet or 0.926 acres. {Table A Item #4}
6. No buildings were observed at the time of this survey. {Table A Item #7a, 7b1, & 7c}
7. All substantial features and improvements located and observed on site and within five feet of the property boundaries are shown. {Table A Item #8}
8. No division or party walls exist along any property line of the subject property. {Table A Item #10a}
9. The location of utilities existing on or serving the surveyed property were determined by observed evidence collected at the time of the survey, by evidence from plans provided to the surveyor from utility companies, or provided by the client as referenced below. A private utility locate performed by GPRS was completed and a report furnished to the surveyor. The underground utilities have been shown according to this report as reliable, accurate and as complete without actual excavation. No excavation was done by surveyor to confirm subsurface conditions. Where additional or more detailed utility information is required, the client is advised that field excavation may be necessary. {Table A Item #11}
10. Owner information was taken from the latest tax assessors property owners map when this land title survey was prepared. {Table A Item #13}
11. At the time of this survey, the building was not under construction including additions. No evidence of earth moving or other construction was observed. {Table A Item #16}
12. There are no proposed changes in street right-of-way lines according to the City of Enslie, Escambia County, and the Florida Department of Transportation. There is no observable evidence of recent street or sidewalk construction or repairs. {Table A Item #17}
13. No evidence of potential wetlands were delineated by a qualified specialist nor were any wetland markers found at the time of the survey. {Table A Item #18}
14. There is no observable evidence of cemeteries, gravesites, and burial grounds at the time of this survey. No cemeteries, gravesites, and burial grounds were disclosed in the record documents provided to the surveyor.
15. No visible evidence of existing tanks or drainage fields were observed.
16. The boundary of the survey property as described forms a mathematically closed figure.

PARKING CALCULATION

Offstreet parking requirements have not been provided per zoning. {Table A Items #6a, #6b & #9}

On site parking observed:
 Regular Parking 0 spaces
 Handicap Parking 0 spaces

Total Parking 0 spaces

LAND AREA

40,342 Square feet
 0.926 Acres

ZONING INFORMATION

Currently awaiting the zoning report. {Table A Item #6a & #6b}

FLOOD INFORMATION

By graphic plotting only, the subject property is located within Zone "X" as shown on Flood Insurance Rate Map, Community No. 120080 0295 G, Map Number 12033C0295G which bears an effective date of September 29, 2010 and is not located in a special flood hazard area. As shown on the FEMA website (<https://www.fema.gov/cis/FL.html>) we have learned this community does currently participate in the program. Zone "X" denotes areas outside of the 500-year floodplain determined to be outside 1% and 0.2% annual chance floodplains. {Table A Item #3}

RECORD LEGAL DESCRIPTION

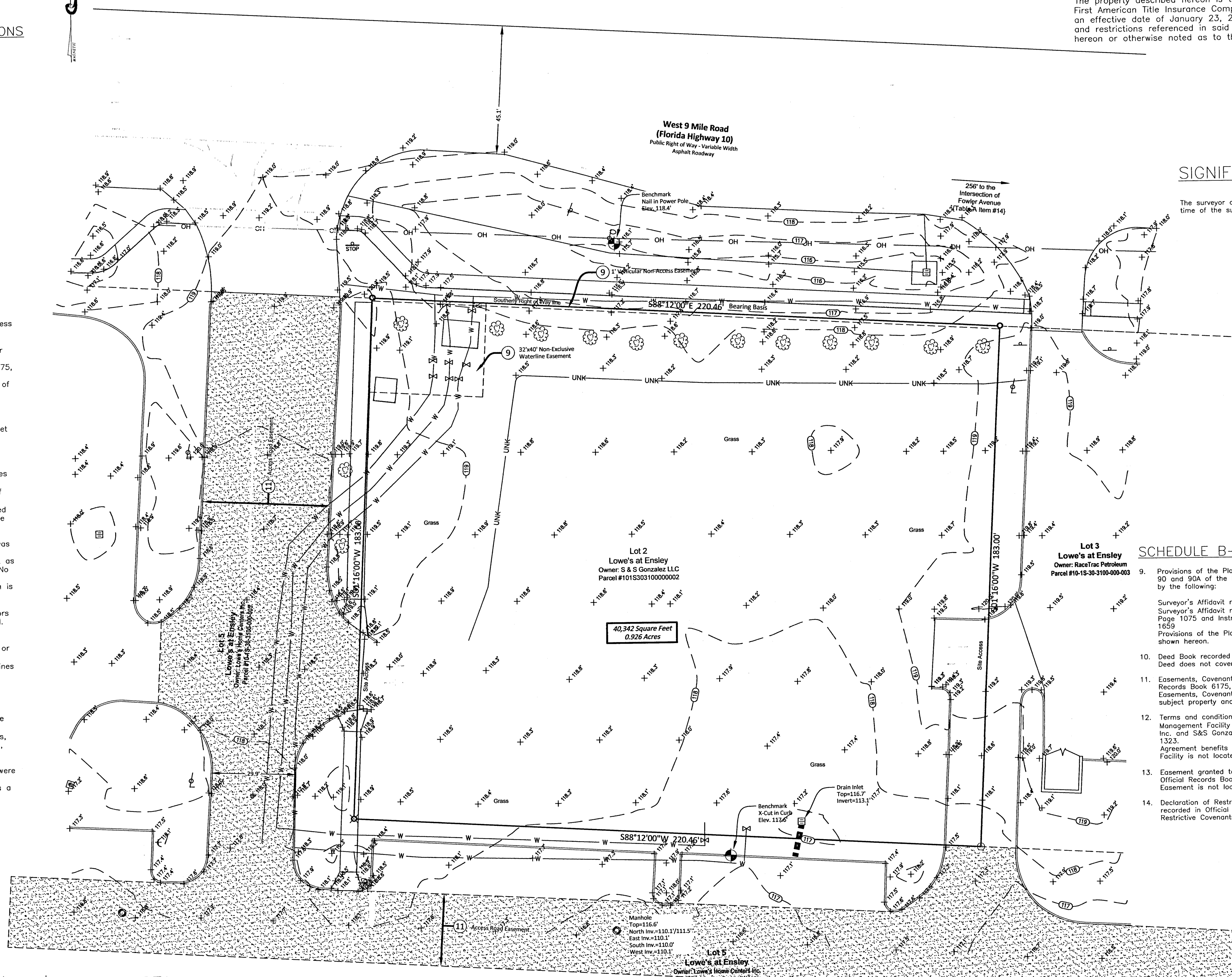
The Land referred to herein below is situated in the County of Escambia, State of Florida, and is described as follows:

Lot 2, Lowe's at Enslie, according to the plat thereof as recorded in Plat Book 18, Page 90 and 90A, of the public Records of Escambia County, Florida.

The property described hereon is the same as the property described in First American Title Insurance Company, Commitment No. 3020-999176 with an effective date of January 23, 2020 and that all easements, covenants and restrictions referenced in said title commitment have been plotted hereon or otherwise noted as to their affect on the subject property.

SIGNIFICANT OBSERVATIONS

The surveyor did not observe any significant observations at the time of the survey.

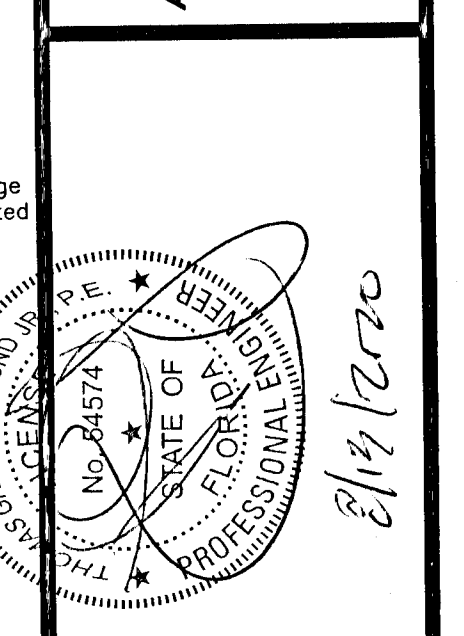


SCHEDULE B-II EXCEPTIONS

9. Provisions of the Plat of Lowe's at Enslie, recorded in Plat Book 18, Page 90 and 90A of the Public Records of Escambia County, Florida, as affected by the following:
 Surveyor's Affidavit recorded in Official Records Book 6282, Page 1074;
 Surveyor's Affidavit recorded in Official Records Book 6282, Page 1075 and Instrument recorded in Official Records Book 6433, Page 1659
 Provisions of the Plat are located on or over the subject property as shown hereon.
10. Deed Book recorded in Official Records Book 398, Page 264. Deed does not cover the subject property.
11. Easements, Covenants, Conditions and Restrictions recorded in Official Records Book 6175, Page 231. Easements, Covenants, Conditions and Restrictions benefit and cover the subject property and are blanket in nature. Nothing to plot.
12. Terms and conditions of the Agreement for Use of County Stormwater Management Facility between Escambia County and Lowe's Home Centers, Inc. and S&S Gonzalez, LLC recorded in Official Records Book 6275, Page 1323. Agreement benefits the subject property but the Stormwater Management Facility is not located on the subject property.
13. Easement granted to Lowe's Home Centers, Inc. by instrument recorded in Official Records Book 6275, Page 1329. Easement is not located on or over the subject property.
14. Declaration of Restrictive Covenants made by S & S Gonzalez, LLC recorded in Official Records Book 6551, Page 1143. Restrictive Covenants does not cover the subject property.

NO.	DATE	REVISIONS
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	UTILITY PLAN TO ADD SUB-METERS @ POTABLE AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DIRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850.434.2603
 FAX 850.434.2650
 TOM@SELANDDESIGN.COM

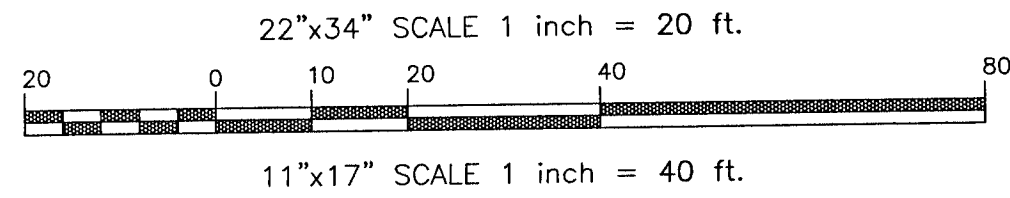


SITE DEVELOPMENT PLANS FOR
SLIM CHICKENS
 EXISTING CONDITIONS
 ESCAMBIA COUNTY FLORIDA

DESIGNED BY: RLS	DATE: 7-16-20
CHECKED BY: TGH	SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION	BY:

PROJECT NO: 20-030
 SHEET: C2

GRAPHIC SCALE



Sunshine811

CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

TREE #	TYPE	SIZE	REASON FOR REMOVAL
1	OAK	8"	TO REMAIN
2	OAK	8"	TO REMAIN
3	OAK	8"	TO REMAIN
4	OAK	8"	TO REMAIN
5	OAK	8"	TO REMAIN
6	OAK	8"	TO REMAIN
7	OAK	8"	TO REMAIN
8	OAK	8"	TO REMAIN
9	OAK	8"	TO REMAIN
10	OAK	8"	TO REMAIN
11	OAK	8"	TO REMAIN
12	OAK	8"	TO REMAIN
13	OAK	8"	TO REMAIN
14	OAK	8"	TO REMAIN

LEGEND:

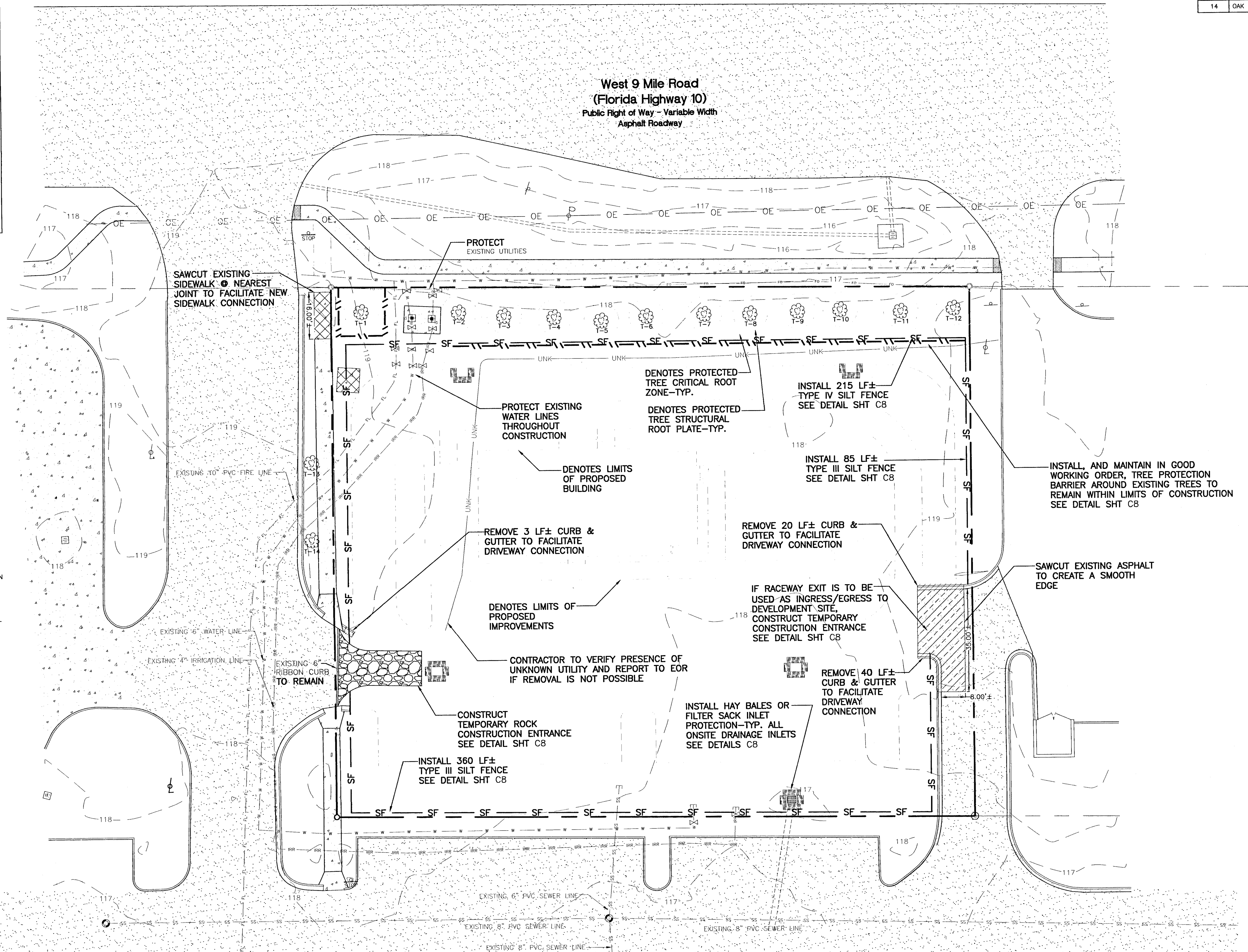
	DENOTES EXISTING ASPHALT		DENOTES EXISTING POWER POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES EXISTING CONCRETE TO BE REMOVED		DENOTES EXISTING WATER VALVE
	DENOTES EXISTING ASPHALT TO BE REMOVED		DENOTES EXISTING WATER METER
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING STORM INLET
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES PROPOSED SILT FENCE		DENOTES EXISTING TREES
	DENOTES PROPOSED TREE PROTECTION BARRIER		DENOTES EXISTING WATER LINE
	DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION		DENOTES EXISTING IRRIGATION LINE
			DENOTES EXISTING FIRE LINE
			DENOTES EXISTING SANITARY SEWER LINE
			DENOTES EXISTING UNKNOWN UTILITY LINE
			DENOTES EXISTING FIBER OPTIC CABLE LINE

DEMOLITION/EROSION CONTROL NOTES

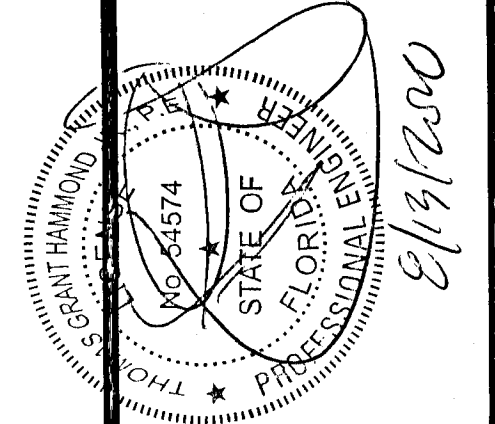
- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- ON SITES > 1 ACRE TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE

FDOT NOTE:

THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY



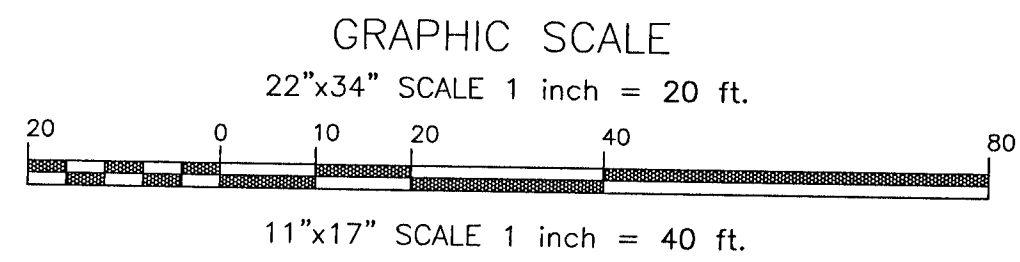
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 15TH STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT PLANS FOR
SLIM CHICKENS
DEMOLITION & EROSION CONTROL PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 7-16-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-030
SHEET: C3



SITE DATA:
 PARCEL ZONING: HC/LI
 FLU: MU/U

BUILDING SETBACKS REQUIRED (HC/LI ZONED PARCEL):
 FRONT SETBACK = 15'
 REAR SETBACK = 15'
 SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%
 MAXIMUM BUILDING HEIGHT: 150'
 MAXIMUM FLOOR AREA RATIO: 2.0 (MU/U)

PROPOSED FLOOR AREA RATIO:
 TOTAL GROSS FLOOR AREA = 2,762 SF
 GROSS LOT AREA = 40,342 SF
 FLOOR AREA RATIO = 2,762 SF/40,342 SF = 0.07

FIRE SAFETY NOTES

1. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
2. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
3. THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.

EXISTING SITE AREA: 40,342 SF = 0.93 ACRES					
IMPERVIOUS and PERVIOUS AREA					
BUILDINGS	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
ASPHALT/CONCRETE	0 SF	0 SF	2,762 SF	2,762 SF	+2,762 SF
TOTAL IMPERVIOUS AREA	1,393 SF	539 SF	18,969 SF	19,823 SF	+18,430 SF
ROCK AREA	1,393 SF	539 SF	21,731 SF	22,585 SF	+21,192 SF
LANDSCAPE AREA	0 SF	0 SF	0 SF	0 SF	N/A
PERCENTAGE OF LANDSCAPE	38,949 SF	21,731 SF	539 SF	17,767 SF	(-21,192 SF)
	97%			44%	(-53%)
PARKING DATA					
NON-HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
HANDICAPPED SPACES	0	0	29	29	+29
	0	0	2	2	+2

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING POWER POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED HEAVY DUTY ASPHALT		DENOTES EXISTING WATER METER
	DENOTES PROPOSED LIGHT DUTY ASPHALT		DENOTES EXISTING STORM INLET
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES EXISTING TREES
	DENOTES EXISTING SIGN		DENOTES QUANTITY OF PARKING STALLS PER ROW
	DENOTES PROPOSED PRE-ORDER BOARD TO BE DESIGNED BY OTHERS		DENOTES PROPOSED ORDER BOARD TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED LIGHT POLE		DENOTES PROPOSED CLEARANCE BAR TO BE DESIGNED BY OTHERS
			DENOTES PROPOSED DRIVE THRU SIGN TO BE DESIGNED BY OTHERS

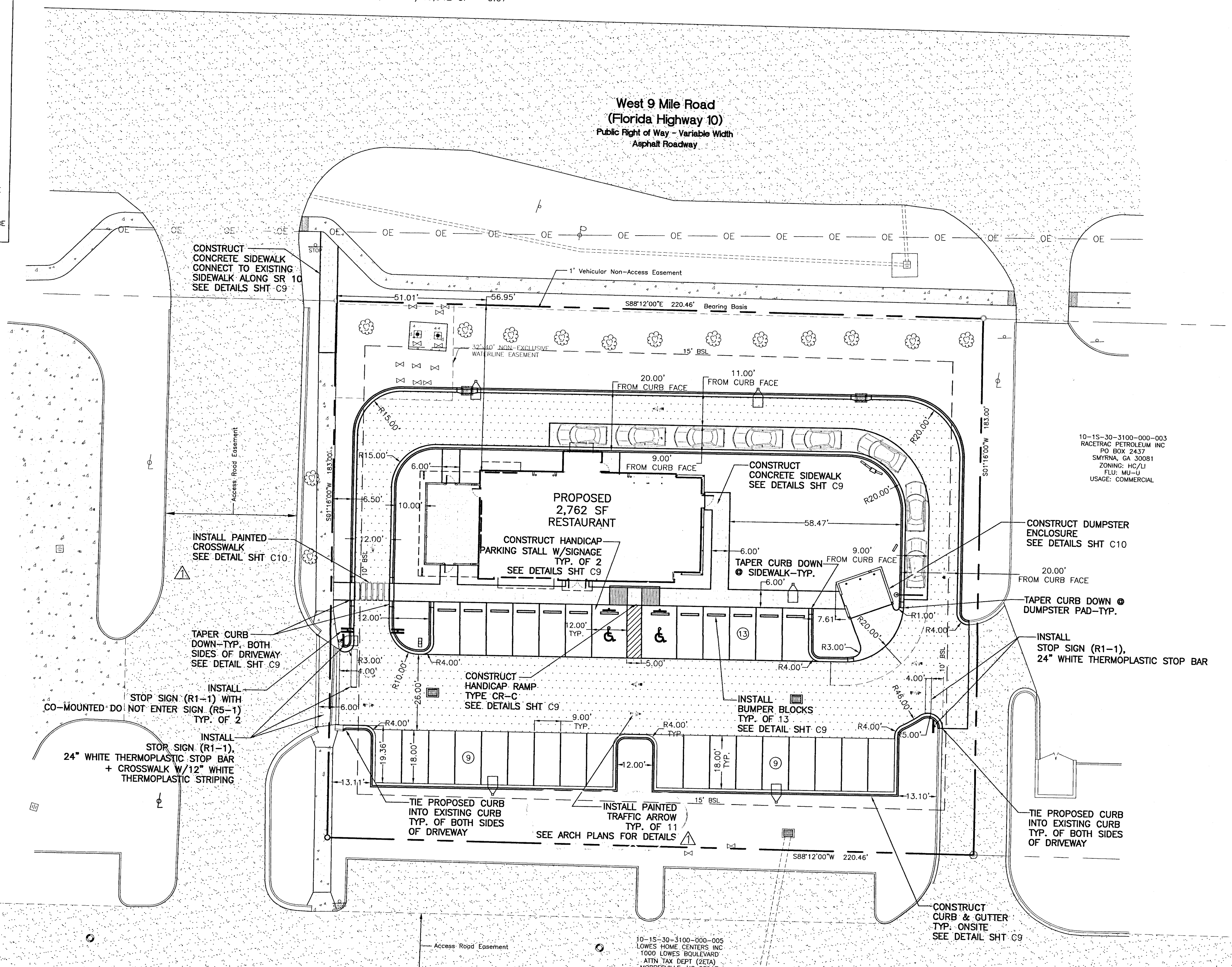
PARKING CALCULATIONS:
 2,762 SF FAST FOOD RESTAURANT
 AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
 10 PARKING STALLS PER 1,000 SF REQUIRED
 (2,762/1,000)*10 ~ 27.62 STALLS REQUIRED
 28 TOTAL PARKING STALLS REQUIRED
 29 REGULAR STALLS PROPOSED
 2 HANDICAP STALLS PROPOSED
 31 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 2 OF 11, FTP-20-06, FTP-21-06, FTP-22-06

PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

FDOT NOTE:
 THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY



REVISIONS

NO.	DATE	REVISIONS
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HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 15TH STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM

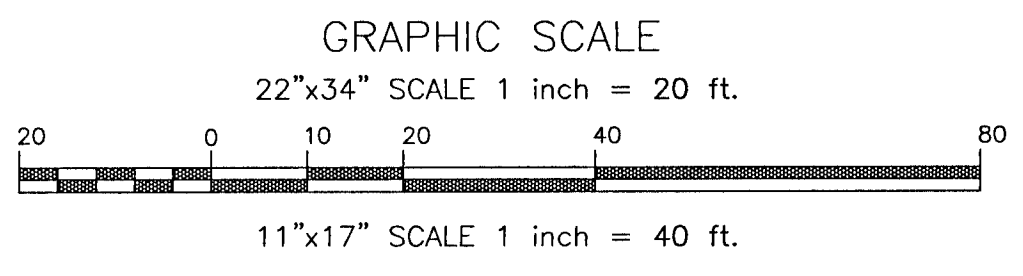
10-15-30-3100-000-003
 RACETRAC PETROLEUM INC
 PO BOX 2437
 SMYRNA, GA 30081
 ZONING: HC/LI
 FLU: MU-U
 USAGE: COMMERCIAL

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 NO. 54574
 JAMES W. HAMMOND

SITE DEVELOPMENT PLANS FOR SLIM CHICKENS SITE PLAN ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 7-16-20
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

PROJECT NO: 20-030
 SHEET: C4



LEGEND:

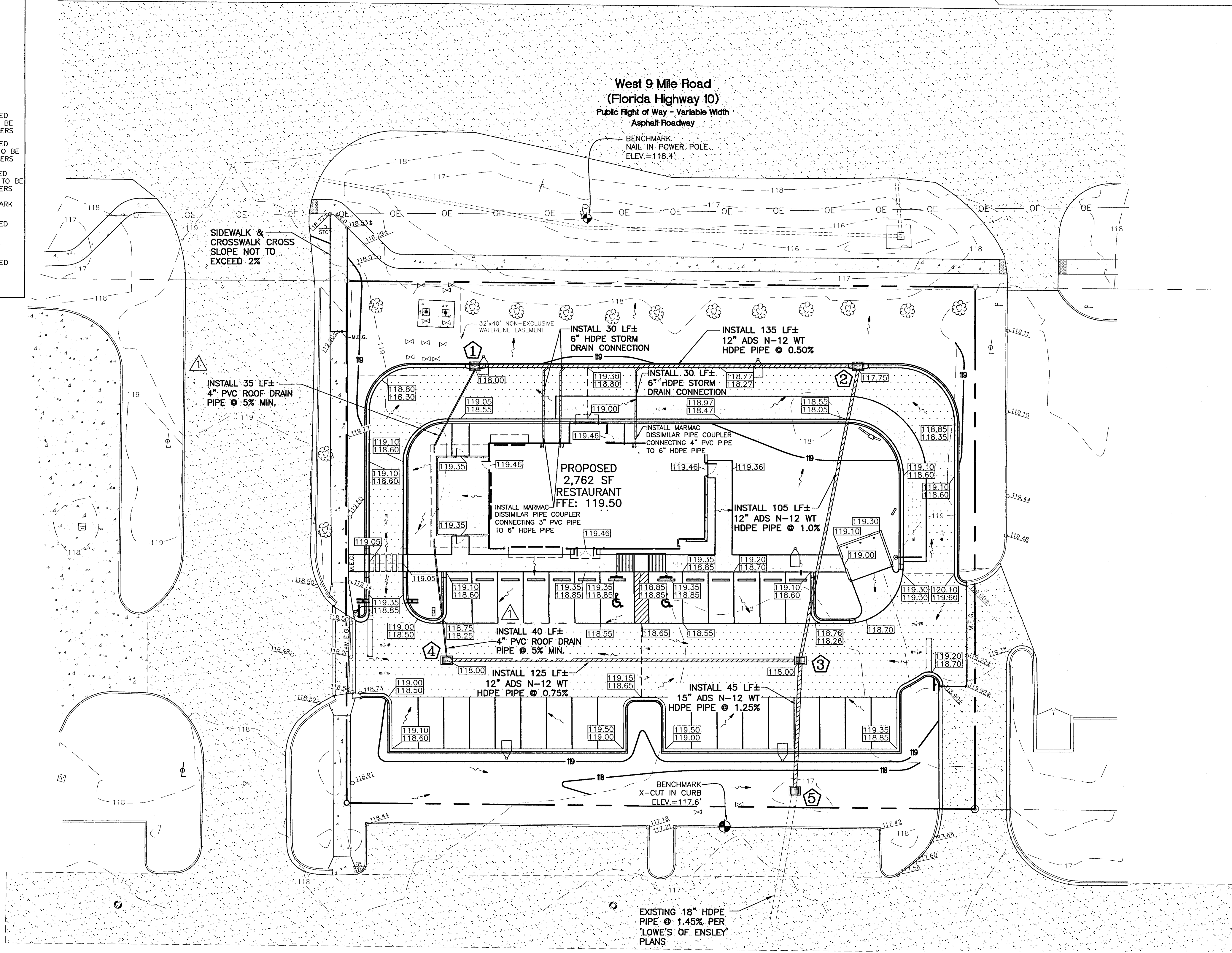
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	DENOTES EXISTING CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED HEAVY DUTY ASPHALT		DENOTES EXISTING WATER METER
	DENOTES PROPOSED LIGHT DUTY ASPHALT		DENOTES EXISTING STORM INLET
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES EXISTING TREES
	DENOTES EXISTING SIGN		DENOTES PROPOSED ORDER BOARD TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED DRIVE THRU SIGN TO BE DESIGNED BY OTHERS		DENOTES PROPOSED CLEARANCE BAR TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED LIGHT POLE		DENOTES BENCHMARK LOCATION
	DENOTES PROPOSED DUAL SPOT ELEVATION TOP #/TOP OF CURB/SIDEWALK/WALL BOTTOM #/ASPHALT/CONC./BOTTOM OF WALL		DENOTES PROPOSED SPOT ELEVATION
	M.E.G. MATCH EXISTING GRADE		DENOTES EXISTING SPOT ELEVATION
			DENOTES PROPOSED STORM PIPE

STORM STRUCTURE DATA TABLE

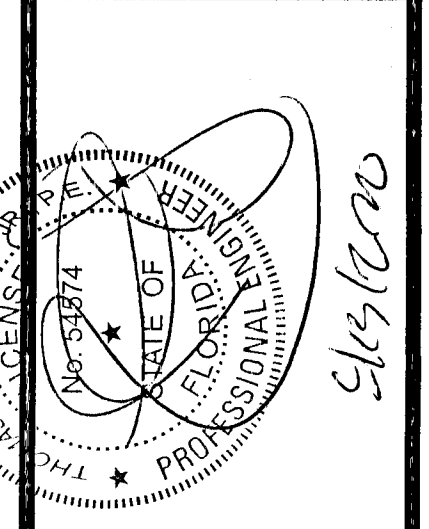
PROPOSED INLETS TO CONSIST OF:

- TYPE "C" DITCH BOTTOM INLET W/USF NO. 6209 CAST IRON TRAFFIC RATED GRATE
- CUSTOM INLET BOX + PRE-FAB CURB INLET W/5130 FRAME & 6619 STEEL GRATE AS MANUFACTURED BY US FOUNDRY & MFG. CORP. (485 SQ IN FLOW AREA)

	5130/6619 CURB INLET GRATE ELEV=118.00 INV ELEV IN (SW)=116.00 INV ELEV OUT (E)=115.50		5130/6619 CURB INLET GRATE ELEV=117.75 INV ELEV IN (W)=114.82 INV ELEV OUT (S)=114.82
	TYPE "C" INLET TOP ELEV=118.00 INV ELEV IN (N)=113.77 INV ELEV IN (W)=114.56 INV ELEV OUT (S)=113.77		TYPE "C" INLET TOP ELEV=118.00 INV ELEV IN (N)=116.00 INV ELEV OUT (E)=115.50
	EXISTING TYPE "C" INLET TOP ELEV=116.70 NEW INV ELEV IN (N)=113.20 INV ELEV OUT (S)=113.10		



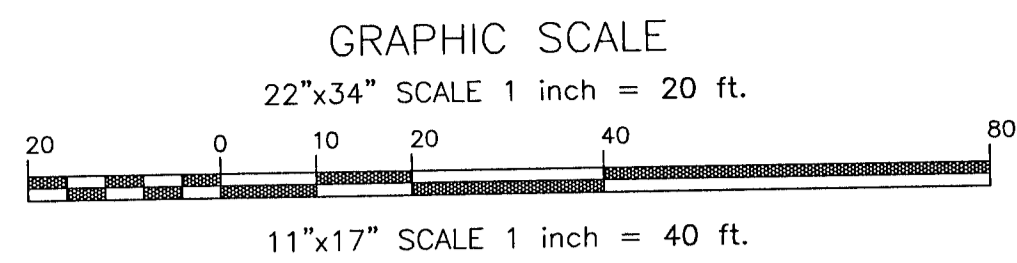
HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 91370
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "G" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDDESIGN.COM



SITE DEVELOPMENT PLANS FOR SLIM CHICKENS GRADING & DRAINAGE PLAN

ESCAMBIA COUNTY FLORIDA

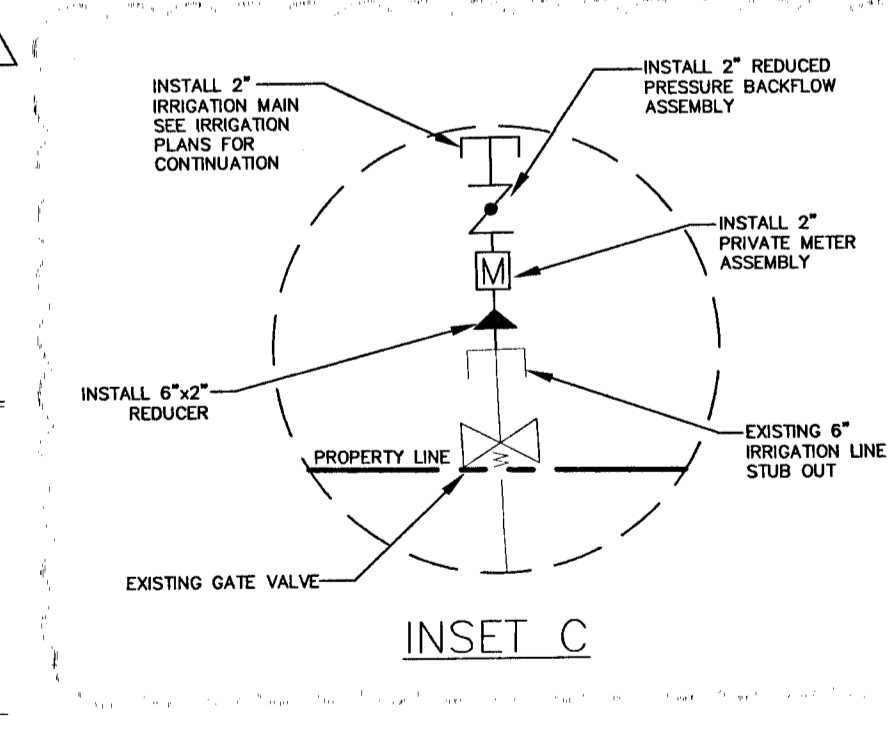
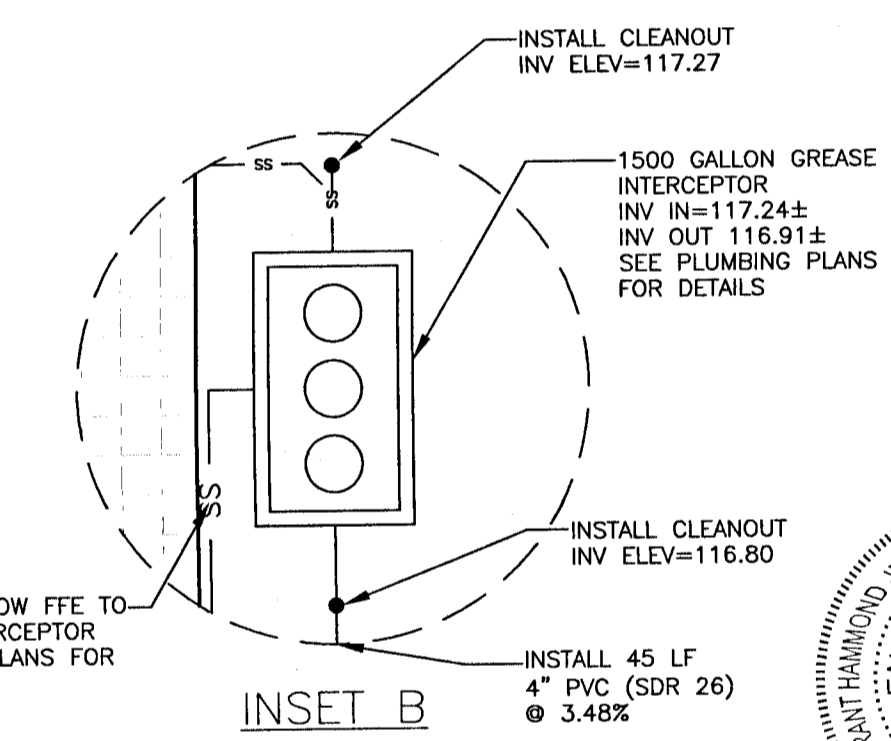
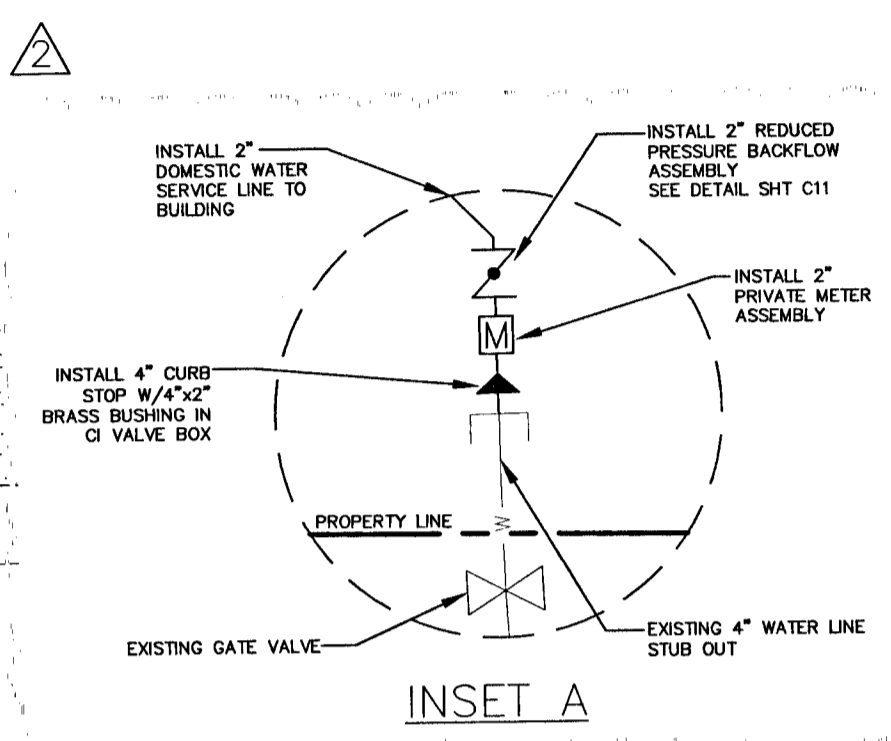
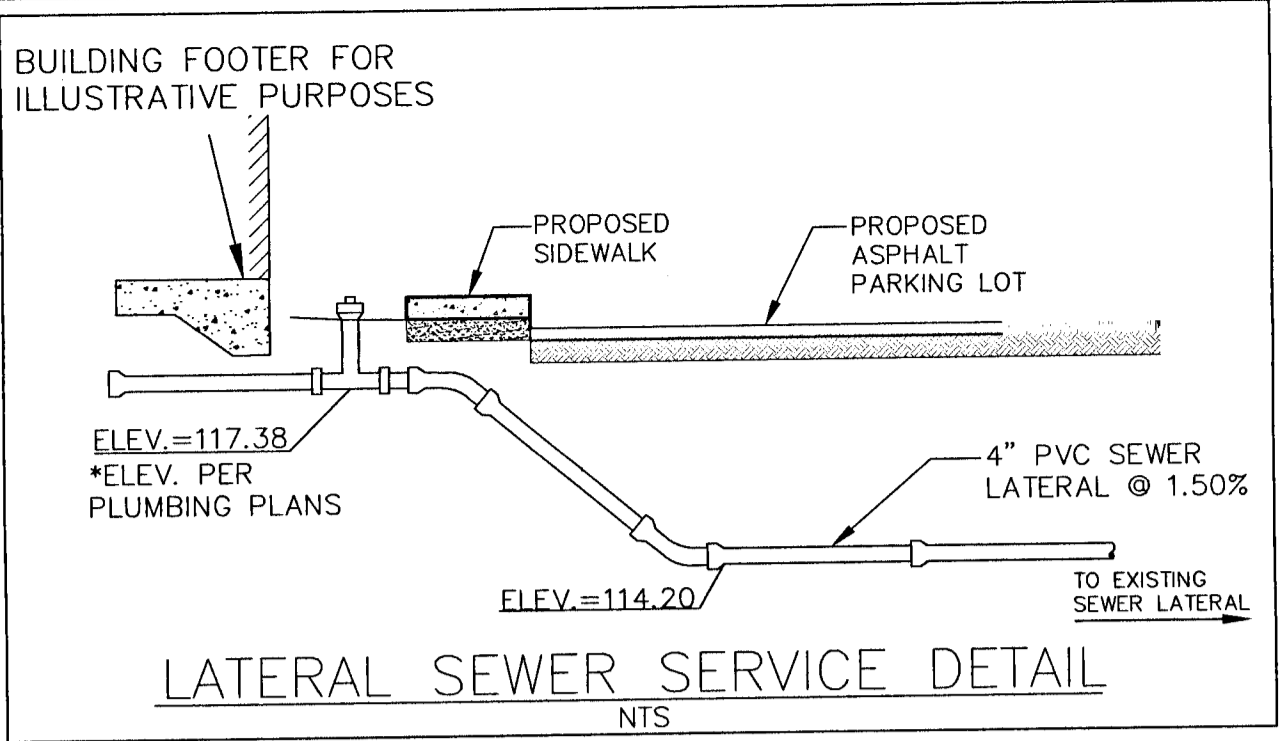
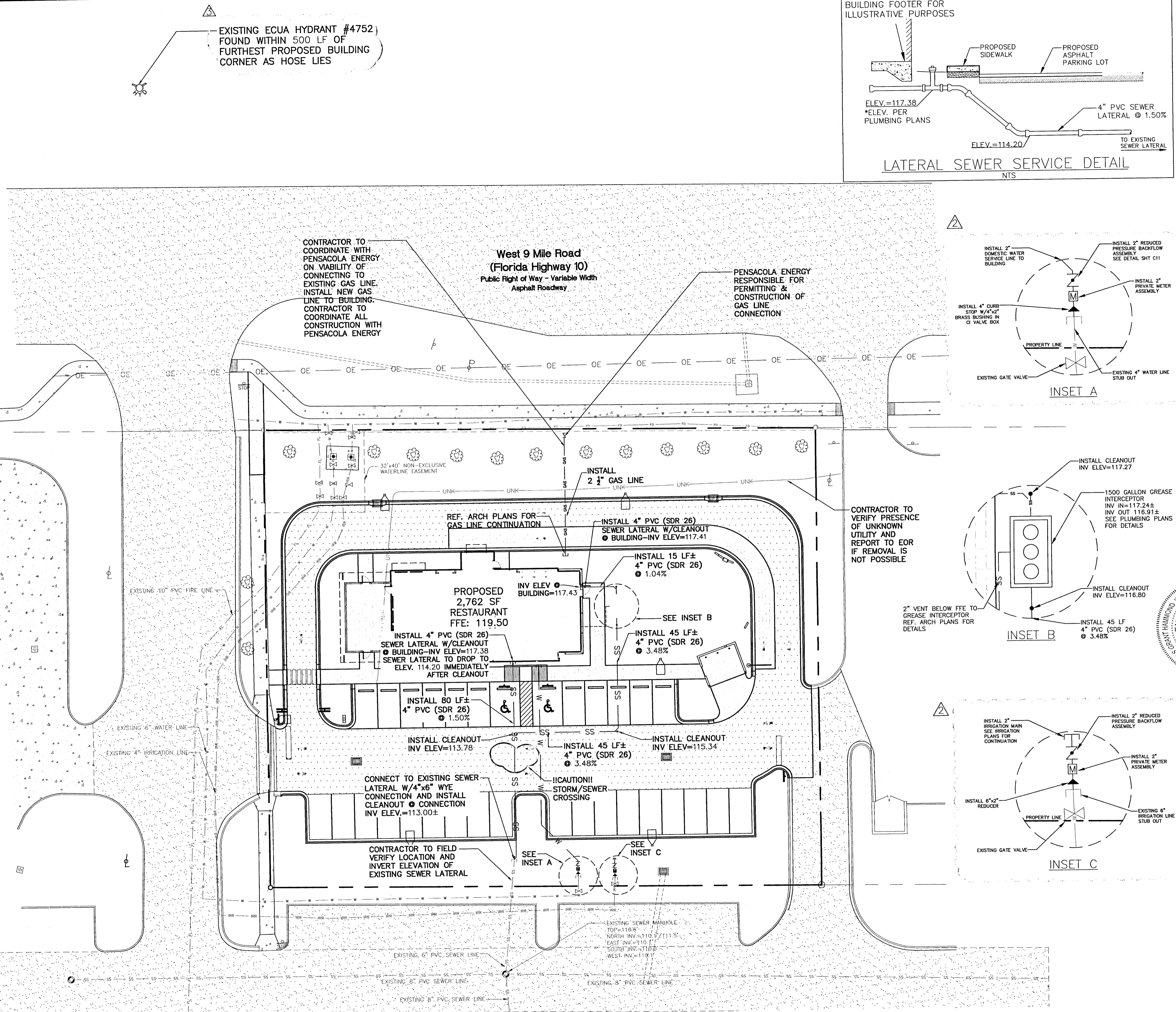
DRAWN BY: CJS
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 7-16-20
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING POWER POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED HEAVY DUTY ASPHALT		DENOTES EXISTING WATER METER
	DENOTES PROPOSED LIGHT DUTY ASPHALT		DENOTES EXISTING STORM INLET
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES EXISTING TREES
	DENOTES EXISTING SIGN		DENOTES PROPOSED ORDER BOARD TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED PRE-ORDER BOARD TO BE DESIGNED BY OTHERS		DENOTES PROPOSED DRIVE THRU SIGN TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED WATER LINE		DENOTES EXISTING WATER LINE
	DENOTES PROPOSED IRRIGATION LINE		DENOTES EXISTING IRRIGATION LINE
	DENOTES PROPOSED SANITARY SEWER LINE		DENOTES EXISTING FIRE LINE
	DENOTES PROPOSED STORM PIPE		DENOTES EXISTING SANITARY SEWER LINE
	DENOTES PROPOSED WATERLINE		DENOTES EXISTING UNKNOWN UTILITY LINE
	DENOTES PROPOSED GAS LINE		DENOTES EXISTING FIBER OPTIC CABLE LINE

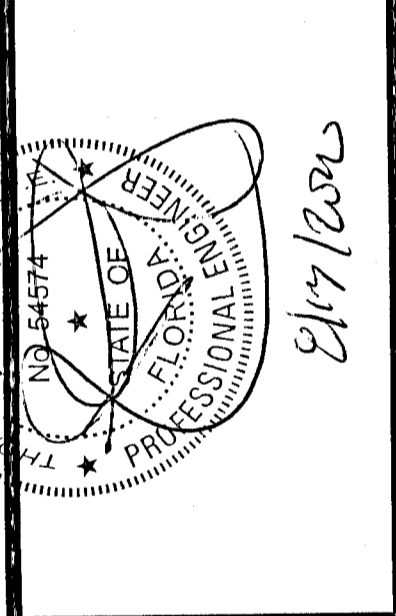
- GENERAL UTILITY NOTES**
- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
 - Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
 - Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
 - All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
 - Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W, 1-800-432-4770.
 - The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
 - Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
 - Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
 - Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, wells, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
 - Relocation of the obstructions owned by private Property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
 - Control of sedimentation and erosion shall be the Contractor's responsibility.
 - Contractor shall dispose of by hauling away all excess material.
 - The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
 - Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
 - Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
 - "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
 - Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
 - Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
 - Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
 - All onsite water and sewer facilities shall be privately owned, operated and maintained.
 - Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
 - All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
 - Contractor must locate existing water service lateral, sanitary sewer lateral and gas line to be tied into and verify configuration to establish the best location for connection.
 - Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
 - Contractor to video/document all right of way areas to be impacted prior to construction.
 - Reference utility details provided on sheet C11.
 - Contractor to coordinate power supply to building with Gulf Power...850-429-2861
 - Contractor to coordinate proposed natural gas service with Pensacola Energy...850-983-5434.



REVISIONS

NO.	DATE	DESCRIPTION
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	REVISED UTILITY PLAN TO ADD SUB-METERS @ POTABLE AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DIR REVIEW COMMENTS

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SITE DEVELOPMENT PLANS FOR SLIM CHICKENS

UTILITY PLAN

ESCAMBIA COUNTY FLORIDA

PROJECT NO: 20-030

SHEET: 06

DATE:

SCALE: AS SHOWN

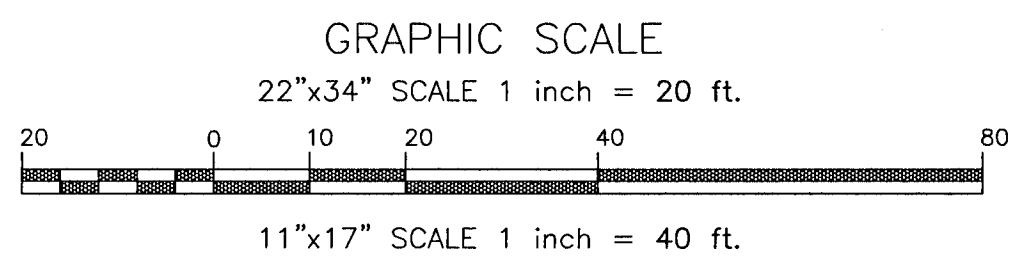
NOT RELEASED FOR CONSTRUCTION

CHECKED BY: TGH

DESIGNED BY: RLS

DRAWN BY: EJB

DATE: 7-16-20



- ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:**
- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
 - QUALITY: ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - SPECIES: ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
 - TREES: TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES: NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY: THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
 - USE OF PALMS: PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECHINATA) AND CABBAGE OR SABAL. (SABAL PALMETTO).
 - ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
 - TURF GRASS: CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOIL SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
 - ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - ALL PROTECTED TREES LOCATED ON SITE SHALL REMAIN UNTIL THE APPROPRIATE PERMITS (ESC. CO. DEVELOPMENT ORDER, ESC. CO. SITE WORK PERMIT, ESC. CO. BUILDING PERMIT, ETC.) ARE ISSUED FOR THE DEVELOPMENT.

REQUIRED LANDSCAPE PLANTING DATA

WEST BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS HC/LI ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(e) DESIGN STANDARDS MANUAL.

EAST BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS HC/LI ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(e) DESIGN STANDARDS MANUAL.

NORTH BOUNDARY LINE: NO BUFFER REQUIRED. 9 MILE ROAD/HWY 10 RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(e) DESIGN STANDARDS MANUAL.

SOUTH BOUNDARY LINE: NO BUFFER REQUIRED. ADJACENT PROPERTY IS HC/LI ZONED PARCEL. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(e) DESIGN STANDARDS MANUAL.

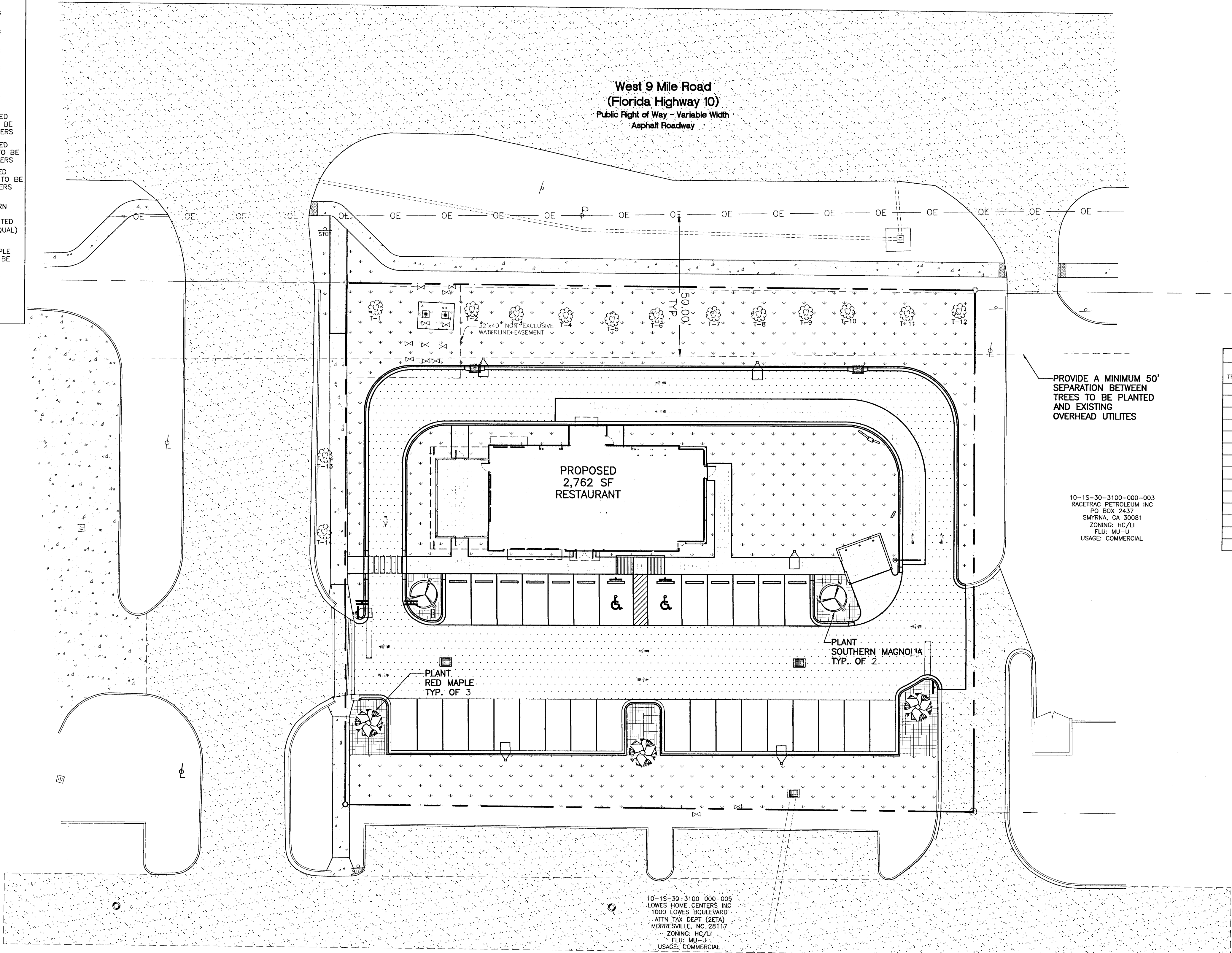
REQUIRED MITIGATION: NO MITIGATION REQUIRED.

INTERIOR PARKING LOT: PLANT ONE (1) CANOPY TREE AT TERMINUS OF PARKING ROWS AS PER CH. 2, ART. 2, SEC. 2-2.2(c) DESIGN STANDARDS MANUAL. PLANT FIVE (5) CANOPY TREES

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING POWER POLE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING LIGHT POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED HEAVY DUTY ASPHALT		DENOTES EXISTING WATER METER
	DENOTES PROPOSED LIGHT DUTY ASPHALT		DENOTES EXISTING STORM INLET
	DENOTES PROPOSED SOD (BAHAI RECOMMENDED)		DENOTES EXISTING SANITARY SEWER MANHOLE
	DENOTES PROPOSED CYPRESS MULCH W/UNDERLYING WEED FABRIC		DENOTES EXISTING TREES
	DENOTES EXISTING STORM PIPE		DENOTES PROPOSED ORDER BOARD TO BE DESIGNED BY OTHERS
	DENOTES EXISTING OVERHEAD UTILITIES		DENOTES PROPOSED CLEARANCE BAR TO BE DESIGNED BY OTHERS
	DENOTES EXISTING SIGN		DENOTES PROPOSED DRIVE THRU SIGN TO BE DESIGNED BY OTHERS
	DENOTES PROPOSED PRE-ORDER BOARD TO BE DESIGNED BY OTHERS		DENOTES SOUTHERN MAGNOLIA CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 2
	DENOTES PROPOSED LIGHT POLE		DENOTES RED MAPLE CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 3
	DENOTES PROPOSED STORM PIPE		

- LANDSCAPING NOTES:**
- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
 - THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
 - ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
 - FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
 - ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
 - ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
 - ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
 - PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
 - ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
 - BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEIOUS MATERIAL NOT CONDUCIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE CONTRACTOR IN CHANGE PRIOR TO PLANTING.
 - SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
 - STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
 - SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
 - ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES, IN RIGHTS-OF-WAYS, OR OTHERWISE DISTURBED AS PART OF THIS PROJECT ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEED AND MULCHED AT A MINIMUM.



TREE ID/REMOVAL TABLE

TREE #	TYPE	SIZE	REASON FOR REMOVAL
1	OAK	8"	TO REMAIN
2	OAK	8"	TO REMAIN
3	OAK	8"	TO REMAIN
4	OAK	8"	TO REMAIN
5	OAK	8"	TO REMAIN
6	OAK	8"	TO REMAIN
7	OAK	8"	TO REMAIN
8	OAK	8"	TO REMAIN
9	OAK	8"	TO REMAIN
10	OAK	8"	TO REMAIN
11	OAK	8"	TO REMAIN
12	OAK	8"	TO REMAIN
13	OAK	8"	TO REMAIN
14	OAK	8"	TO REMAIN

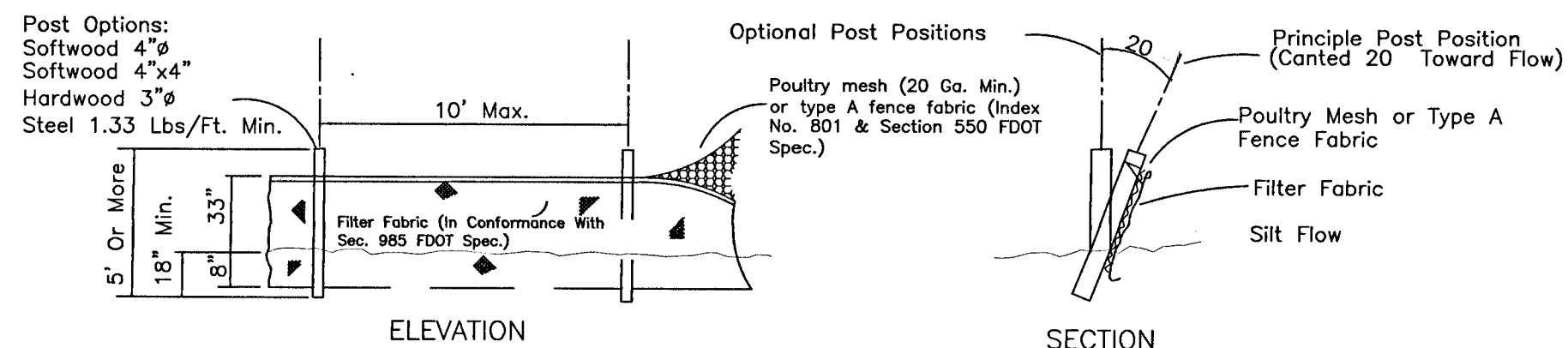
HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM

SITE DEVELOPMENT PLANS FOR SLIM CHICKENS LANDSCAPING PLAN
 ESCAMBIA COUNTY FLORIDA

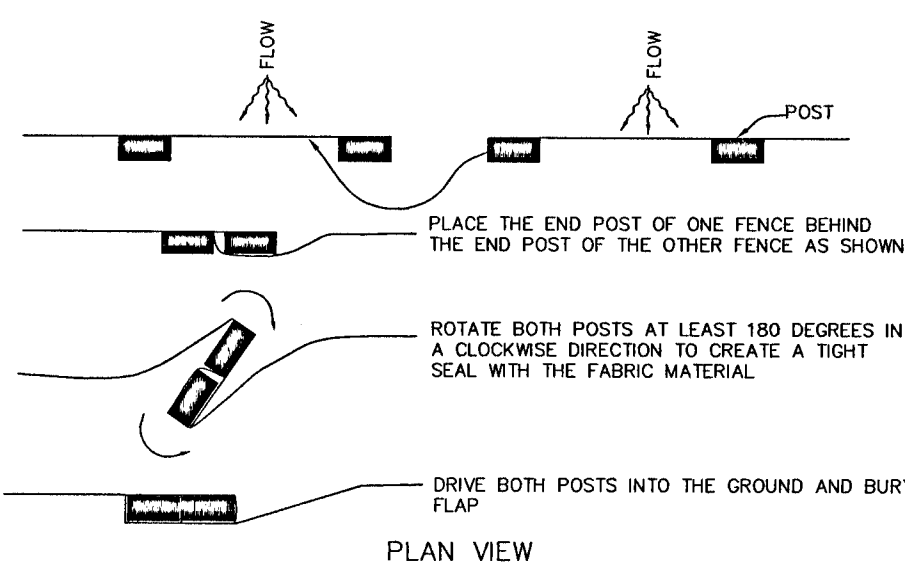
DESIGNED BY: RLB
 CHECKED BY: TGH
 DATE: 7-16-20
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

PROJECT NO: 20-030
 SHEET: C7

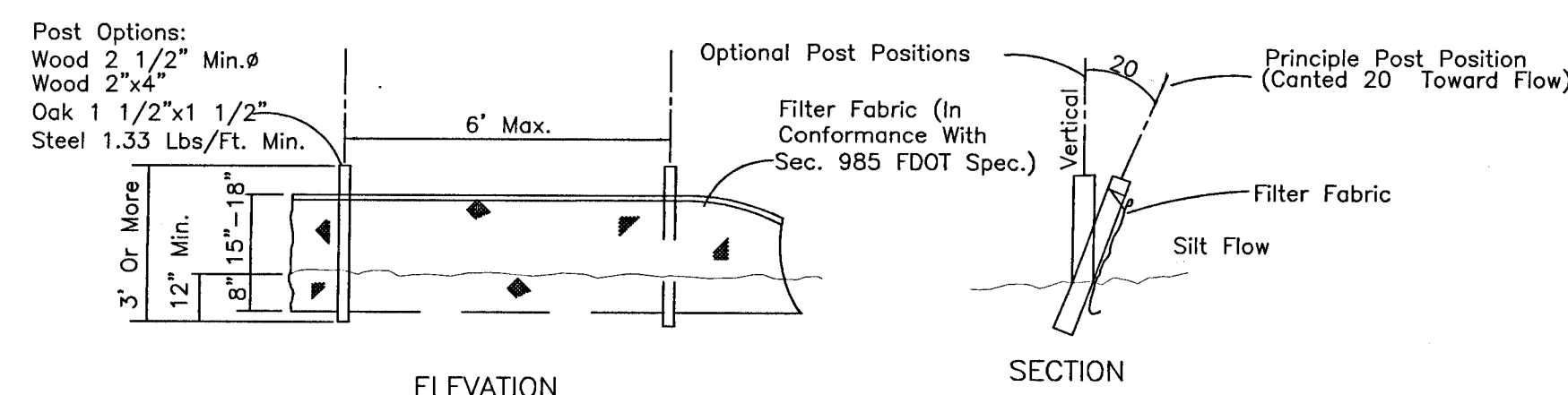
10-15-30-3100-000-003
 RACETRAC PETROLEUM INC
 PO BOX 2437
 SMYRNA, GA 30081
 ZONING: HC/LI
 FLU: MU-U
 USAGE: COMMERCIAL



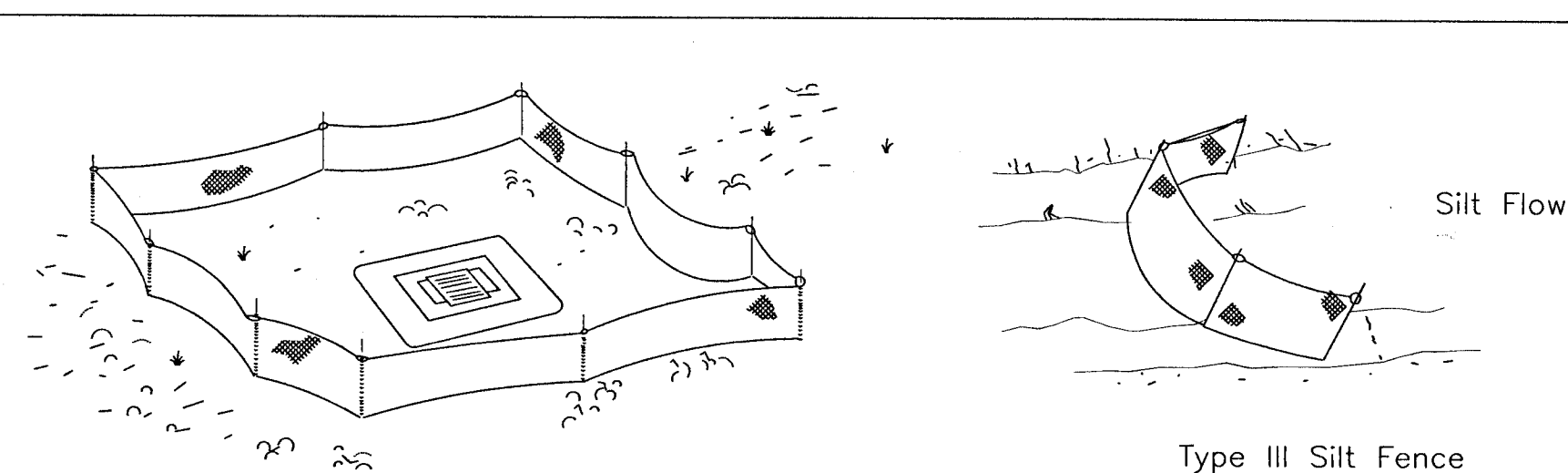
TYPE IV SILT FENCE
NTS



JOINING TWO SILT FENCES
NTS

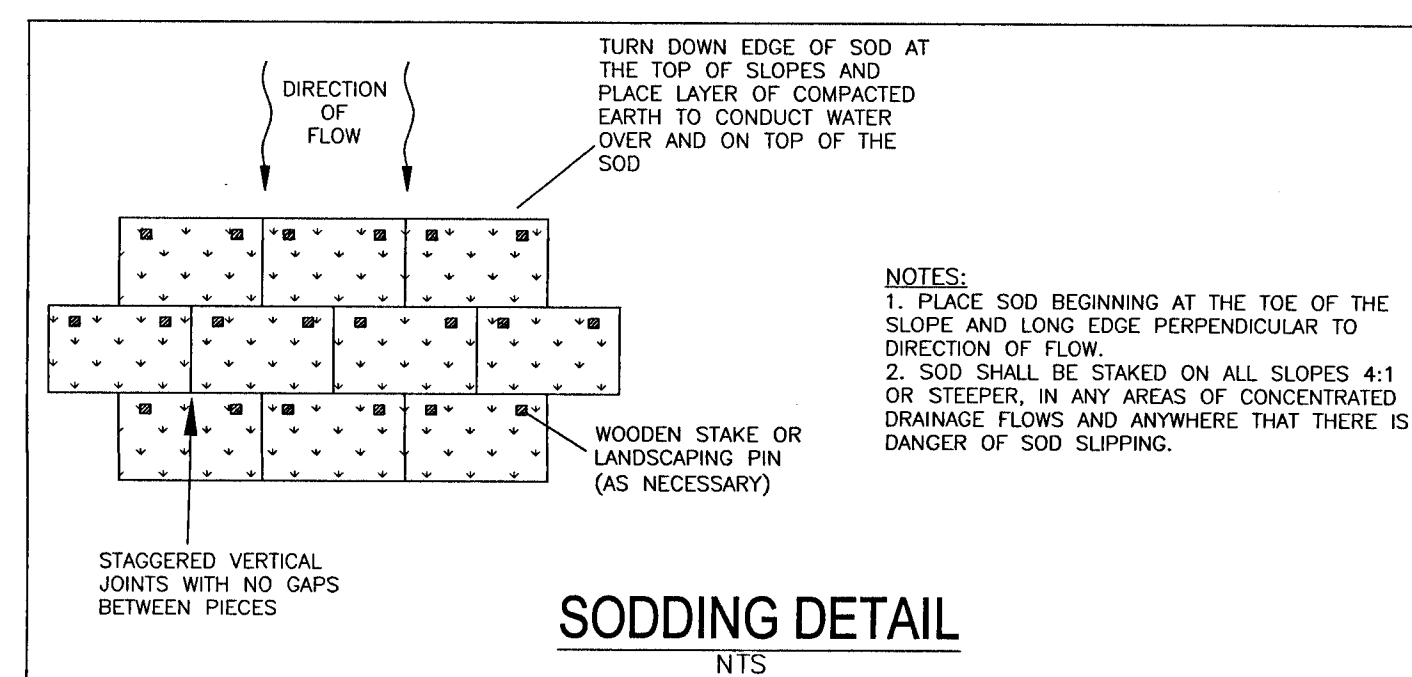


TYPE III SILT FENCE
NTS



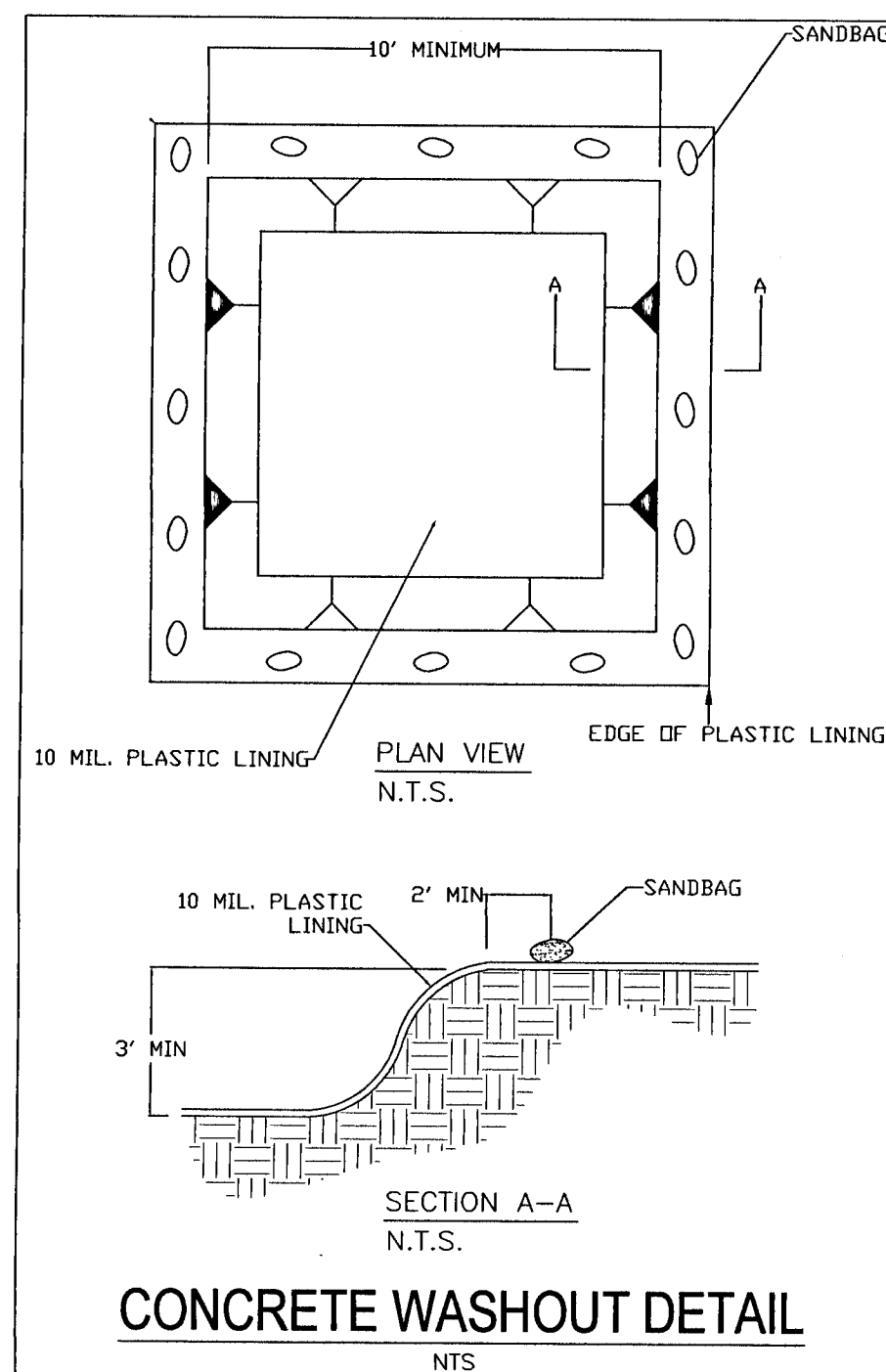
Type III Silt Fence Protection Around Ditch Bottom Inlets.

SILT FENCE APPLICATIONS
NTS

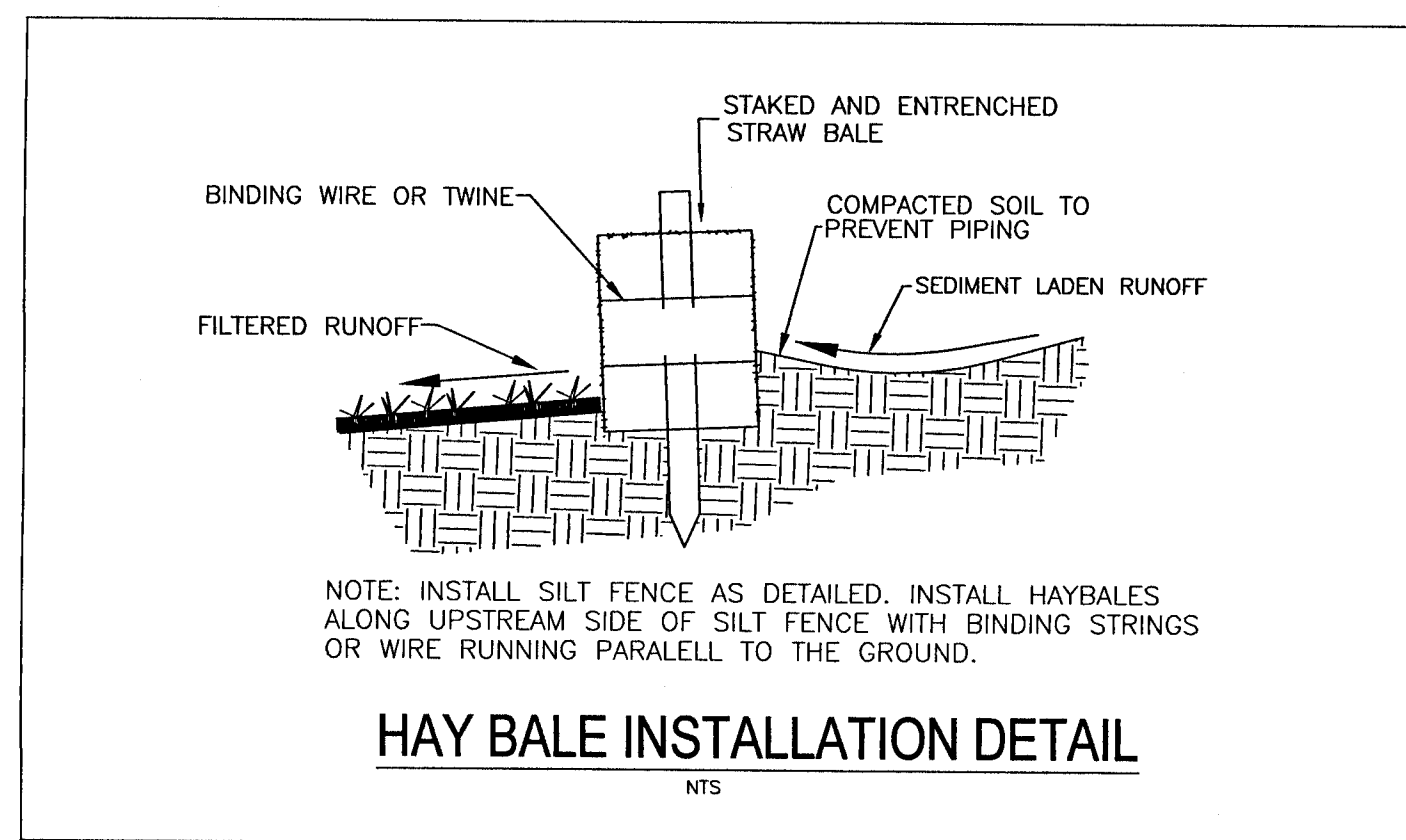


SODDING DETAIL
NTS

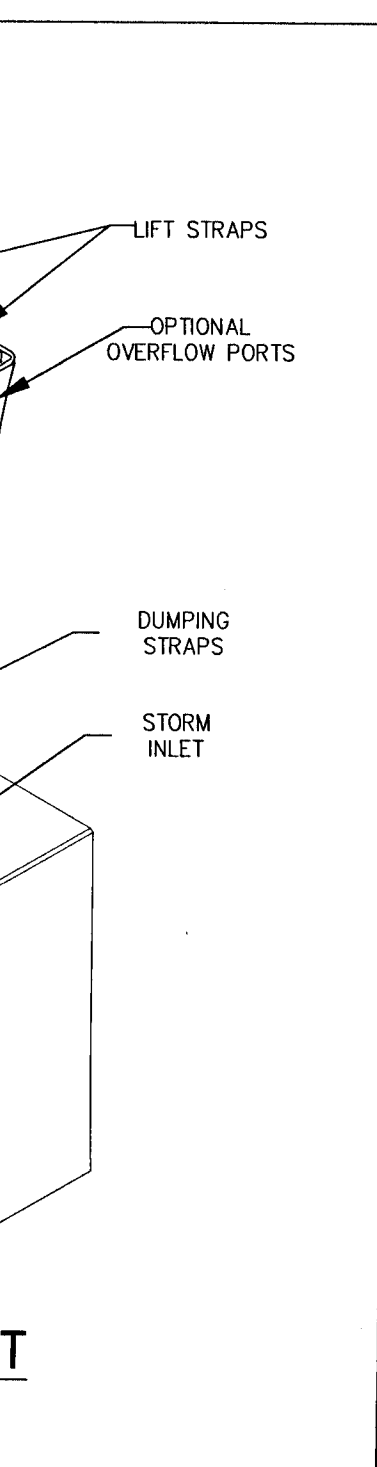
- NOTES FOR SILT FENCES:**
- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS, WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1 (FOUND BELOW)
 - TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED, SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
 - DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 - WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON OR LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



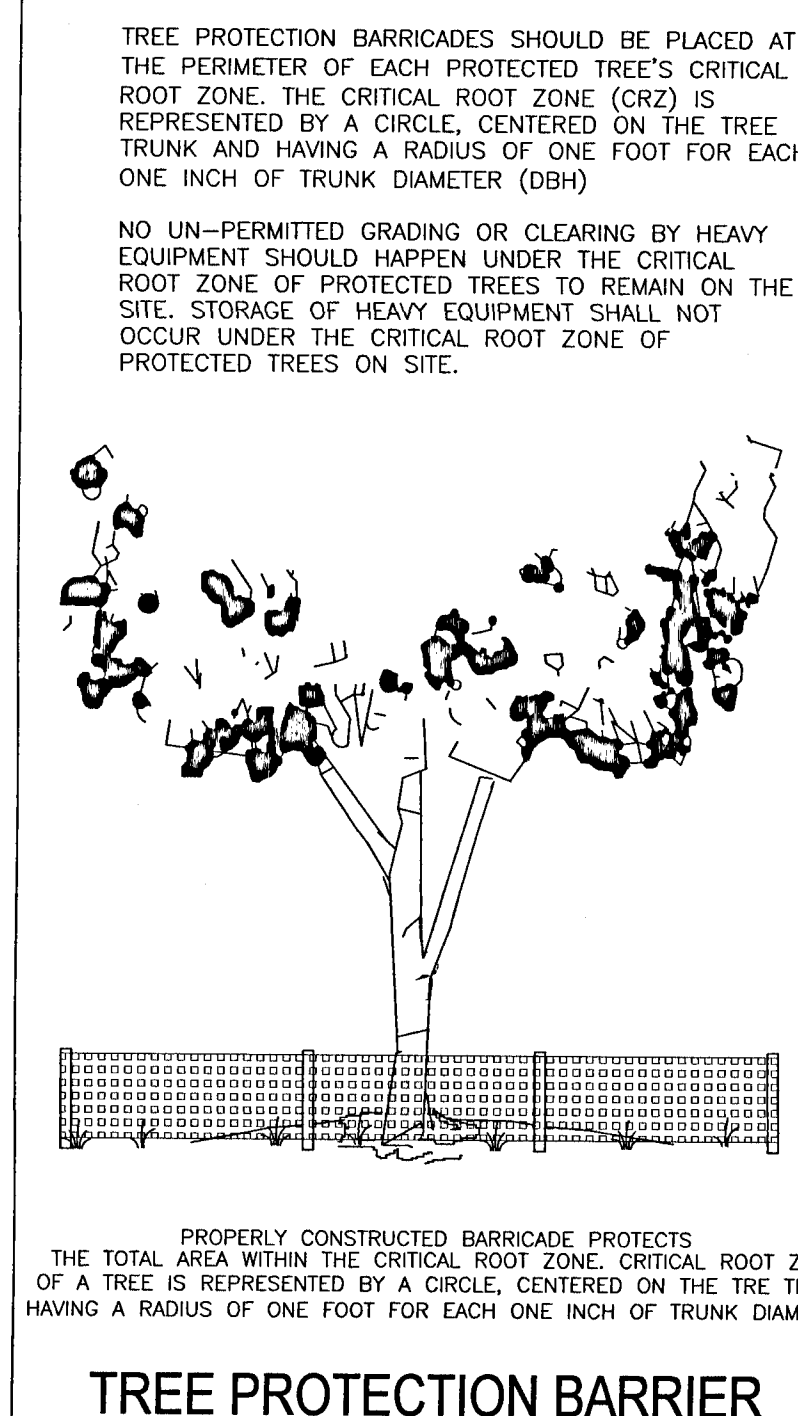
CONCRETE WASHOUT DETAIL
NTS



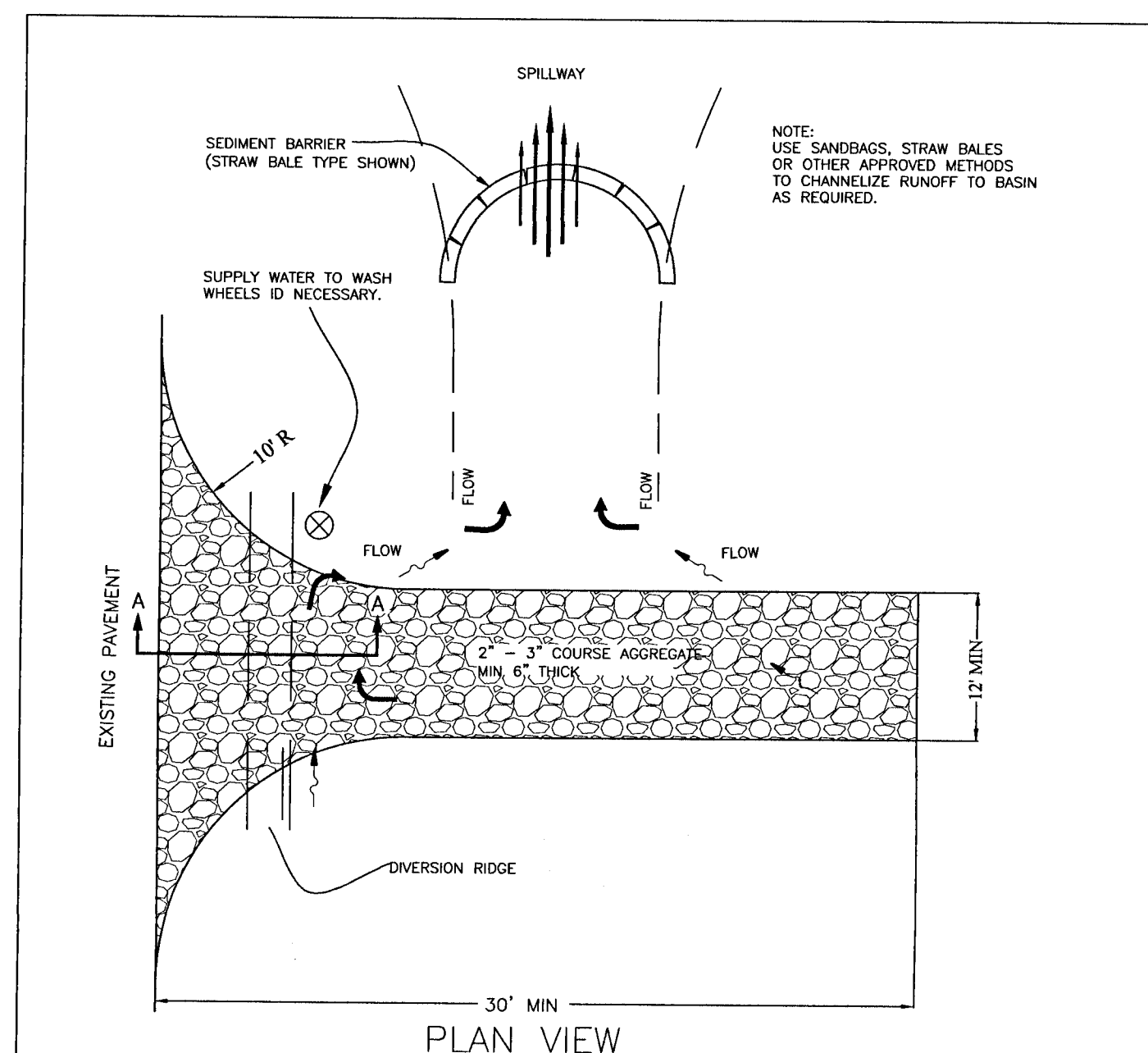
HAY BALE INSTALLATION DETAIL
NTS



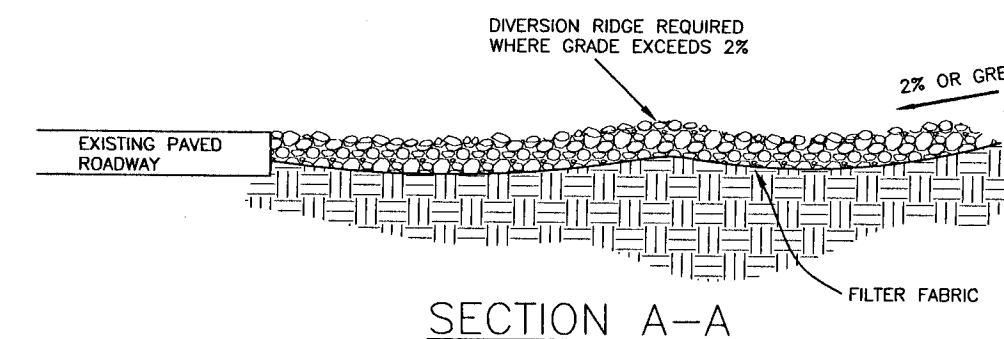
DETAIL OF INLET FILTER SACK
NTS



TREE PROTECTION BARRIER



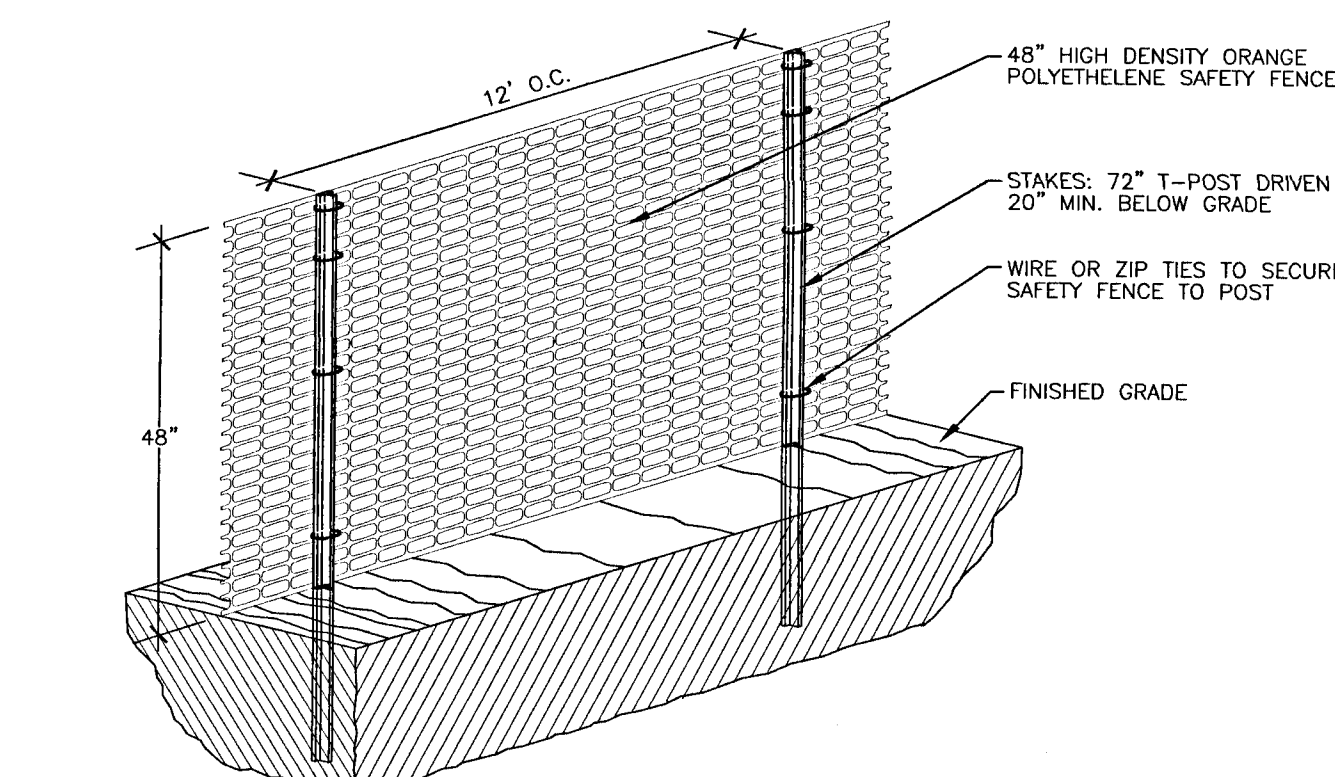
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.



TEMPORARY CONSTRUCTION ENTRANCE
NTS

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.

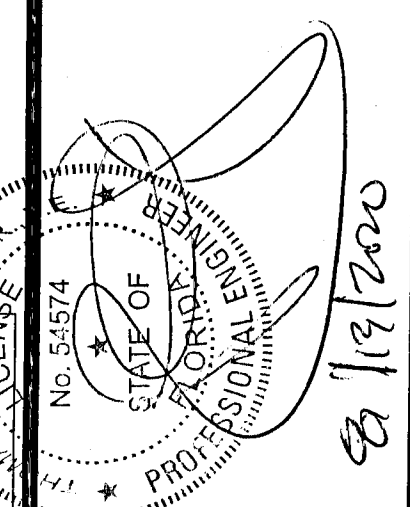


SENSITIVE AREA/TREE PROTECTION BARRIER

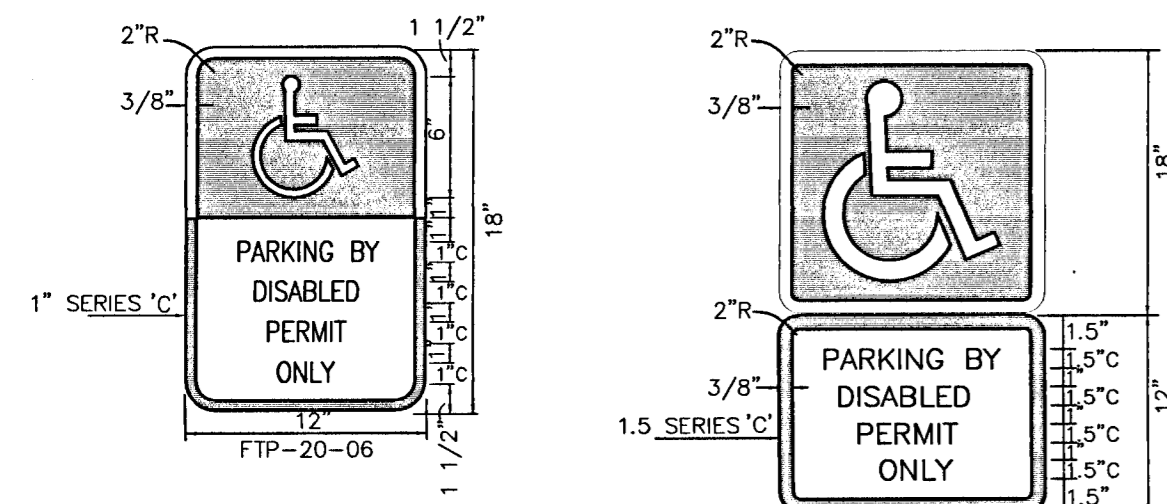
- NOTES:**
- ALL SENSITIVE AREAS SHALL BE PROTECTED INCLUDING DEEP EXCAVATIONS AND AS INDICATED ON PLANS.
 - ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
 - TREE PROTECTION BARRIER SHOULD BE PLACED, AND MAINTAINED IN GOOD WORKING ORDER, AROUND THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT PERMIT.
 - SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
 - THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
 - NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.
 - ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY (NOT TORN). ROOTS SHALL BE PRUNED CLEANLY TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM EXISTING GRADE.

NO.	DATE	REVISIONS
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	REVISED UTILITY PLAN TO ADD SUB-METERS @ POTABLE AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DPC REVIEW COMMENTS

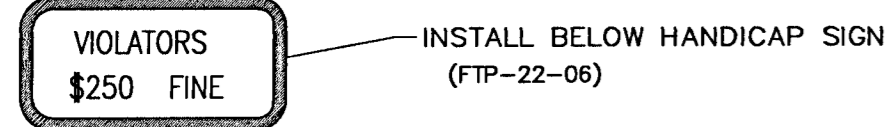
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 5TH STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT PLANS FOR SLIM CHICKENS EROSION CONTROL DETAILS	FLORIDA
DRAWN BY: CJB	CHECKED BY: RLS
DESIGNED BY: TGH	DATE: 7-16-20
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

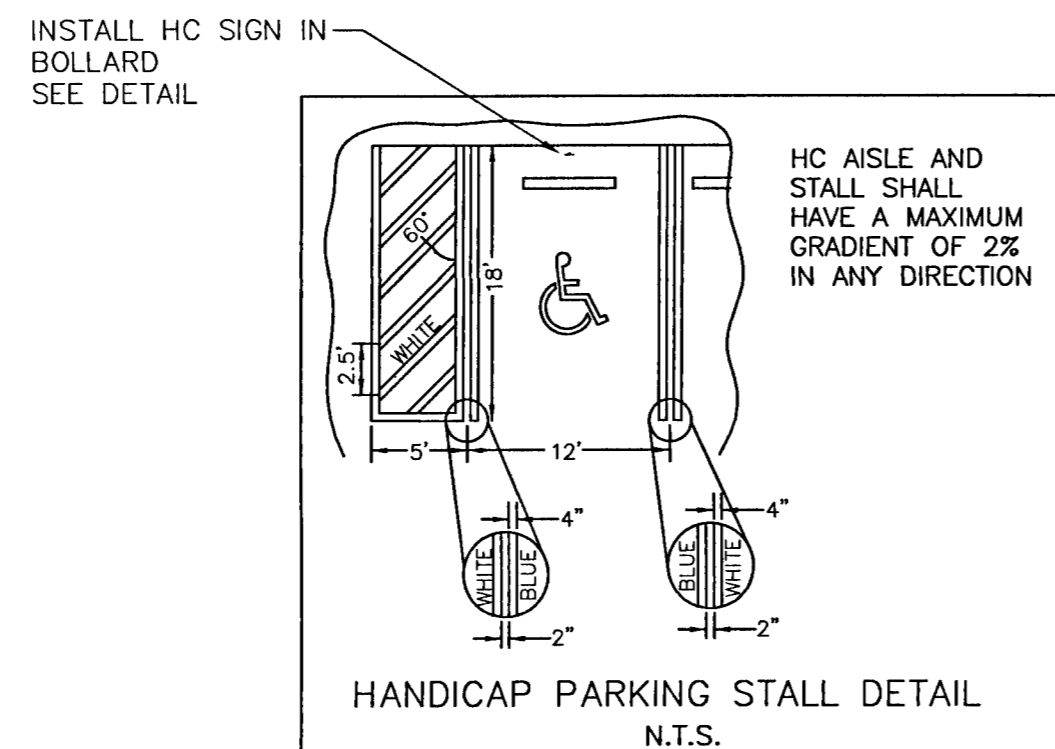


SIGNS USED AS PER FLORIDA STATUTES
FTP 20-06, FTP 21-06 Per FS 316.1955



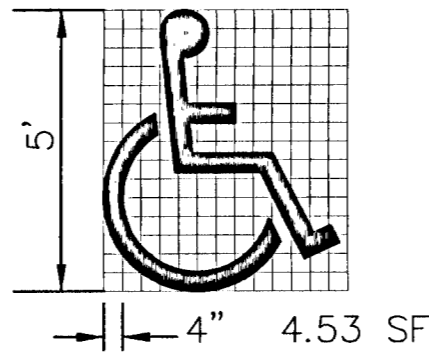
- NOTES:
1. Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
 2. Bottom portion shall have a reflective white background with black opaque legend and border.
 3. FTP 20-06 & 21-06 may be fabricated on one panel or two.
 4. FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
 5. Signs are to be mounted at standard height, (60" above ground surface measured to the bottom of the sign).

HANDICAPPED PARKING SIGN DETAIL
NTS

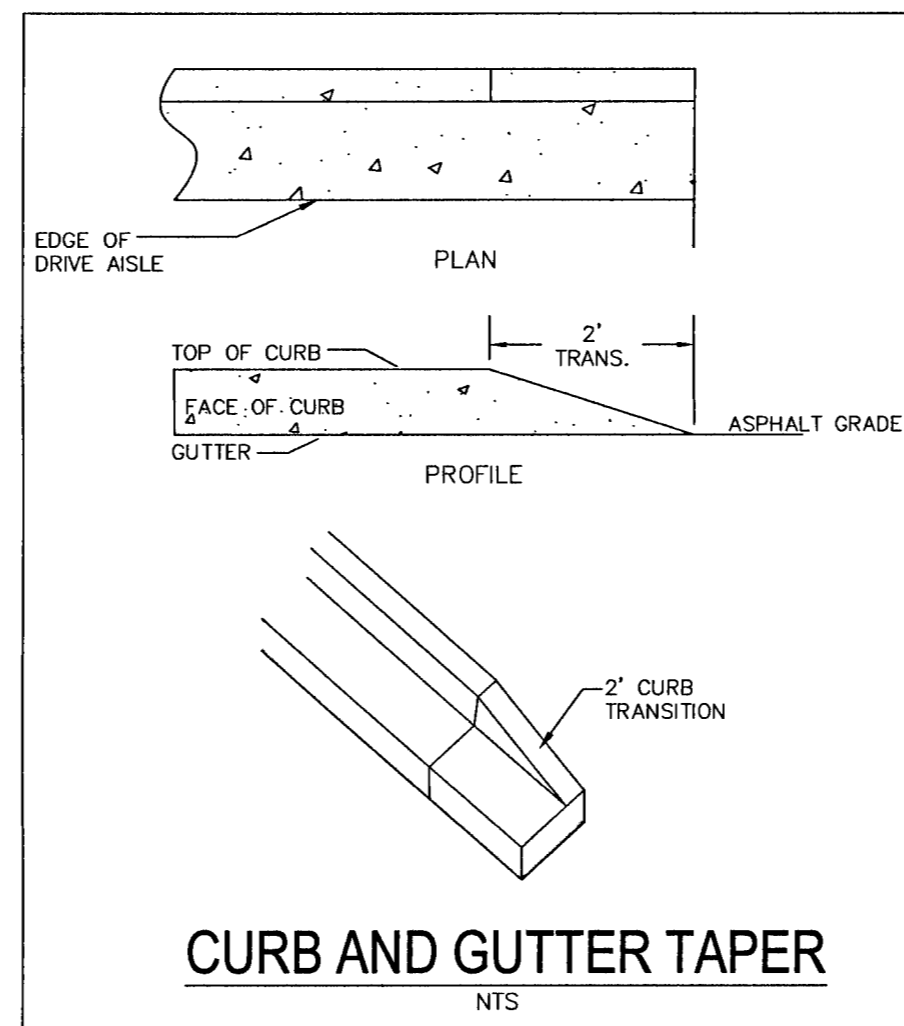


HANDICAP PARKING SPACE TO CONSTRUCTED IN ACCORDANCE TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 17346

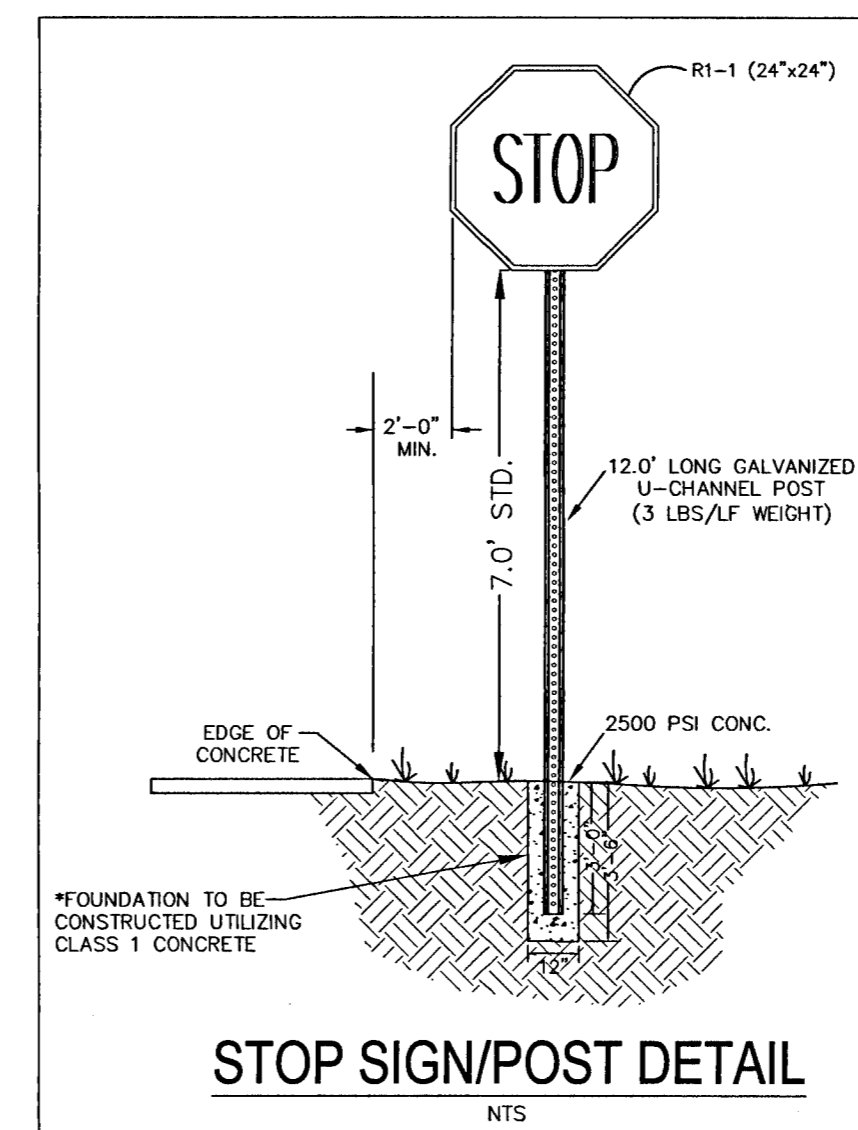
SYMBOL SHALL BE WHITE IN COLOR. REFERENCE FDOT DESIGN STANDARDS INDEX 17346 FOR ADDITIONAL DETAILS



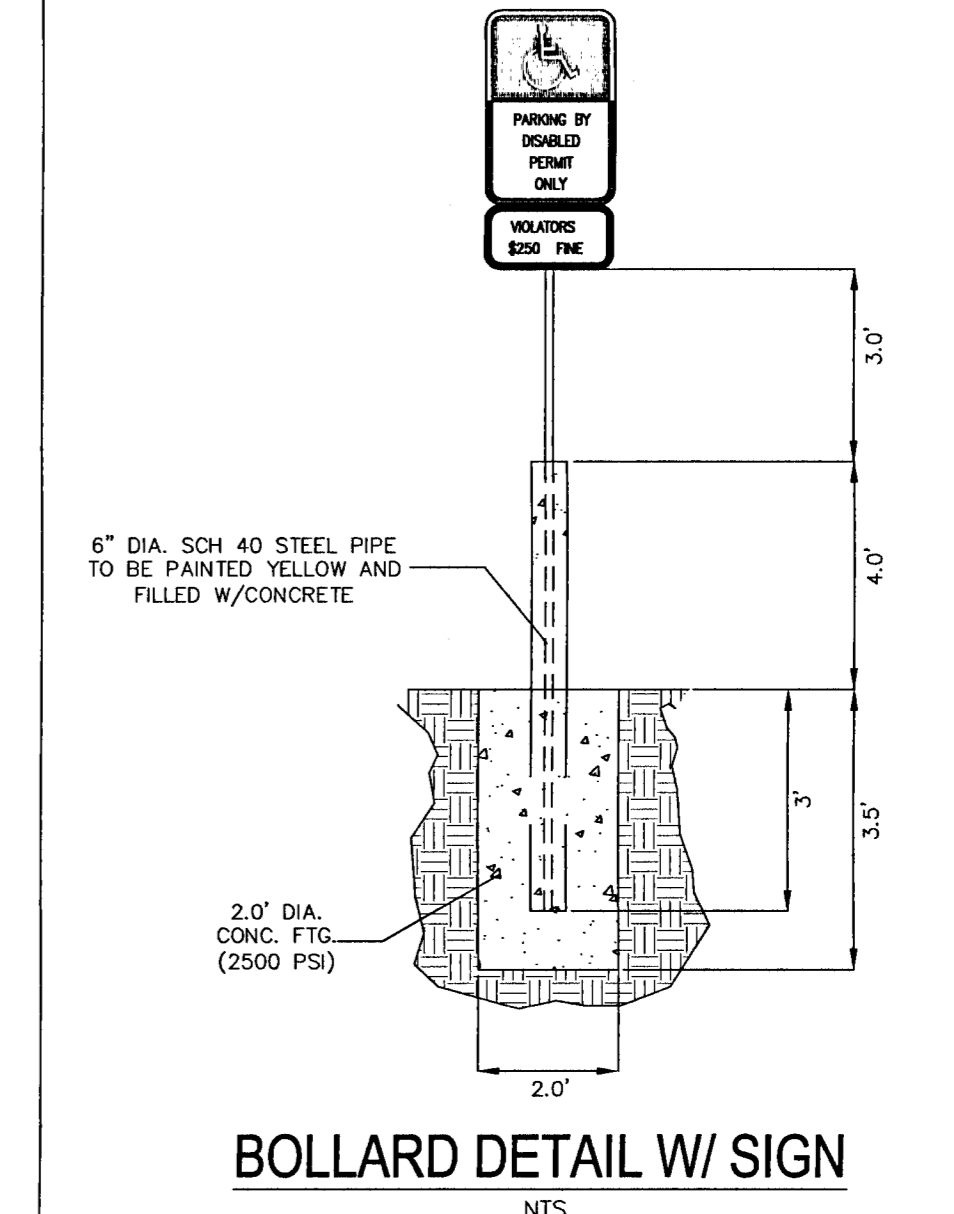
HANDICAP PAVEMENT SYMBOL/LINING
NTS



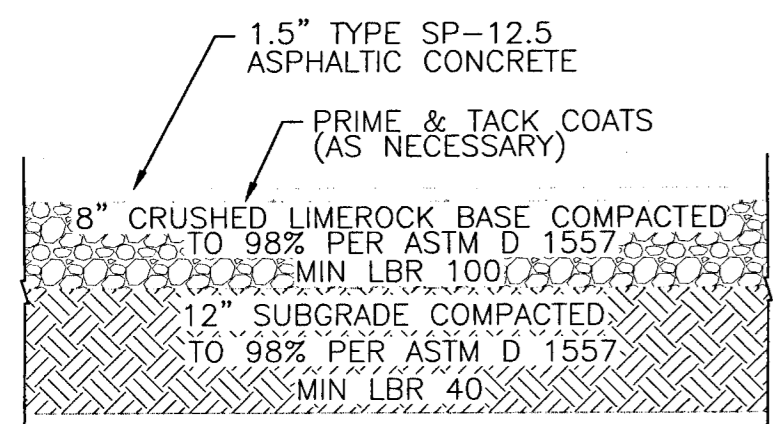
CURB AND GUTTER TAPER
NTS



STOP SIGN/POST DETAIL
NTS



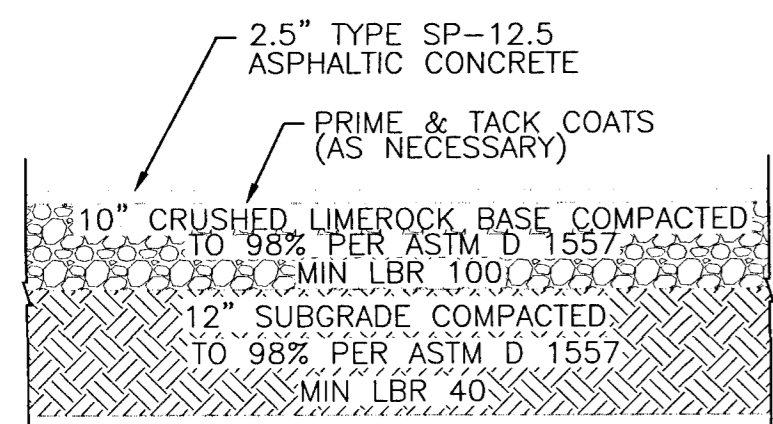
BOLLARD DETAIL W/ SIGN
NTS



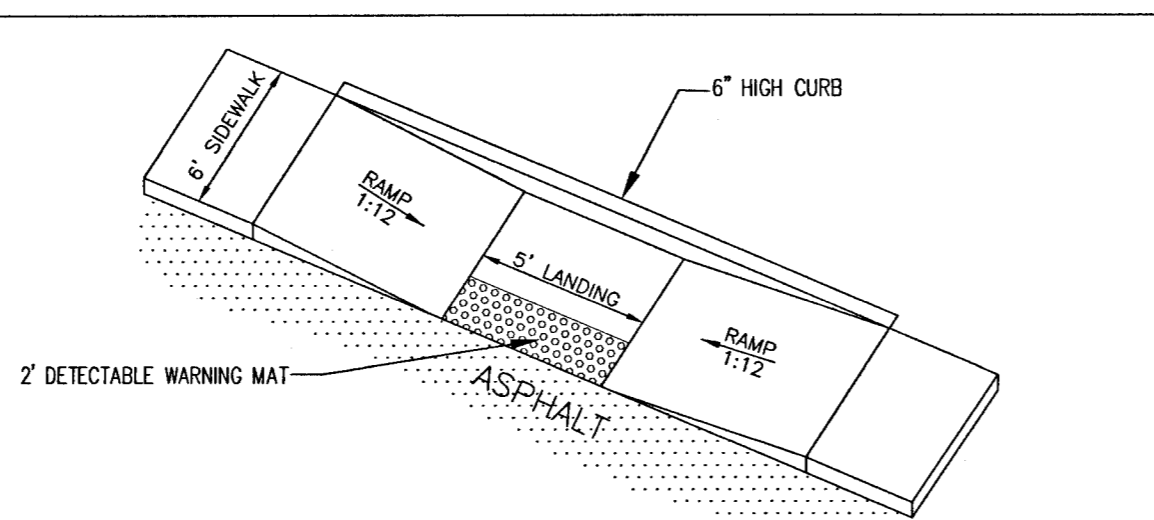
LIGHT DUTY ON-SITE ASPHALT SECTION
NTS

NOTE:

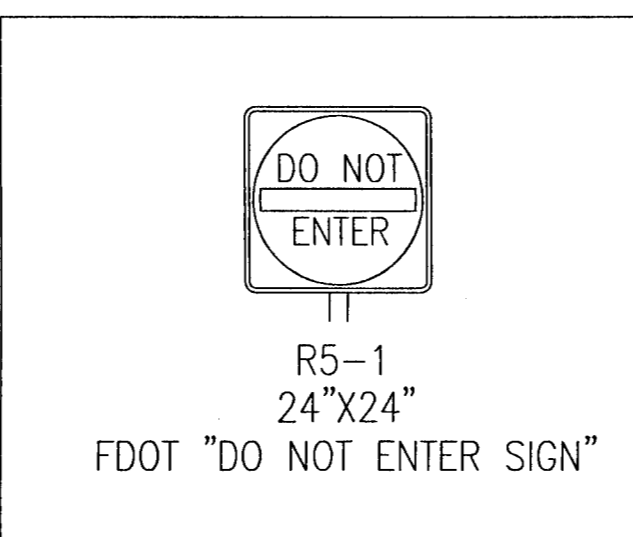
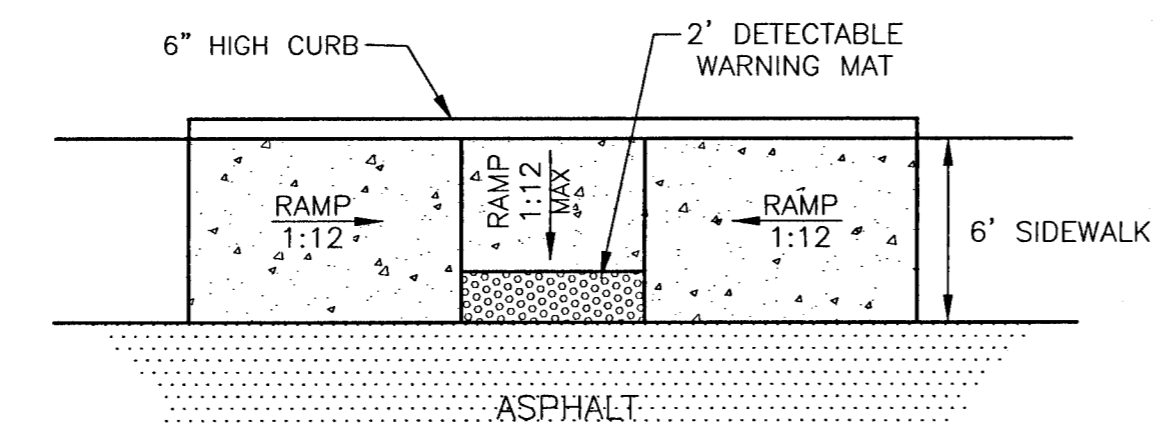
CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH BASE AND SUBGRADE COMPACTION TESTING RESULTS PRIOR TO CONSTRUCTING ANY ASPHALT SURFACE. CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH ASPHALT CORE TESTING RESULTS PRIOR TO FINAL "AS-BUILT" APPROVAL AND SUBMITTAL TO A.H.J. CONTRACTOR TO COORDINATE WITH E.O.R. TO DETERMINE TEST LOCATIONS.



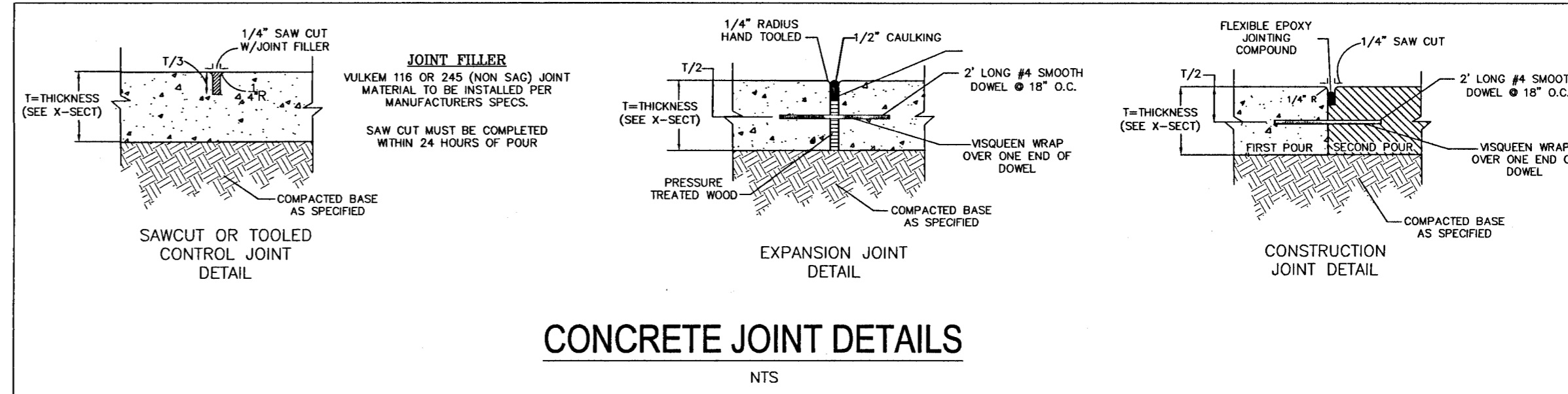
HEAVY DUTY ON-SITE ASPHALT SECTION
NTS



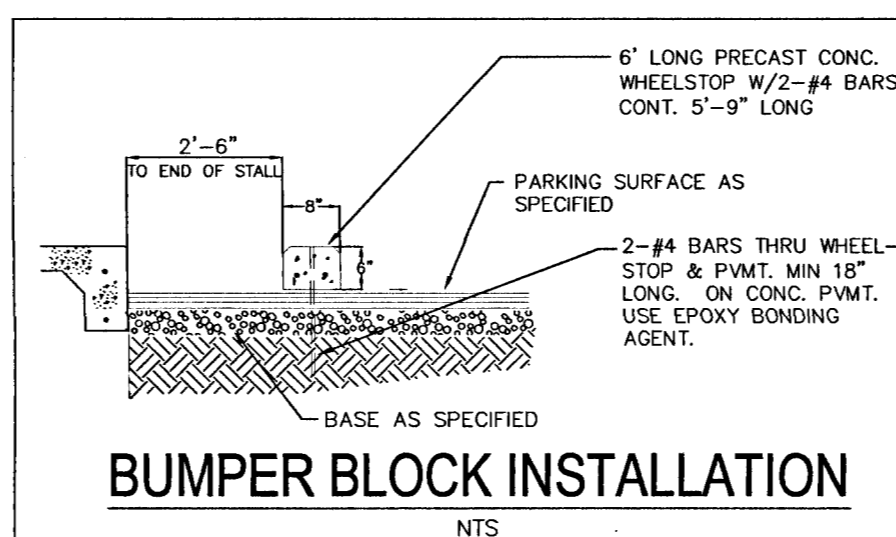
HANDICAP RAMP TYPE CR-C
NTS



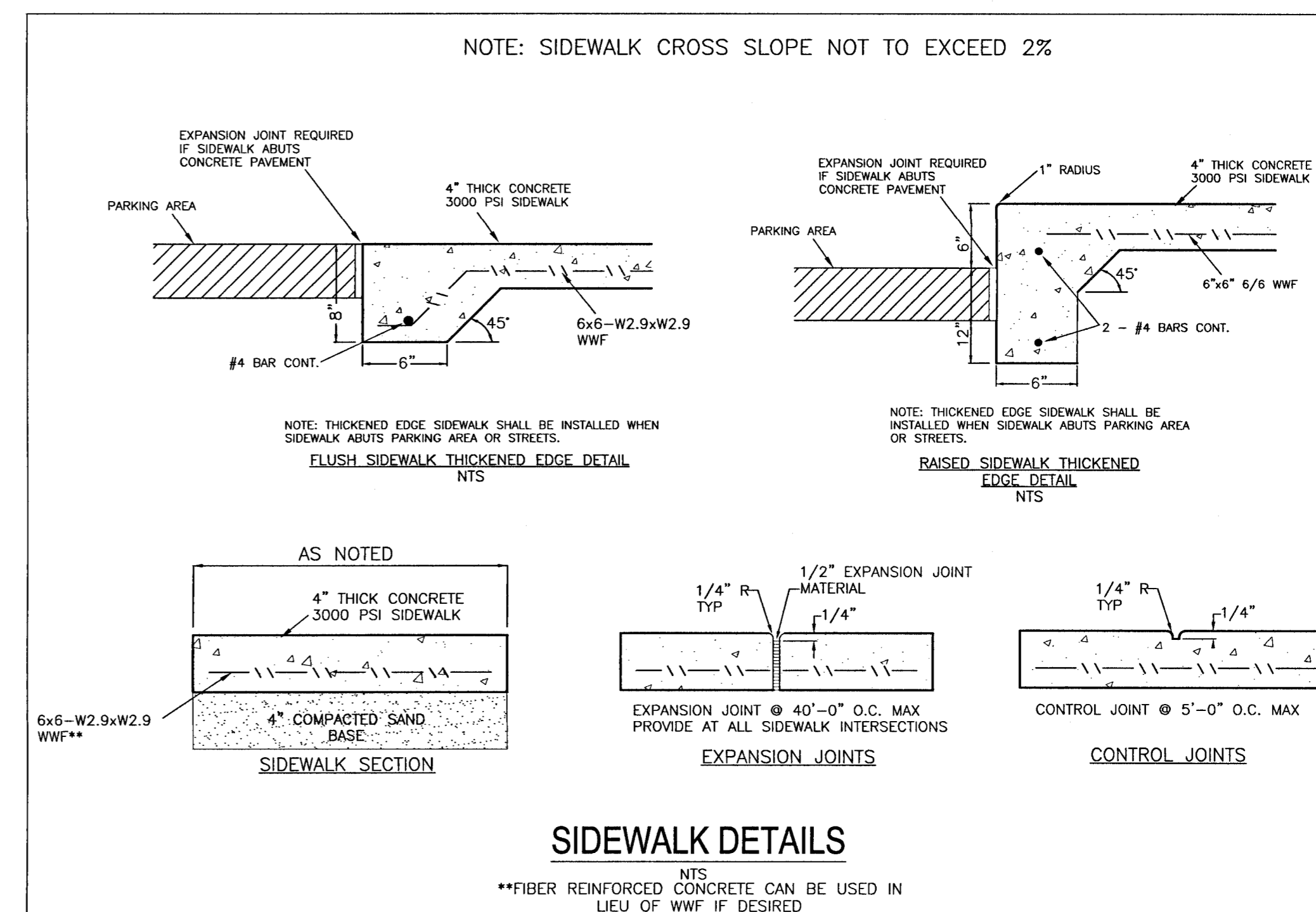
FDOT "DO NOT ENTER SIGN"



CONCRETE JOINT DETAILS
NTS

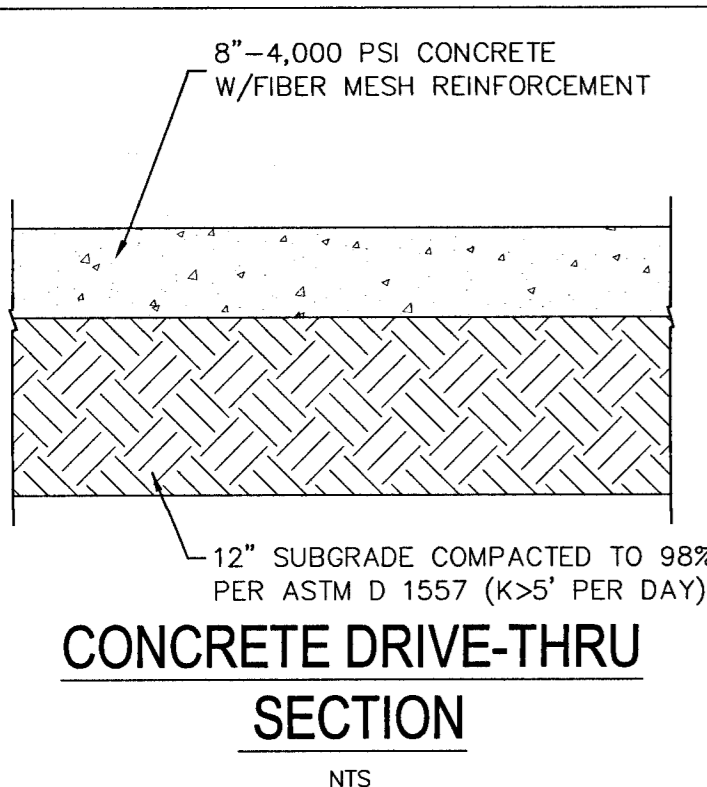


BUMPER BLOCK INSTALLATION
NTS



SIDEWALK DETAILS
NTS

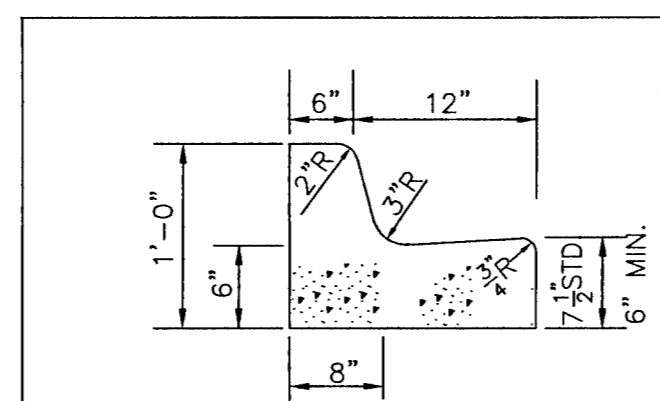
**FIBER REINFORCED CONCRETE CAN BE USED IN LIEU OF WWF IF DESIRED



CONCRETE DRIVE-THRU SECTION
NTS

NOTES:

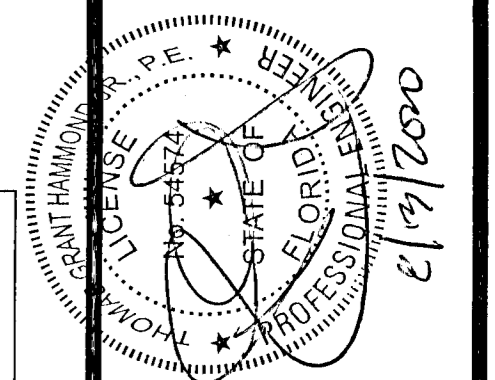
1. SAWED OR SCORED CONTROL JOINTS SHALL BE SPACED AT 5 FT MAXIMUM FOR SIDEWALKS AND 12 FT FOR DRIVES.
2. CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 40 FT CENTERS ON SIDEWALKS AND 30' CENTERS ON DRIVES.
3. THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISC. DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 116 OR 245 (NON SAG), OR APPROVED EQUAL, POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY.
4. ALL CONCRETE SHALL BE TYPE 1 AND MEET THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED ON DETAILS OR PLANS.
5. MATERIAL, DESIGN AND TEST SUBMITTALS SHALL BE PER THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION.



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

CURB & GUTTER DETAIL
NTS

HAMMOND ENGINEERING, INC.
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ALABAMA AUTHORIZATION NO. 3277
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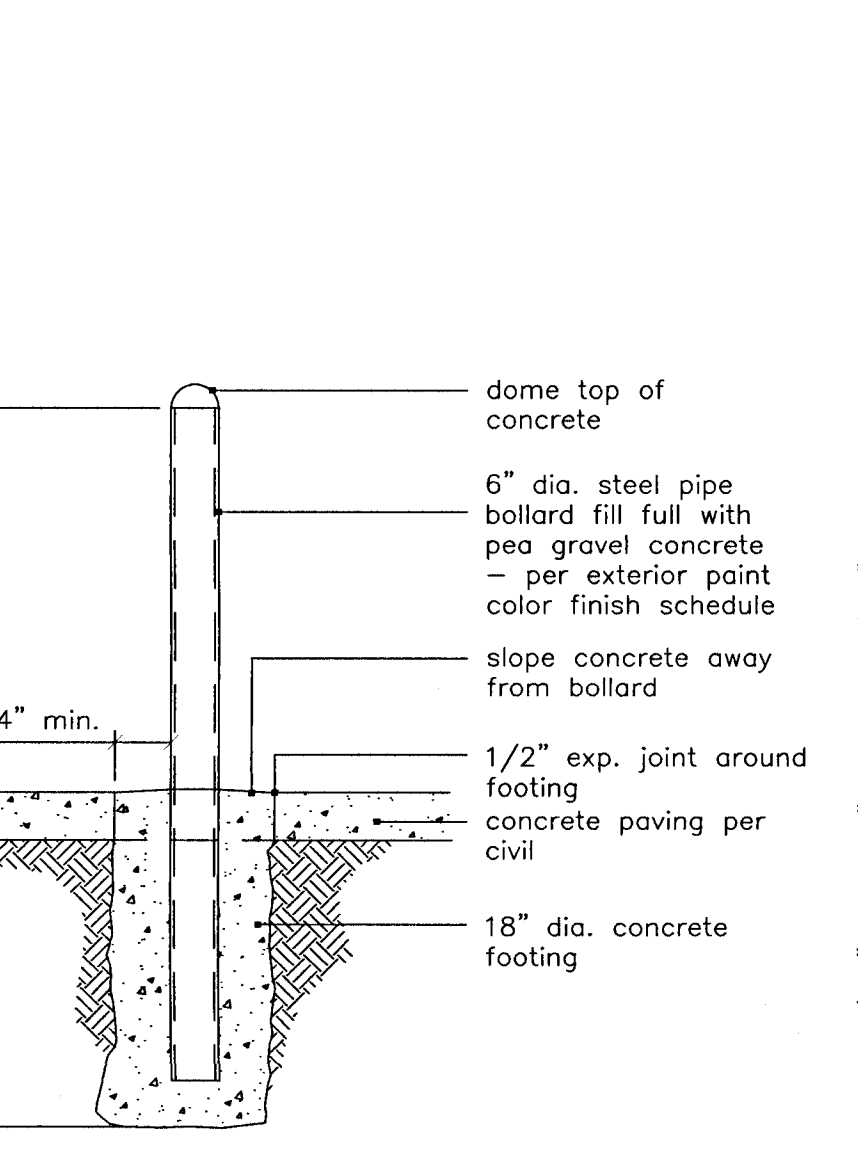
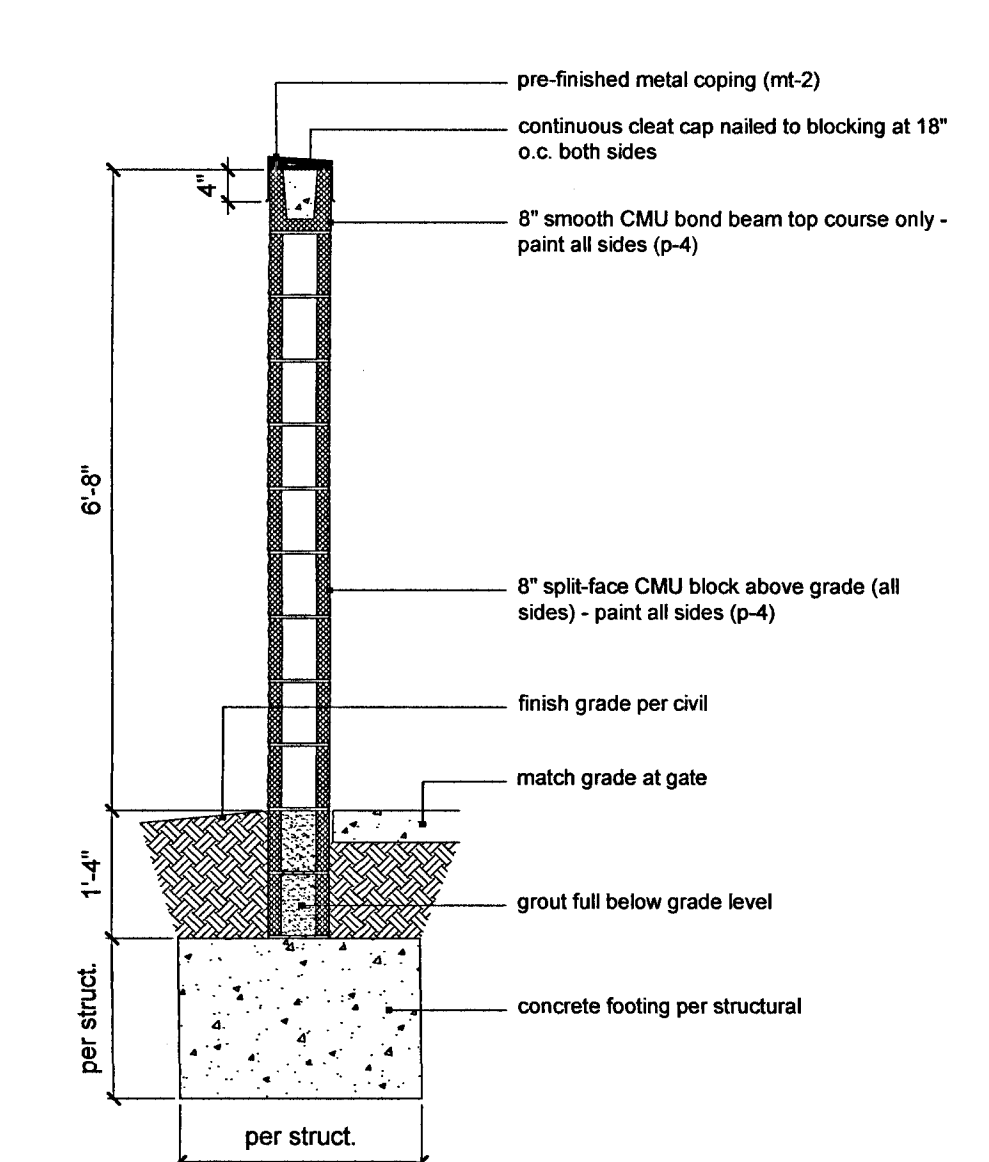
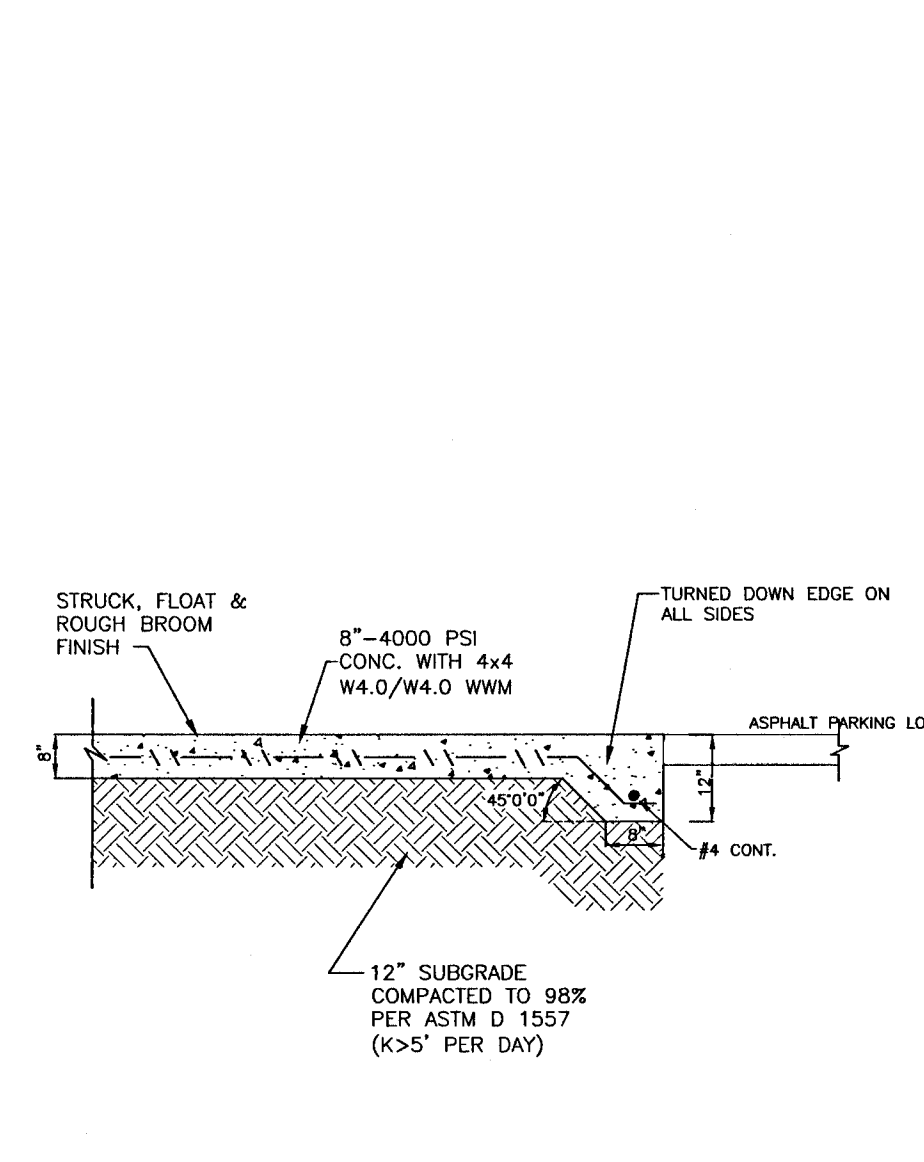
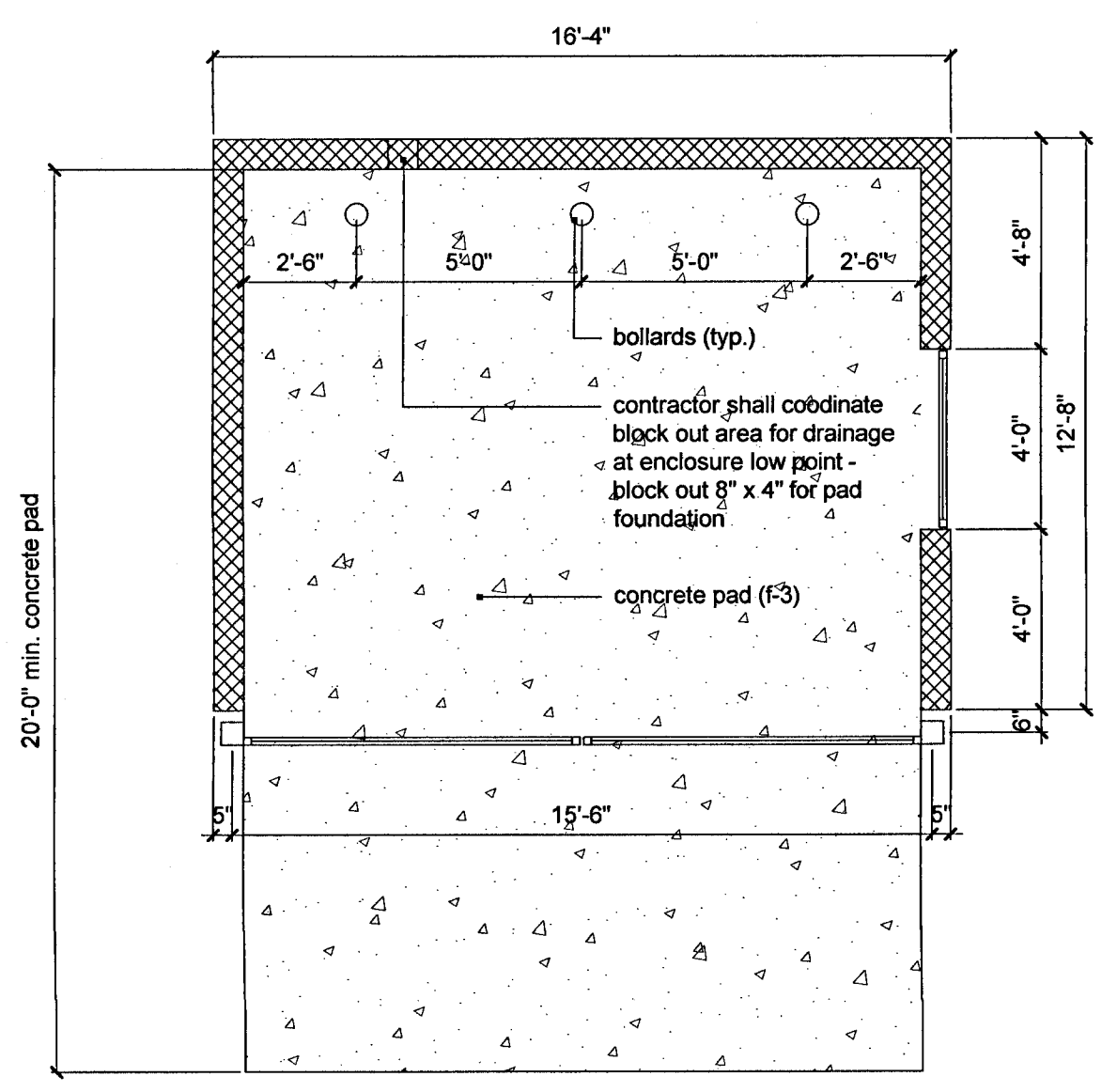
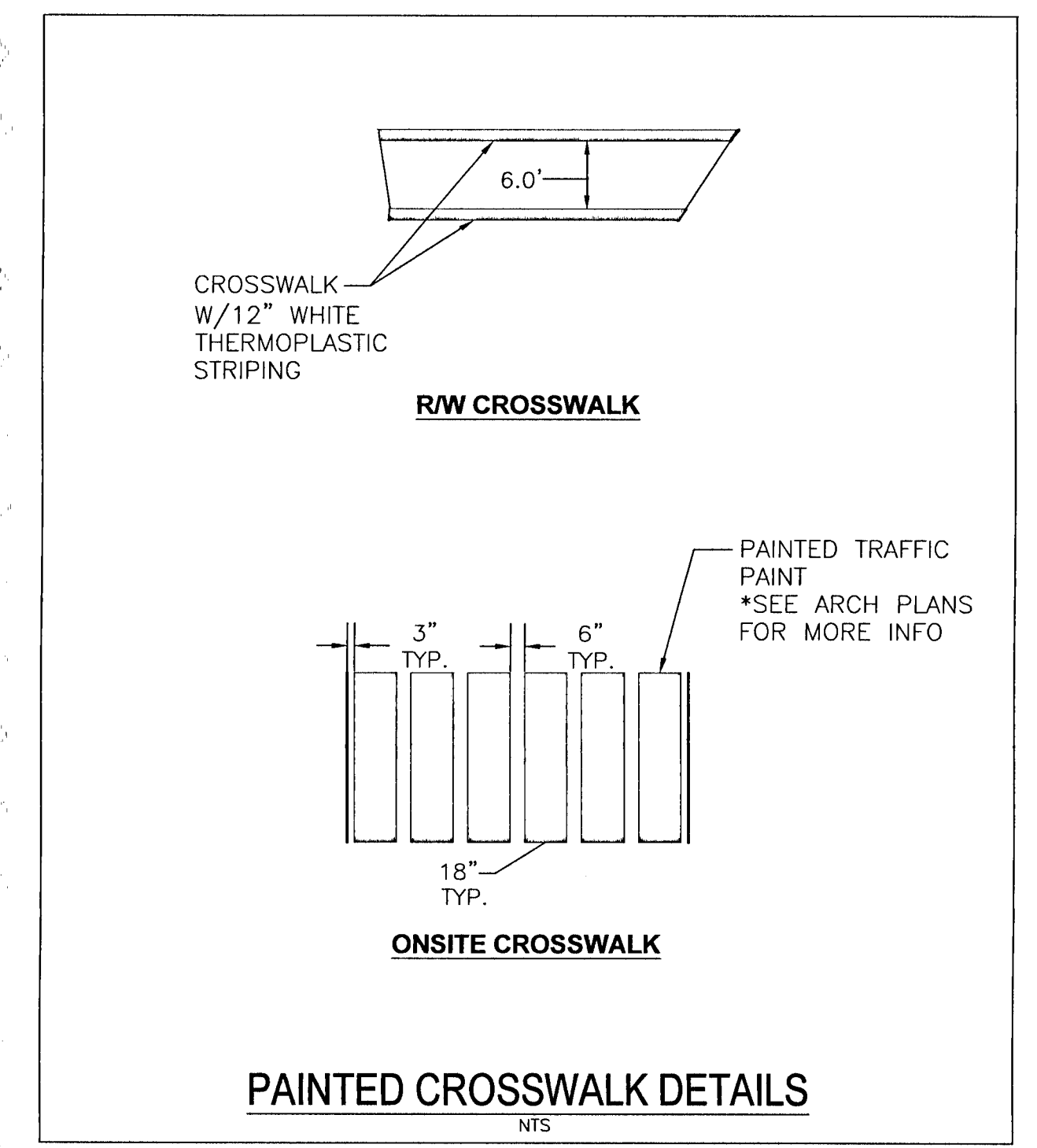
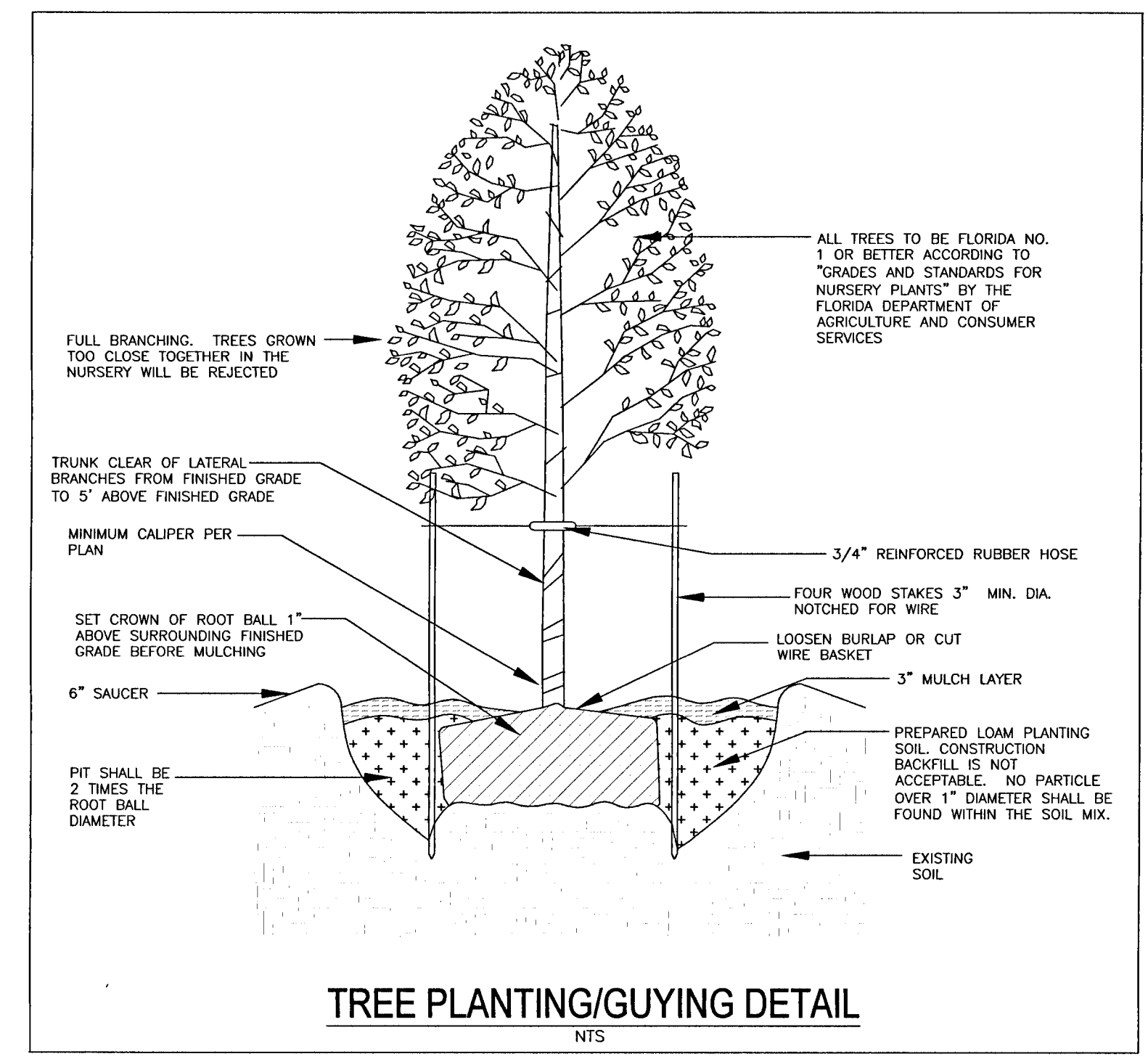
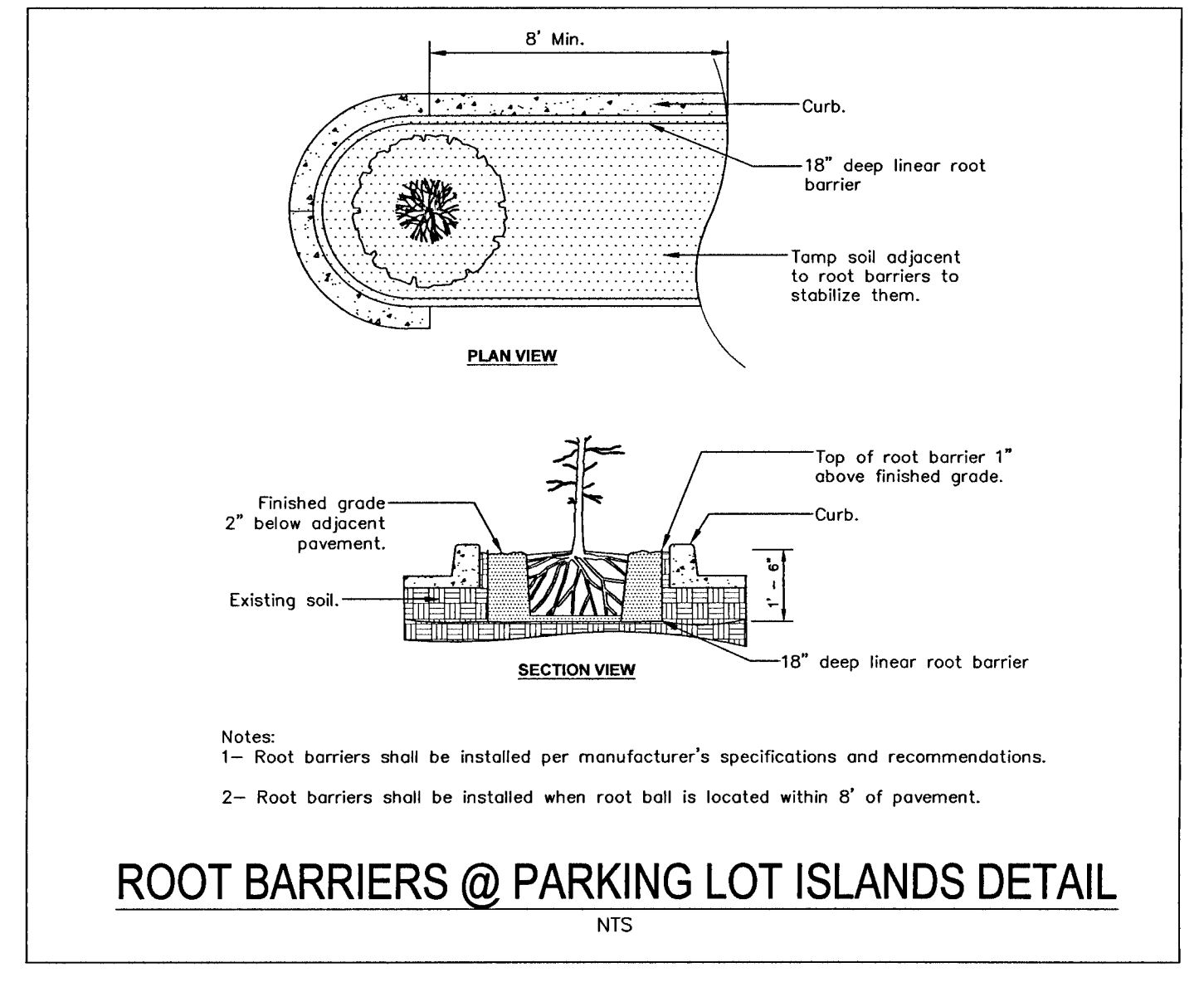


SITE DEVELOPMENT PLANS FOR SLIM CHICKENS CONSTRUCTION DETAILS

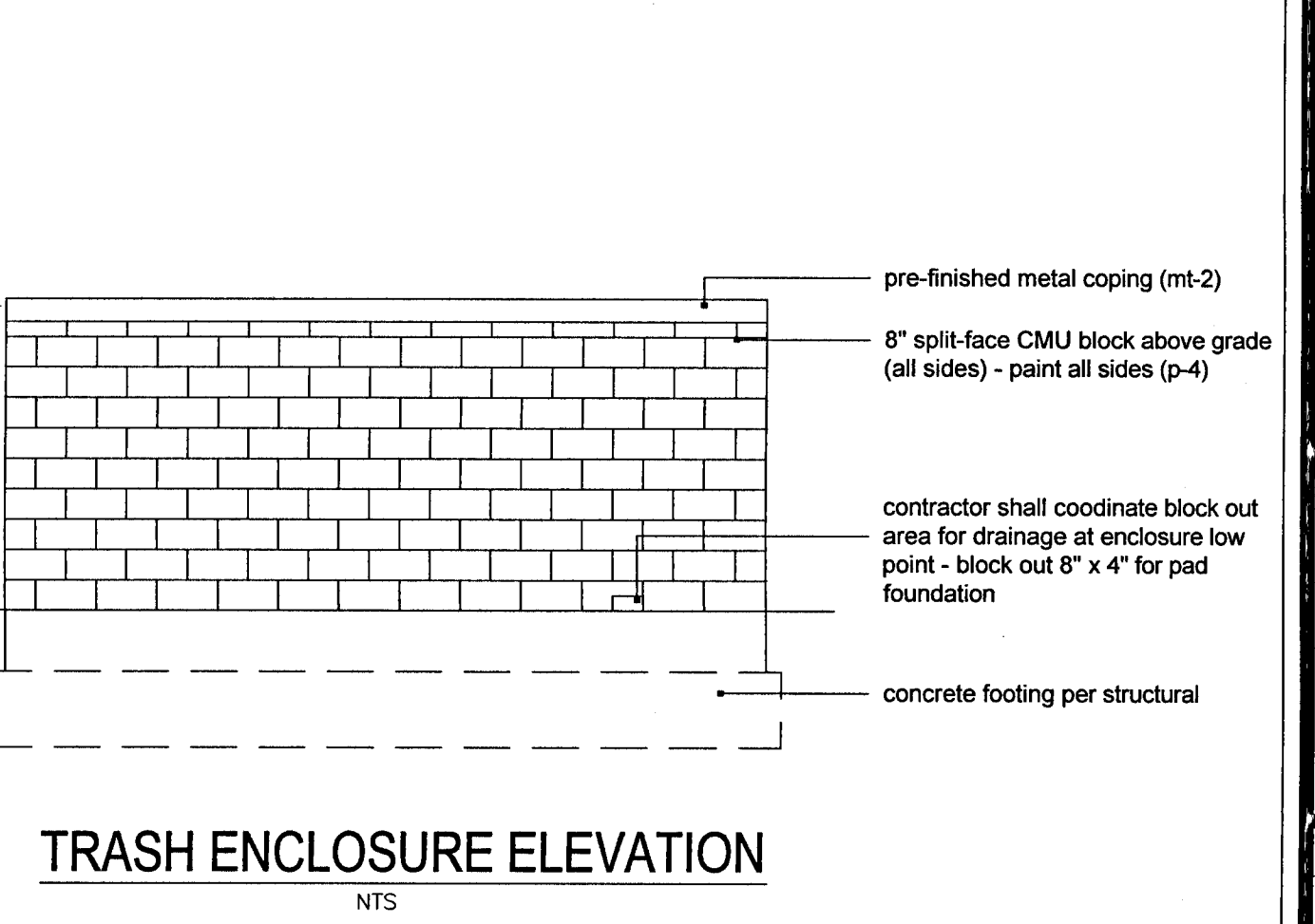
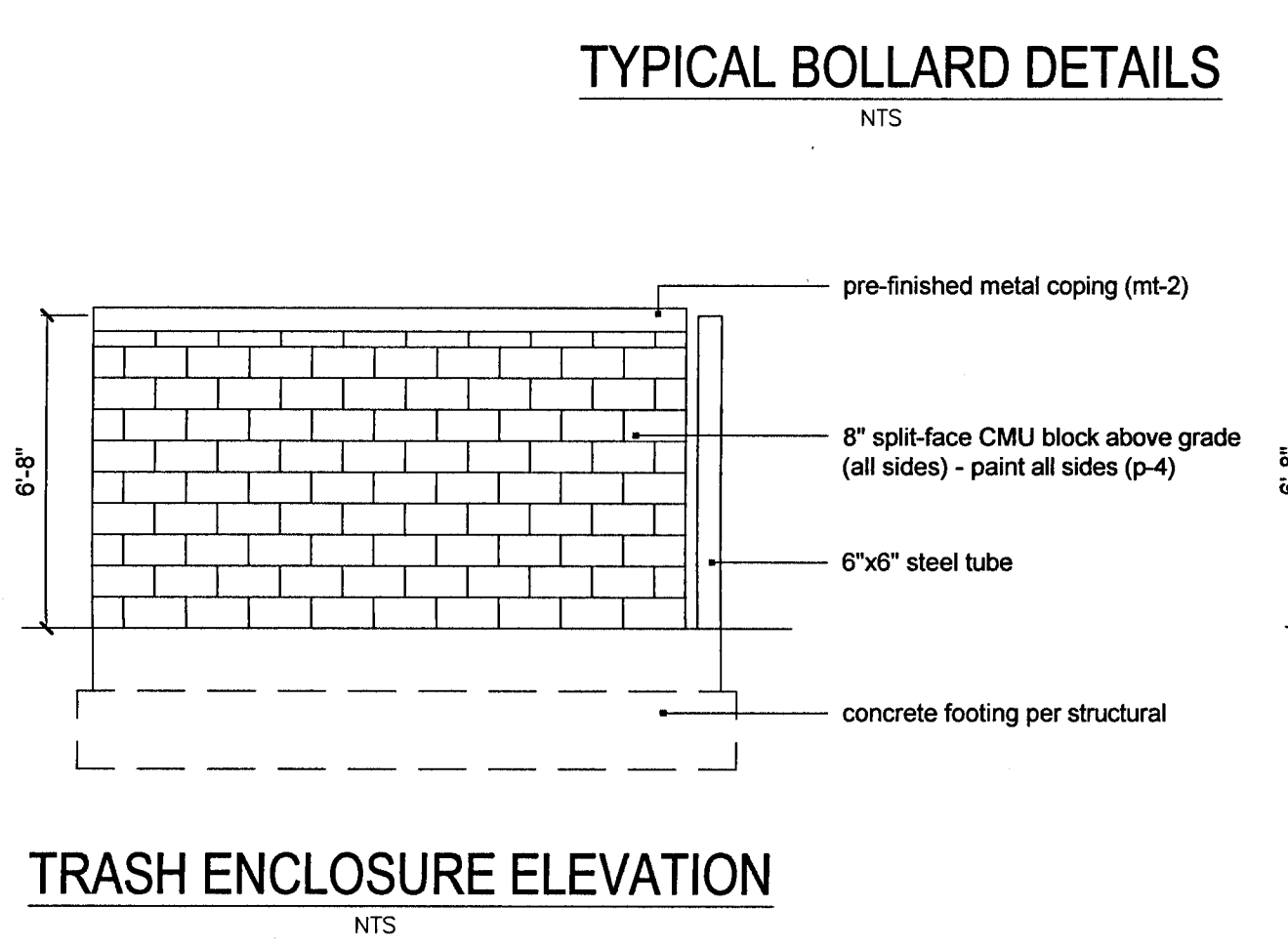
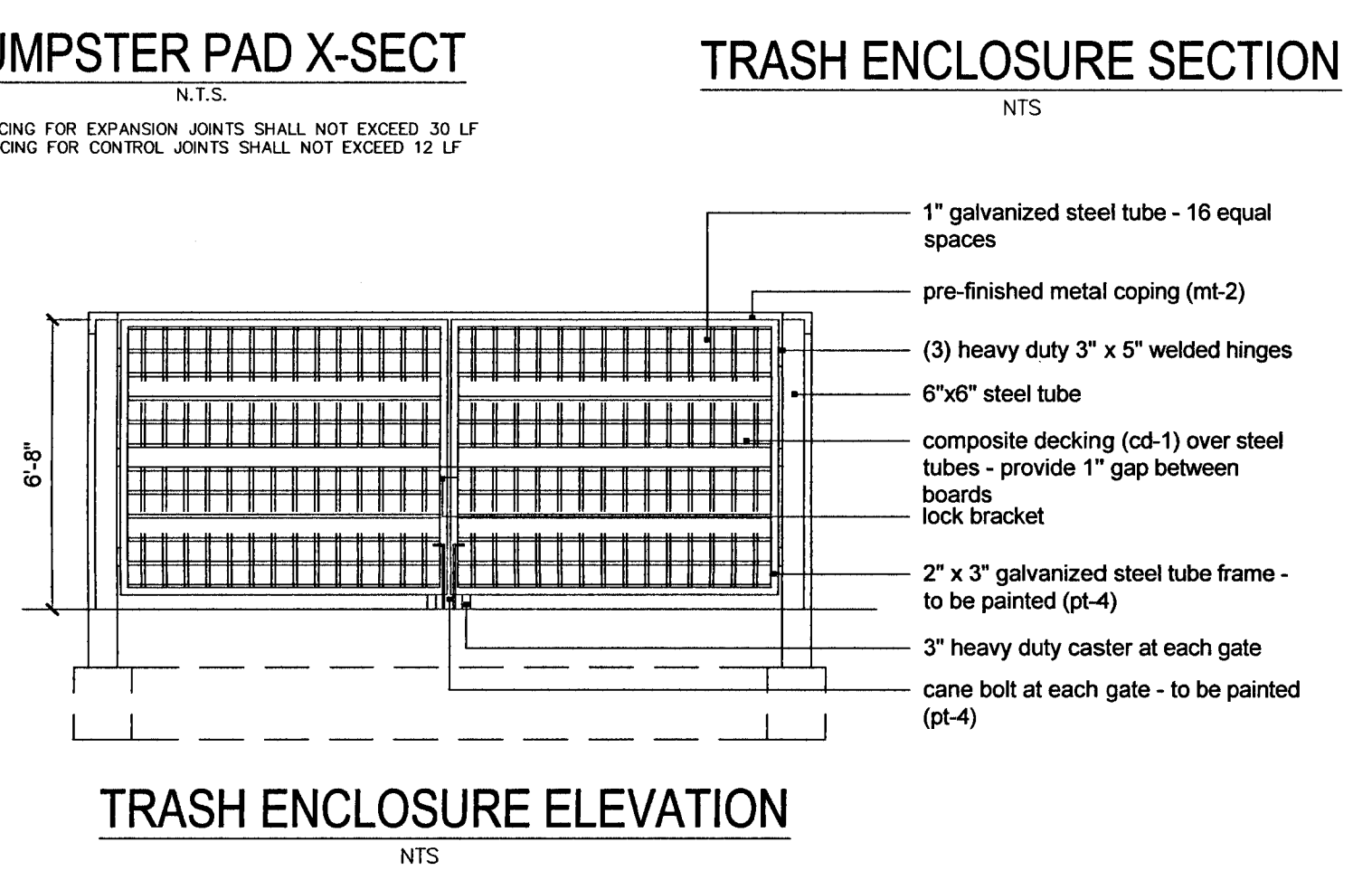
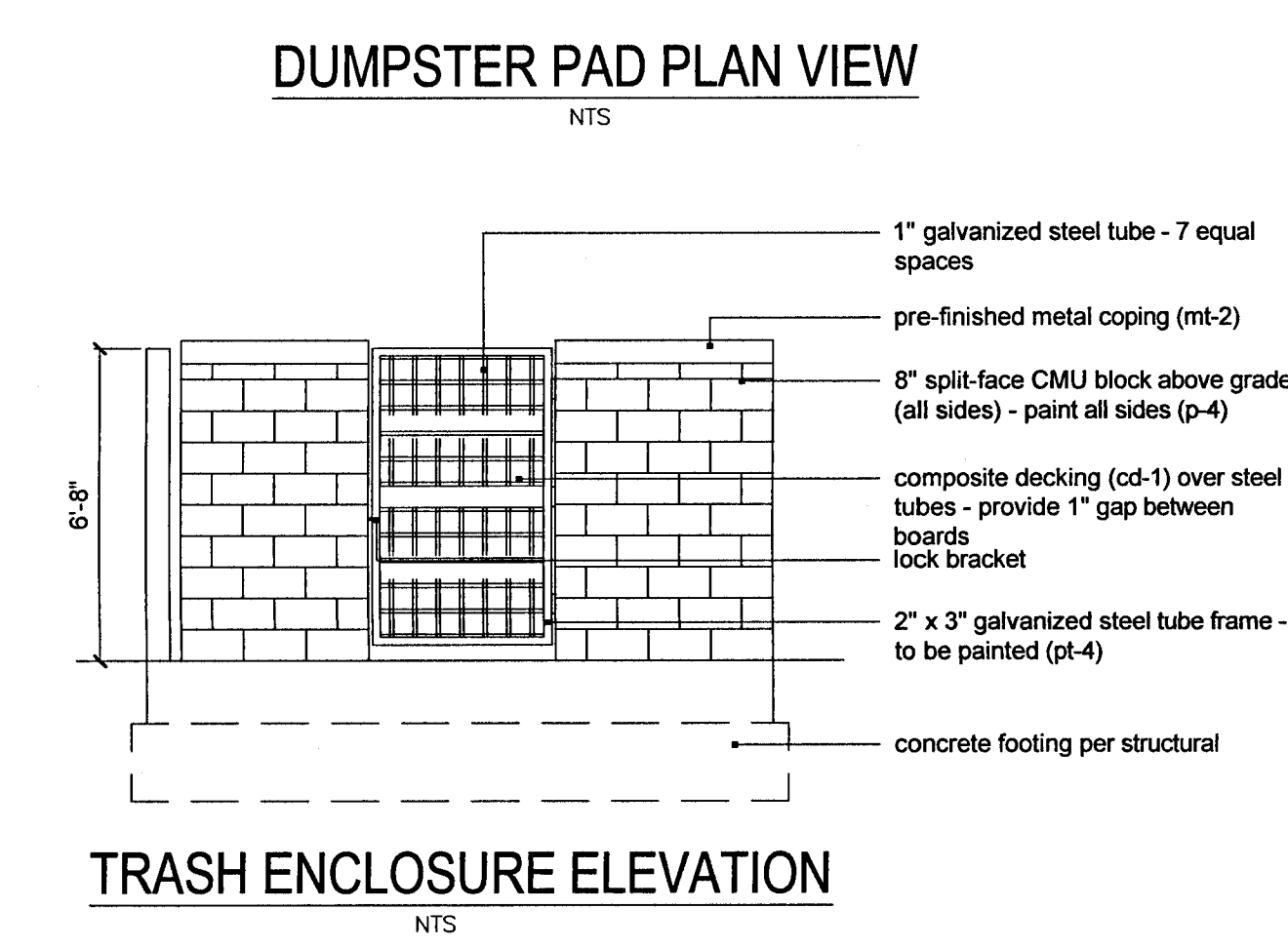
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DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 7-16-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia <i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
Aucuba japonica <i>Aucuba</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
Barberry <i>Berberis sp.</i>	American Holly <i>Nex opaca</i>	American Hombbeam <i>Carpinus caroliniana</i>
Japanese Boxwood <i>Buxus microphylla</i>	Dahoon Holly <i>Nex casstne</i>	Southern Red Cedar <i>Juniperus silticola</i>
Beauty Berry <i>Calliandra Americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressocyparis leylandii</i>
Japanese Plum-Yew <i>Cephalotaxus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
Silverhorn Elm <i>Elaeagnus pungens</i>	Saucer Magnolia <i>Magnolia z soulangiana</i>	Pignut Hickory <i>Carya glabra</i>
Fatsia <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
Gardenia <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
Burford Holly <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
Japanese Privet <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus calleryana</i>	Tulip Poplar <i>Liriodendron tulipifer</i>
Southern Wax Myrtle <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
Firethorn <i>Pyracantha coccin</i>	Lequat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
Dwarf Japanese Holly <i>Nex orenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Slash Pine <i>Pinus elliotii</i>
Chinese Holly <i>Nex cornuta</i>	Fringe Tree <i>Chionanthus virginicus</i>	Longleaf Pine <i>Pinus palustris</i>
Dwarf Yaupon Holly <i>Nex vomitoria 'Nana'</i>	Hawthorn <i>Crataegus spp.</i>	Sycamore <i>Plantanus occidentalis</i>
Chinese Juniper <i>Juniperus chinensis</i>	Silverbell <i>Halesia caroliniana</i>	White Oak <i>Quercus alba</i>
Indian Hawthorn <i>Raphiolepis sp.</i>		Live Oak <i>Quercus virginiana</i>
Red-Tip Photinia <i>Photinia</i>		Shumard Oak <i>Quercus shumardii</i>
Rhododendron/Azalea <i>Rhododendron sp.</i>		Southern Red Oak <i>Quercus fulcata</i>



NOTE: DUMPSTER SCREENING DETAILS FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO CONSTRUCT DUMPSTER ENCLOSURE AS PER ARCHITECTURAL PLANS



REVISIONS

NO.	DATE	DESCRIPTION
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	REVISED UTILITY PLAN TO ADD SUB-METERS @ POTABLE AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

NO. 20-030

DATE: 08/05/20

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

BY: _____

DATE: _____

PROJECT NO: 20-030

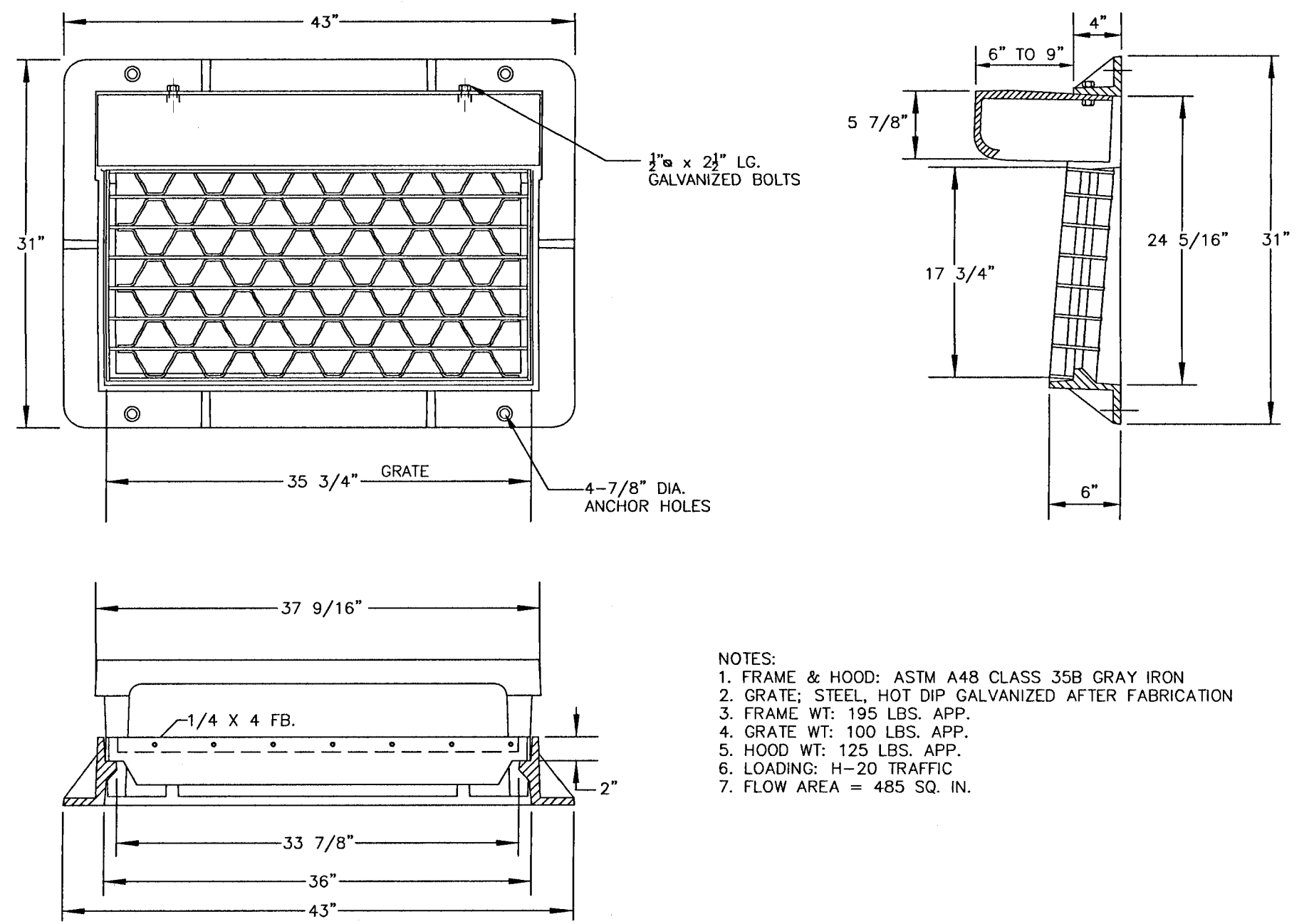
SHEET: C10

HAMMOND ENGINEERING, INC.
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SITE DEVELOPMENT PLANS FOR SLIM CHICKENS CONSTRUCTION DETAILS

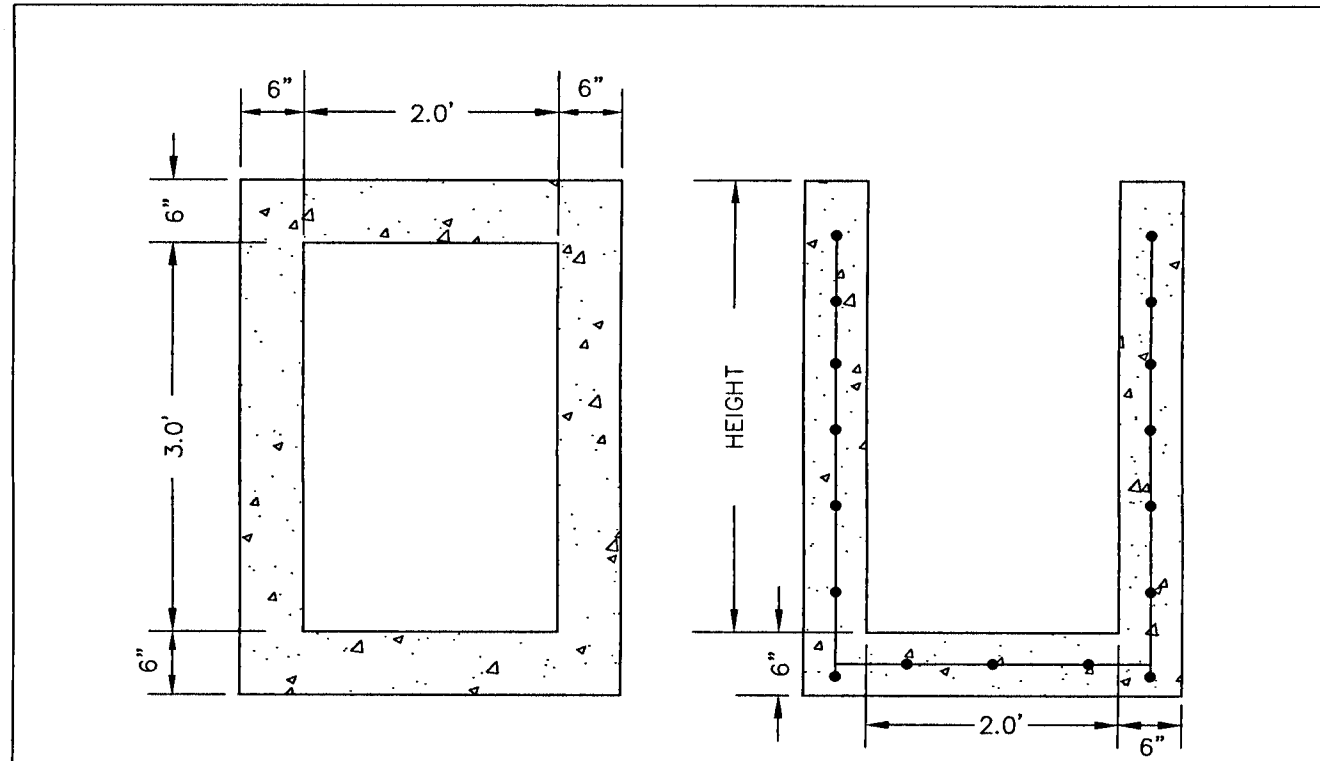
ESCAMBIA COUNTY FLORIDA

PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 95874
TOM SELAND



- NOTES:
1. FRAME & HOOD: ASTM A48 CLASS 35B GRAY IRON
 2. GRATE: STEEL, HOT DIP GALVANIZED AFTER FABRICATION
 3. FRAME WT: 195 LBS. APP.
 4. GRATE WT: 100 LBS. APP.
 5. HOOD WT: 125 LBS. APP.
 6. LOADING: H-20 TRAFFIC
 7. FLOW AREA = 485 SQ. IN.

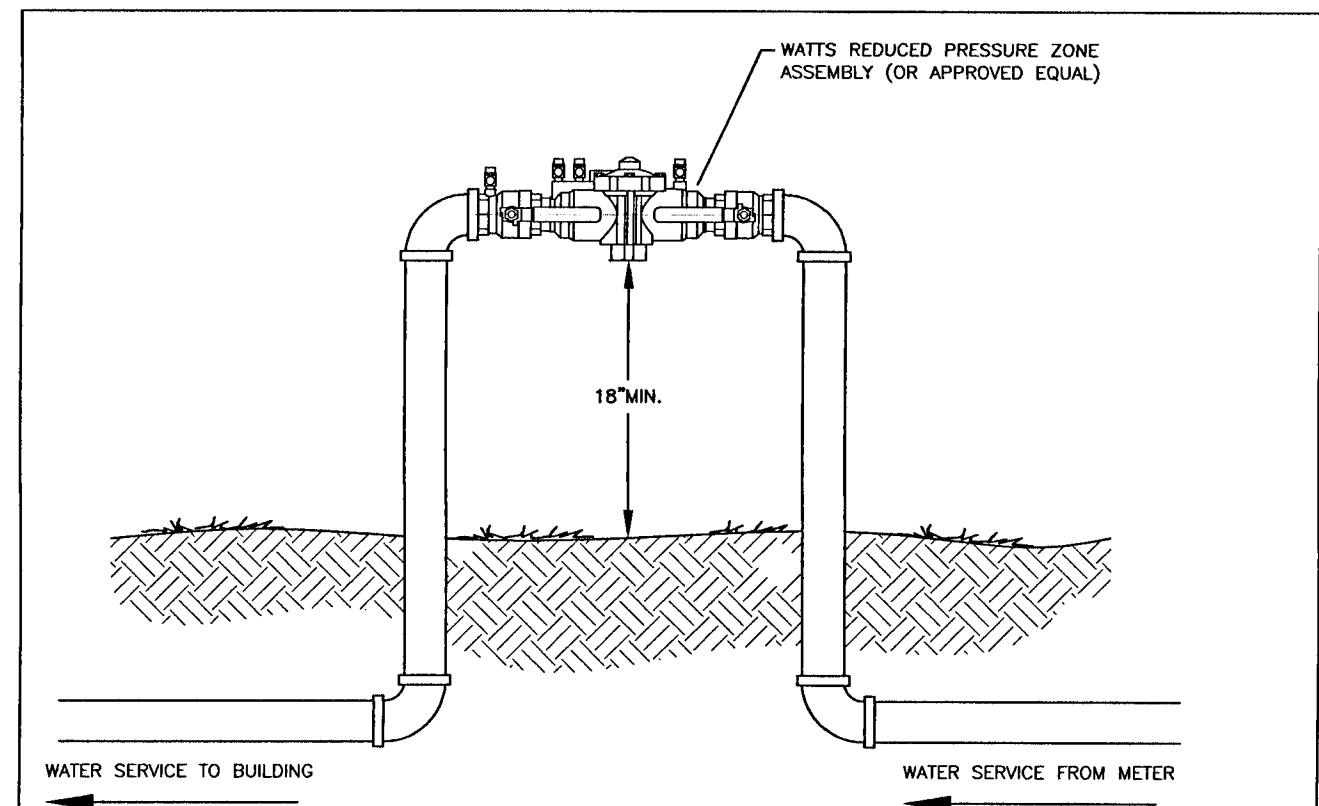
CURB INLET FRAME/GRATE DETAIL
NTS



MATERIALS:
CONCRETE: 4000 PSI, TYPE II CEMENT
WALL REINFORCING: 3x4 W5/W6.7 WMF 65 K.S.I. (AS PER ALDOT)
BOTTOM SLAB REINFORCING: #4 @ 12" O.C.E.W. *

NOTE:
ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.
* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

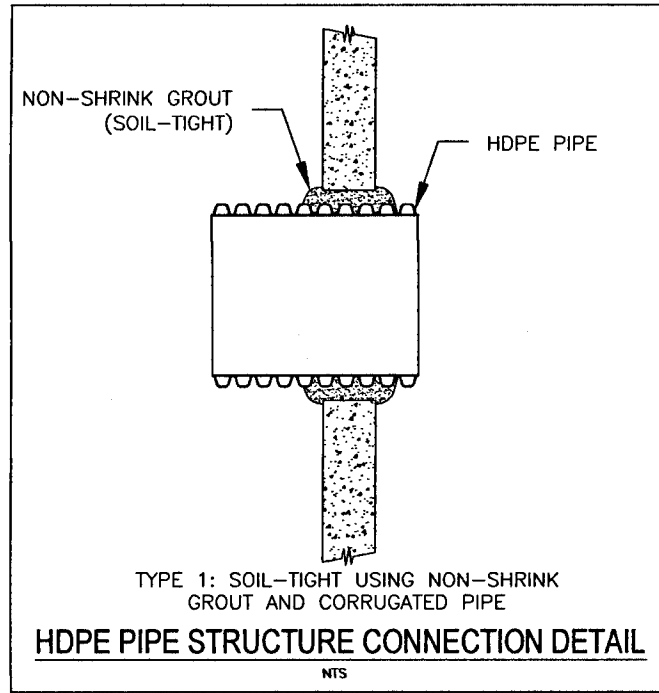
CURB INLET CUSTOM BOX
NTS



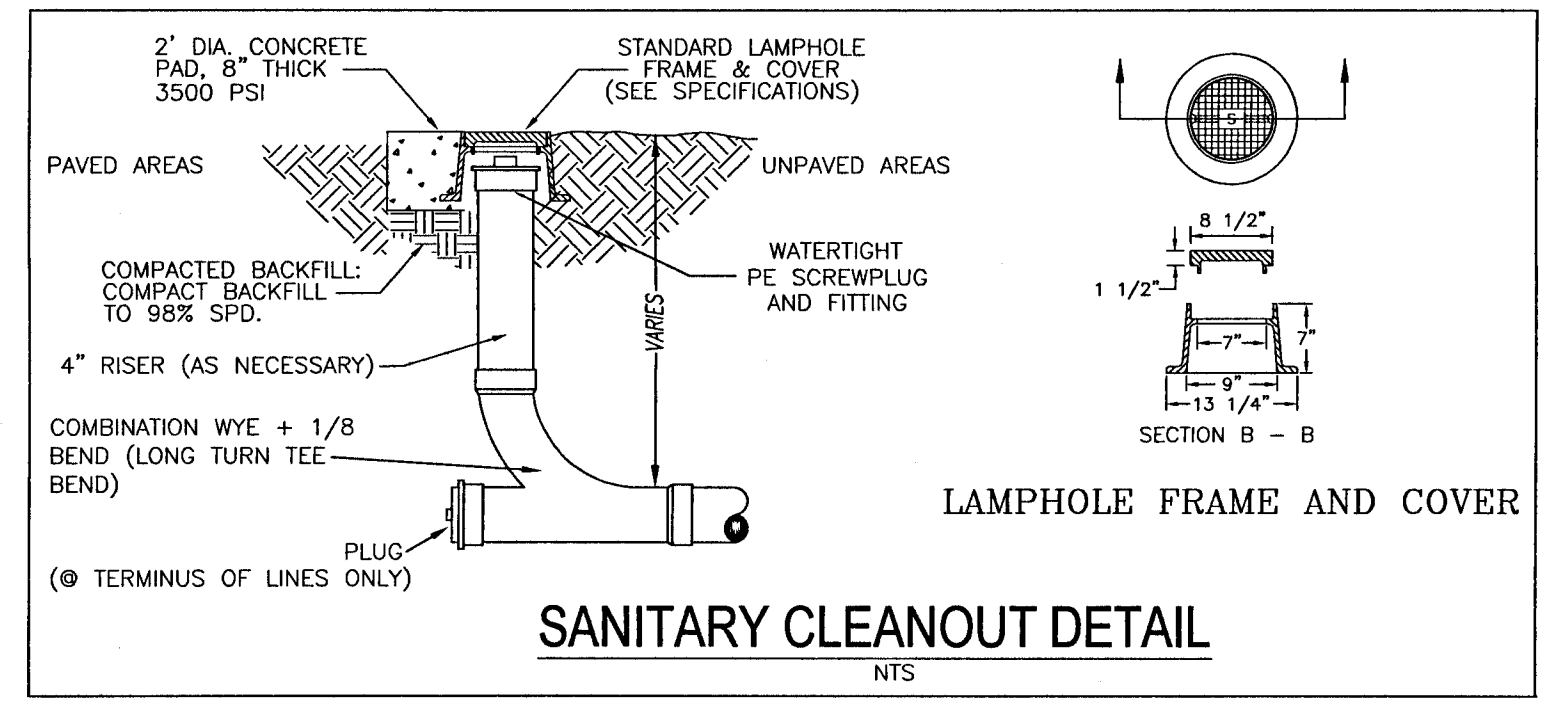
REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE

- NOTES:
1. WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
 - A. INSULATING COVERINGS
 - B. FROSTPROOF CASINGS
 - C. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)
 2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
 3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
 4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
 5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.

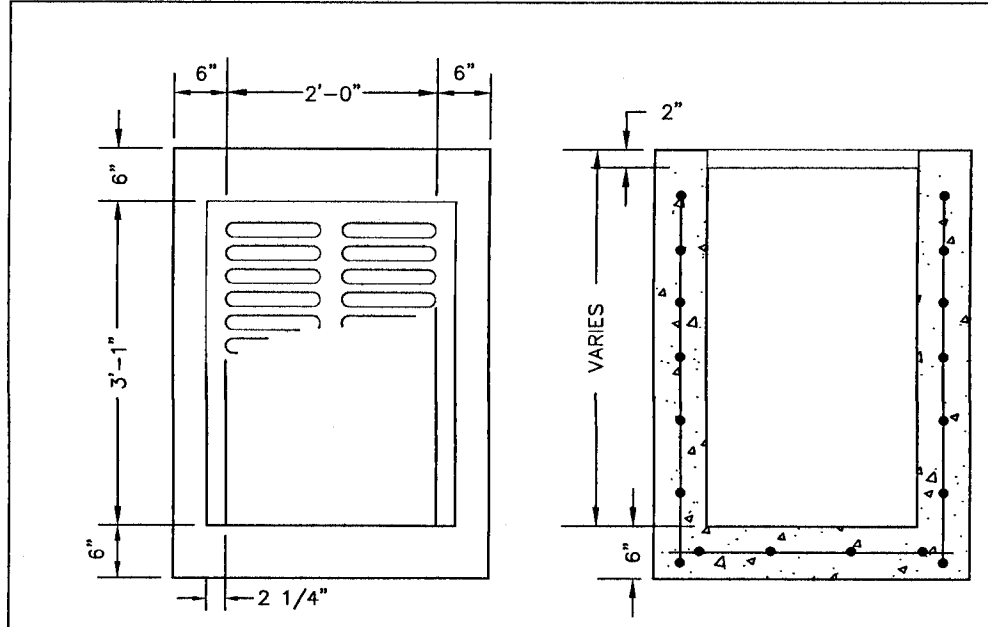
NOTE: ALL UTILITY DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



HDPE PIPE STRUCTURE CONNECTION DETAIL
NTS



SANITARY CLEANOUT DETAIL
NTS



MATERIALS:
CONCRETE: 4000 PSI, TYPE II CEMENT
WALL REINFORCING: 3x4 W3.1/W4.1 WMF 65 K.S.I. (AS PER FDOT-INDEX 201)
BOTTOM SLAB REINFORCING: #4 @ 12" C.C.E.W. *

NOTE:
ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.
* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

GRATE INFORMATION:

U.S.F. NO.	TYPE	RATING	FLOW AREA (SQ. IN.)
6212	CAST IRON	TRAFFIC	455

GRATE NOT SHOWN FOR CLARITY.

FDOT TYPE 'C' DITCH BOTTOM INLET
NTS

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	10 FT. PREFERRED 6 FT. MINIMUM (2)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT. MINIMUM

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

- NOTES:
- A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
 - B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY

WATER SEWER/SEPARATION

TYPICAL TRENCH CROSS-SECTION (N.T.S.)

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIA.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIA.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12"-48"	12"	48"
54"-60"	24"	60"

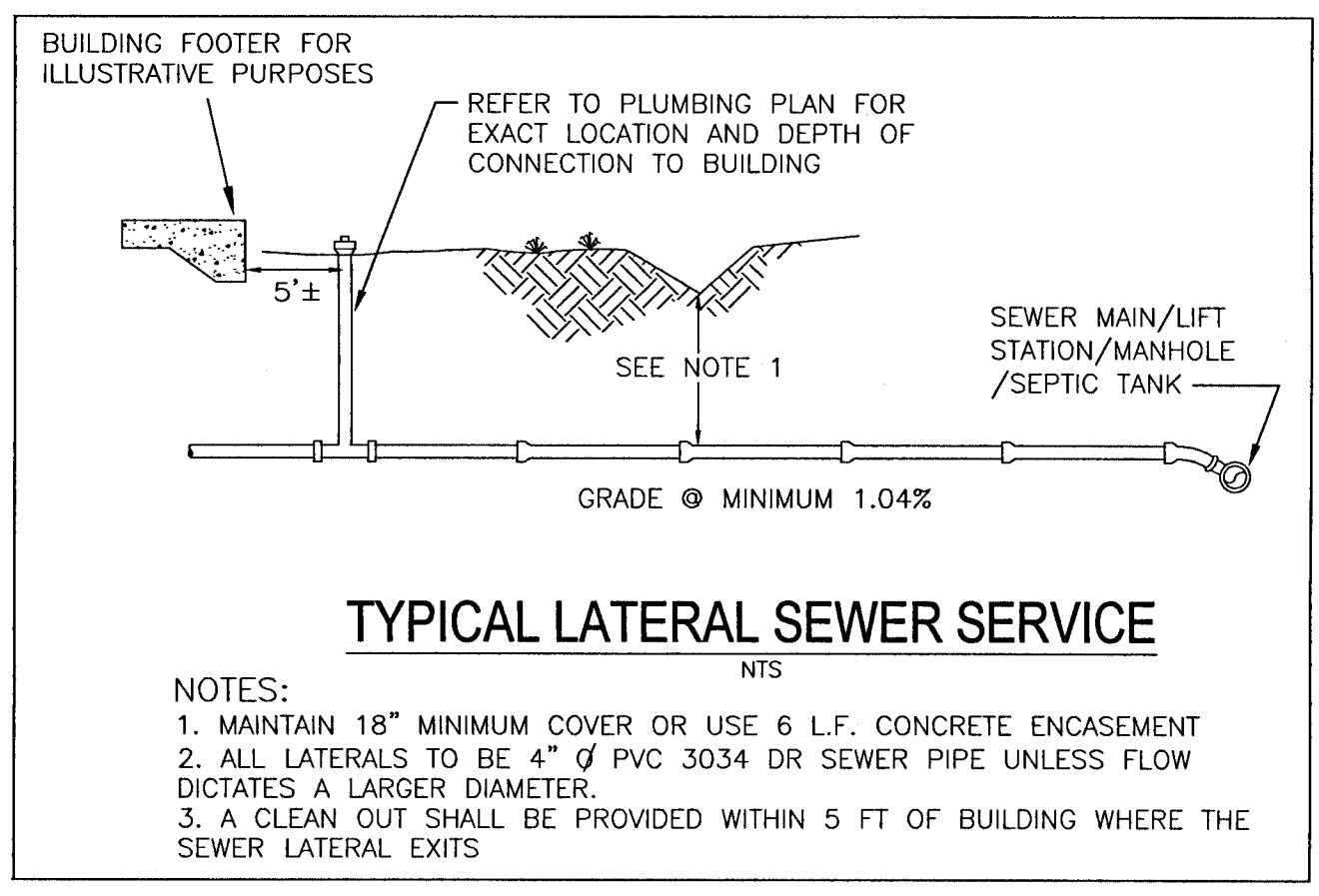
* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIA.	COOPER E-80**
UP TO 24"	24"
30"-36"	36"
42"-60"	48"

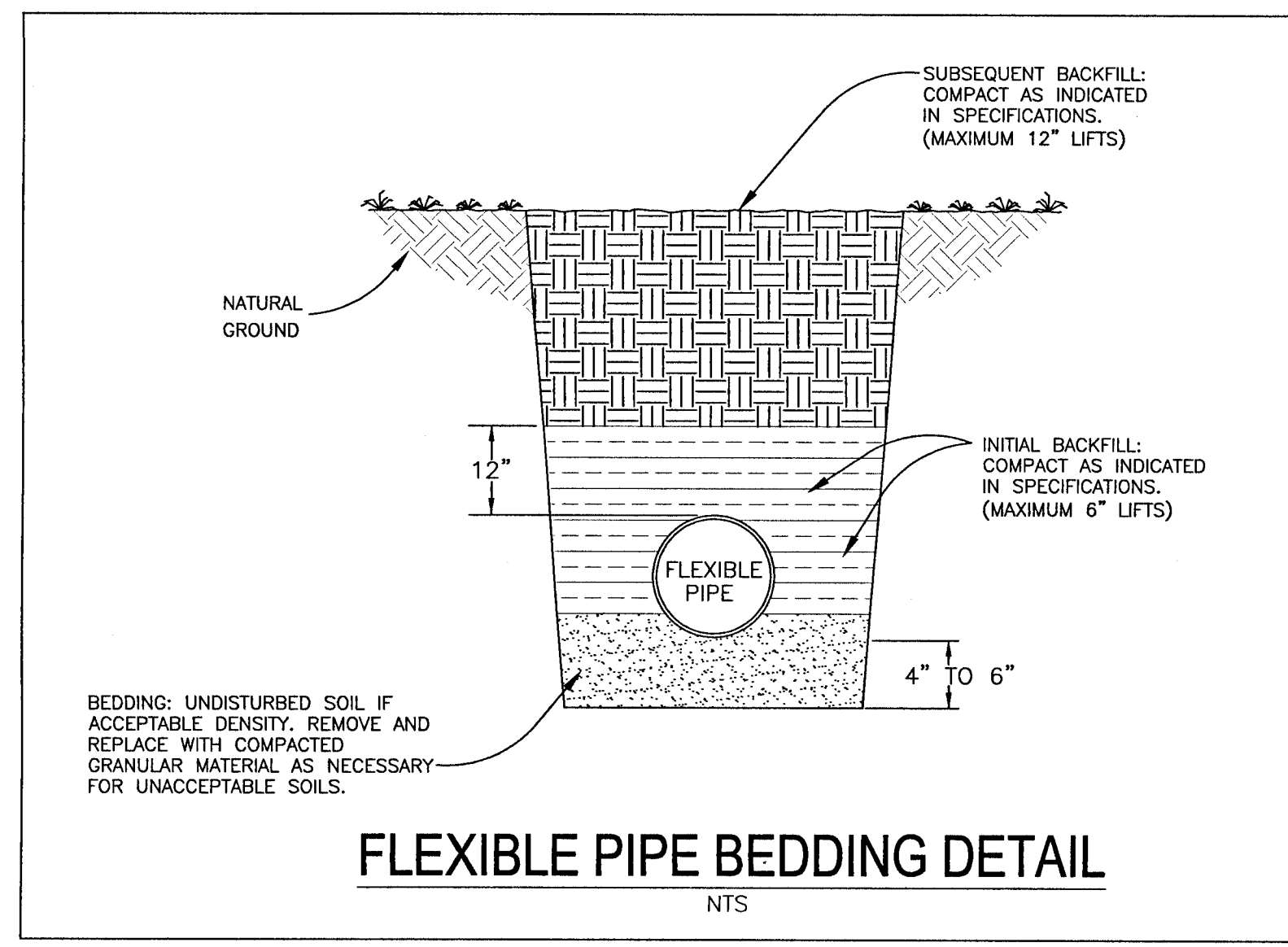
** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.
*** E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL
NTS



TYPICAL LATERAL SEWER SERVICE
NTS

- NOTES:
1. MAINTAIN 18" MINIMUM COVER OR USE 6 L.F. CONCRETE ENCASUREMENT
 2. ALL LATERALS TO BE 4" Ø PVC 3034 DR SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
 3. A CLEAN OUT SHALL BE PROVIDED WITHIN 5 FT OF BUILDING WHERE THE SEWER LATERAL EXITS

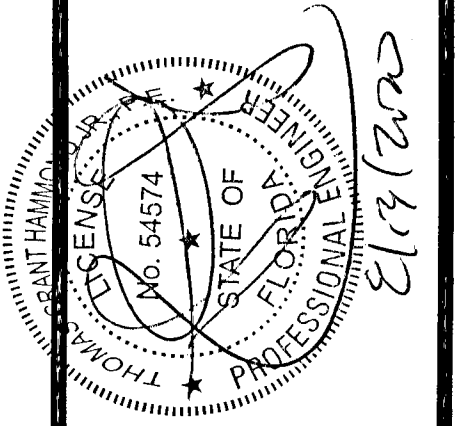


FLEXIBLE PIPE BEDDING DETAIL
NTS

REVISIONS

NO.	DATE	REVISIONS
1	08/05/20	REVISED PLANS AS PER ARCHITECT MARKUPS
2	08/05/20	REVISED UTILITY PLAN TO ADD SUB-METERS @ FORBIL AND IRRIGATION LINES
3	08/05/20	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

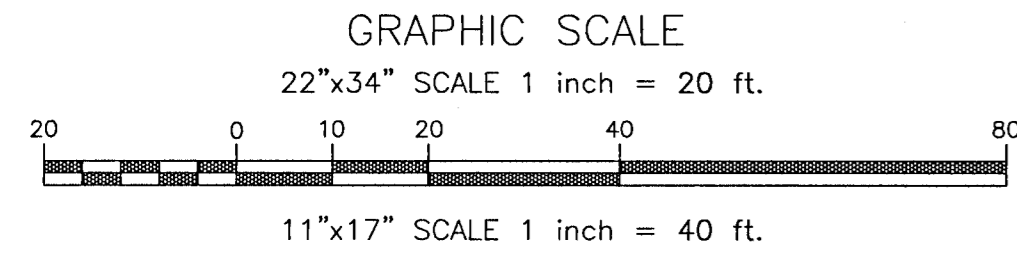
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
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FAX 850-434-2650
TOM@BELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR SLIM CHICKENS DRAINAGE & UTILITY DETAILS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: EUG	DATE:
DESIGNED BY: RLB	
CHECKED BY: TGH	
DATE: 7-16-20	
SCALE: AS SHOWN	
NOT RELEASED FOR CONSTRUCTION	

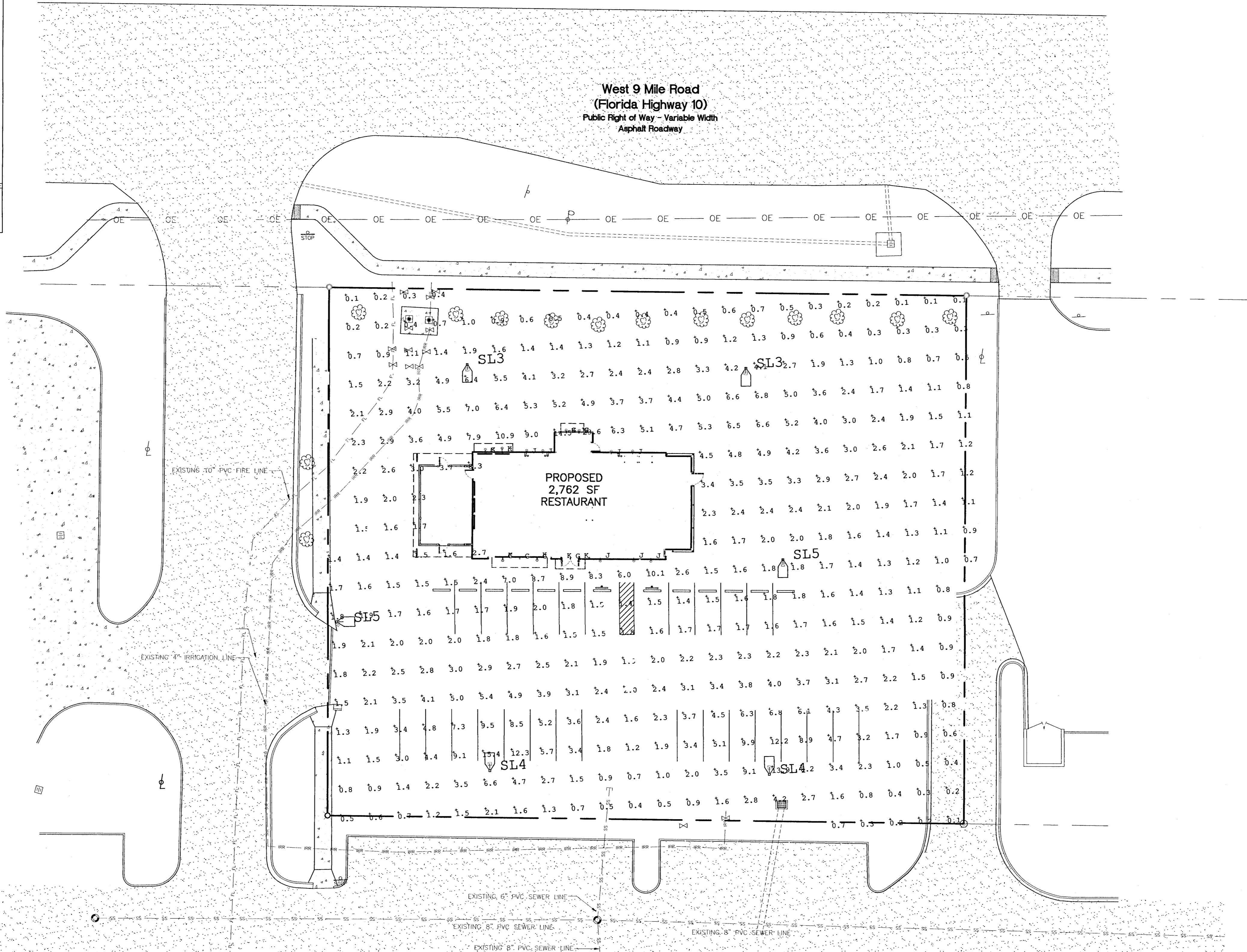
PROJECT NO: 20-030
SHEET: C11



LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED HEAVY DUTY ASPHALT
- DENOTES PROPOSED LIGHT DUTY ASPHALT
- DENOTES EXISTING STORM PIPE
- DENOTES EXISTING OVERHEAD UTILITIES
- DENOTES EXISTING SIGN
- DENOTES PROPOSED PRE-ORDER BOARD TO BE DESIGNED BY OTHERS
- DENOTES PROPOSED LIGHT POLE
- DENOTES EXISTING POWER POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING WATER VALVE
- DENOTES EXISTING WATER METER
- DENOTES EXISTING STORM INLET
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING TREES
- DENOTES PROPOSED ORDER BOARD TO BE DESIGNED BY OTHERS
- DENOTES PROPOSED CLEARANCE BAR TO BE DESIGNED BY OTHERS
- DENOTES PROPOSED DRIVE THRU SIGN TO BE DESIGNED BY OTHERS

Symbol	Qty	Label	Arrangement	Description
	2	SL5	SINGLE	GL2-19-5Q-740-STD-10-10-7-GY
	2	SL4	SINGLE	GL2-19-4S-740-STD-10-10-7-GY
	2	SL3	SINGLE	GL2-19-3M-740-STD-10-10-7-GY
	9	K	SINGLE	SIGN 1 FLOODLIGHT 10 IN DIA ALUMINUM REFLECTOR WHITE POLYESTER PO
	7	J	SINGLE	SIGN 1 FLOODLIGHT 10 IN DIA ASYMMETRICAL ALUMINUM REFLECTOR WHITE POLYESTER PO
	8	G	SINGLE	LVL20UG



NO.	DATE	REVISIONS
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 ALABAMA AUTHORIZATION NO. 3277
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 TOM@BELANDESIGN.COM

**SITE DEVELOPMENT
 PLANS FOR
 SLIM CHICKENS
 LIGHTING PHOTOMETRIC
 PLAN**

ESCAMBA COUNTY FLORIDA

DRAWN BY: GJB
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 7-16-20
 SCALE: AS SHOWN
 NOT RELEASED FOR
 CONSTRUCTION
 BY: DATE:

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