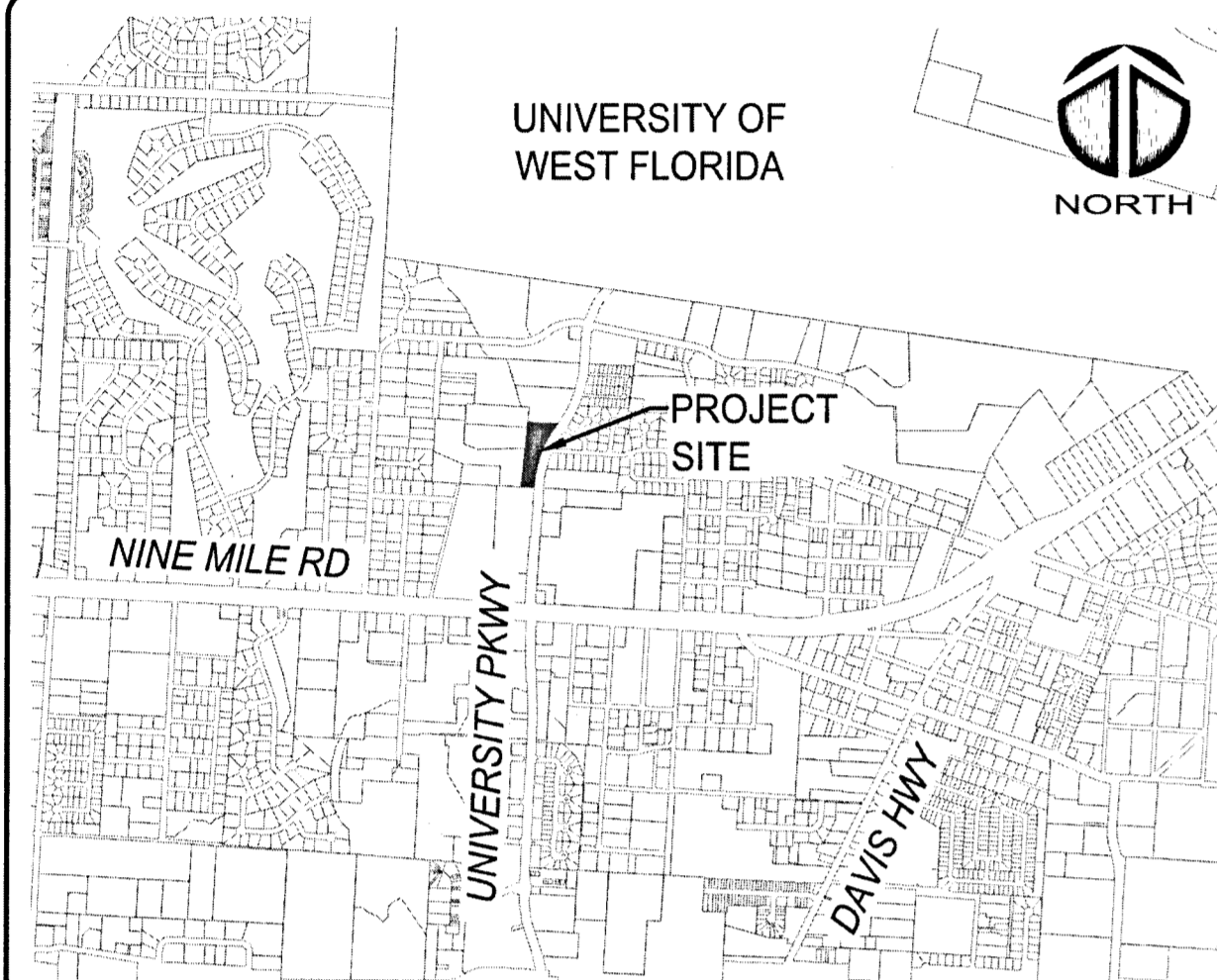


SPECTRA UWF STUDENT HOUSING

PROJ. NO. 07973-0001

AUGUST 2020

ESCAMBIA COUNTY SUBMITTAL, NOT FOR CONSTRUCTION

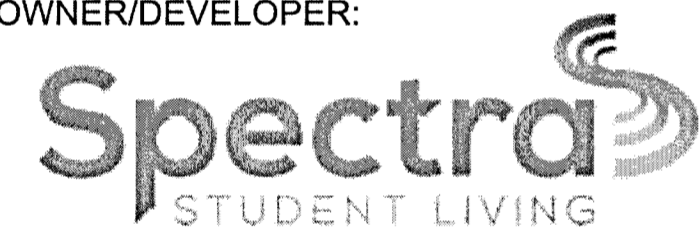


VICINITY MAP

NOT TO SCALE

PROJECT NAME: SPECTRA UWF STUDENT HOUSING
9600 UNIVERSITY PARKWAY

OWNER/DEVELOPER:



SPECTRA STUDENT LIVING
350 MASSACHUSETTS AVENUE
SUITE 34
INDIANAPOLIS, IN 46204
SEMMONS@SPECTRASTUDENTLIVING.COM

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 8/26/2020
Printed Name: *[Signature]*
Development Supervisor or Designer

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



1206 N. Palafox St.
Pensacola, Florida 32501
Phone: (850) 994-9503
FL Certificate of Authorization# 29588
www.mckimcreed.com

PROJECT INFORMATION



SITE MAP

SCALE: 1" = 150'

Sheet List Table

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C-003	OVERALL KEY PLAN
C-101	DEMOLITION AND EROSION CONTROL PLAN
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C-201	SITE LOCATION PLAN
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C-401	UTILITY PLAN
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ECUA Engineering Manual Reference Note*
**note shall be inserted in the upper right corner of title sheet.*

** applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement, not to be applied to private water/sewer facilities on private property (see Building Code)*

A. ECUA Engineering Manual Incorporated by Reference
The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)
Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? YES NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Project Manuals used only with ECUA CIP Projects*

C. Engineer of Record Responsibilities
The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

[Signature]
8/26/20

SHEET INDEX

SUBMITTAL DATE: AUGUST 21, 2020

PROJ. NO. 07973-0001 SPECTRA UWF STUDENT HOUSING

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, ETC.
3. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.
4. LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
5. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
6. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.
7. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.
9. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.
11. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.
12. REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED BY ORDINANCE #91-17, AND CHAPTERS 400-4 AND 400-40, F.A.C. WHICH CAN RESULT IN A PENALTY NT TO EXCEED \$10,000 PER OFFENSE WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.
13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
14. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
15. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
16. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
18. THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
19. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.

SURVEYOR NOTES

- 1. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED ON APRIL 19, 2020 BY THE FOLLOWING COMPANY:
McKim & CREED, INC.
2. VERTICAL ELEVATIONS SHOWN ARE BASED ON NGS BENCHMARK #872 9511 C TIDAL, HAVING A PUBLISHED ELEVATION OF 30.00 (NAVD 88). HORIZONTAL COORDINATES BASED ON NAD27 FLORIDA STATE PLANES, NORTH ZONE, US FOOT.
3. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
4. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORDS AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THE SURVEYOR THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.
5. NO UNDERGROUND INSTALLATIONS, FOUNDATION FOOTINGS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS NOTED.

EROSION CONTROL NOTES

- 1. TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.
2. PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.
3. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.
4. REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:
a. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.
b. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.
c. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.
d. SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO INSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.
e. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS.
f. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN REPORTS.
g. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.
5. THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:
a. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.
b. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.
c. FOLLOW ALL MANUFACTURERS RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.
d. INSPECT DAILY TO INSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.
e. COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.

SPILL CONTROL NOTES

- 1. IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
b. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
c. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
d. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
e. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
2. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR SEWER SERVICE SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.
4. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGING UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.
5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH FDOT PLAN NO. 580-001 TREE PROTECTION BARRICADE.
6. CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.
7. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
8. CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED AGAINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, WATER LINES TO THE METER LOCATION, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
10. UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.
11. CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL. PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.
12. CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).
13. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

EARTHWORK, GRADING, AND STABILIZATION NOTES

- 1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECH REPORT.
2. COMPACT ALL UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T - 180) AND TO 95% WITHIN OTHER AREAS.
3. ALL EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
4. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.
5. ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS; FORCE MAINS, MANHOLES, AND LIFT STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.
6. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.
7. UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GRASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.
8. THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED FINAL GRADES AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND STEEPER SHALL BE STAKED.
9. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVING THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFFSITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.

PAVING, GRADING, AND DRAINAGE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ALONG THE ALIGNMENT OF ALL PROPOSED SIDEWALKS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW AND SHALL HAVE THE MARKERS REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
3. SAWCUT EXISTING PAVEMENT AT THE CONNECTIONS TO THE EXISTING ROADWAYS TO FORM A SMOOTH TRANSITION.
4. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.
5. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.
6. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB AS SHOWN ON THE CONSTRUCTION DRAWINGS.
7. UPON COMPLETION OF FINAL ASPHALT PAVING, TOOL AND CLEAN ALL MANHOLE AND VALVE COVERS OF DIRT, DEBRIS AND ASPHALT. ALL MANHOLE AND VALVE COVERS SHALL BE CLEAN AND OPERABLE PRIOR TO OWNER'S ACCEPTANCE.
8. IN ADDITION TO THE REQUIREMENTS IN THE ENGINEER'S TECHNICAL SPECIFICATIONS, ALL ROADWAY CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE OR LOCAL GOVERNMENT SPECIFICATIONS.
9. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR REVIEW AND APPROVAL TO THE APPLICABLE STATE OR LOCAL GOVERNMENT PRIOR TO WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL EXECUTE AND IMPLEMENT THE MOT PLAN IN ACCORDANCE WITH FDOT STANDARDS.
10. STABILIZED SUBGRADE TO BE F.D.O.T. TYPE "B".
11. ASPHALTIC CONCRETE TO FDOT STANDARD SPECIFICATION (LATEST EDITION) SECTION 916.1.
12. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).
13. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH. ALL STRUCTURAL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.
14. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.
15. LEADING EDGE OF RAMP SHALL ALIGN WITH SIDEWALK OR RAMP ON OPPOSITE SIDE OF INTERSECTION.
16. WHERE A CURB CUT RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE DROP CURB OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG.
17. THE EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLAN OR IN SECTION) ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
18. SIDEWALK/RAMP CONSTRUCTION AND EXISTING CURB REMOVAL NECESSARY TO CONSTRUCT THE HANDICAP RAMPS (IF APPLICABLE) ARE INCLUDED IN THIS CONTRACT.
19. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN SIDEWALK CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS.
20. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.
21. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
22. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.
23. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.
24. THE INTENT OF THE GRADING DESIGN IS TO BALANCE THE EARTHWORK OF THE SITE SUCH THAT NO OFF-SITE FILL NOR SPOIL REMOVAL IS REQUIRED. AS CONSTRUCTION PROCEEDS THE OWNER RESERVES THE RIGHT TO ALTER THE PROPOSED SITE GRADES TO ENSURE THE EARTHWORK IS BALANCED. ANY GRADE CHANGES PROPOSED TO MEET THIS GRADING INTENT SHALL BE ACCOMMODATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
25. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 6-INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN 3-PERCENT OF OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY OR AS REQUIRED BY CONTOUR ENGINEERING AS DETERMINED BY THE MODIFIED PROCTOR METHOD, ASTM D-1557.
26. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
27. ALL PIPES SHALL HAVE 3-FEET MINIMUM COVER UNLESS OTHERWISE SPECIFIED IN PLANS, CONTRACTOR SHALL TAKE CARE TO PROVIDE PROPER GRADE ELEVATIONS AND ALIGNMENTS.
28. ALL DRAINAGE PIPE 36" AND LARGER IN DIAMETER SHALL BE REINFORCED CONCRETE PIPE CLASS III (ASTM C-76), OR CLASS IV AT LOCATIONS WITH LESS THAN 2-FT OF COVER TO FINISHED SURFACE, UNLESS OTHERWISE NOTED.
29. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.
30. PROVIDE SOCK DRAIN OR SEDIMENT FILTER IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT AT THE DISCRETION OF THE CONSTRUCTION MANAGER) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.
31. TOP ELEVATION OF ALL CURB INLETS ARE SHOWN WHERE THE EDGE OF PAVEMENT ELEVATION MEETS THE THROAT APRON OF THE CURB INLET.
32. ALL PIPE CALL OUTS ARE MEASURED CENTER LINE TO CENTER LINE FOR MANHOLES AND INLETS AND FROM THE END OF THE PIPE FOR MITERED END SECTIONS.
33. ALL DRAINAGE PIPE JOINTS TO BE WRAPPED WITH FILTER FABRIC CLOTH PER FDOT PLAN 430-001.
34. CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION.

SIGNING AND MARKING NOTES

- 1. ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE, ALKYD THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.
2. PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINTS (MIN). ALL PAINTED STRIPING SHALL BE LATEX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.
3. ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.
4. SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.
5. REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706-001.
6. PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.
7. CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.
8. SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC., MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD AND OWNER.
9. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
10. ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE.

GENERAL UTILITY NOTES

- 1. ALL UTILITY WORK SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE WORK SHALL ALSO CONFORM TO THE APPROVED PROJECT SPECIFICATIONS, AND/OR FDEP PERMIT.
2. WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.
3. PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
4. ALL POTABLE WATER MAINS MUST BEAR "NYS" "PW" LOGO.
5. UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE THE ROADWAY BASE AND SURFACE ARE CONSTRUCTED.
7. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 3-FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
8. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.
9. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITY COMPANIES LISTED IN THE TABLE BELOW SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.
10. LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
11. CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
12. ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
14. A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.
15. WHEN TRENCH EXCAVATION EXCEEDS 5-FEET IN DEPTH:
a. CONTRACTOR SHALL CONFORM TO OSHA STANDARDS (29CFR SECTION 1926.650)
b. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH ALL APPLICABLE LAWS.
c. TRENCH SAFETY SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS AT THE JOB SITE. MONTHLY PROGRESS AS-BUILTS AND A FINAL SET SHALL BE SUBMITTED TO THE OWNER UPON THE COMPLETION OF EACH PHASE.
17. UTILITY MAINS DESIGNATED TO BE OWNED AND MAINTAINED BY LOCAL UTILITY IN THE PLANS SHALL CONFORM TO THE FOLLOWING NOTES AND "ECUA ENGINEERING MANUAL 2016, UPDATE #1".
18. PROPOSED FIRE LINE PIPING FOR THE FIRE PROTECTION SYSTEM, INCLUDING BACKFLOW PREVENTER SHALL BE INSTALLED BY A CLASS I, II, OR V CONTRACTOR PER CHAPTER 633.102 F.S. THE UNDERGROUND FIRE RISER SHALL EXTEND TO 1-FOOT ABOVE FINISH FLOOR (AFF) OR FINISH GRADE.

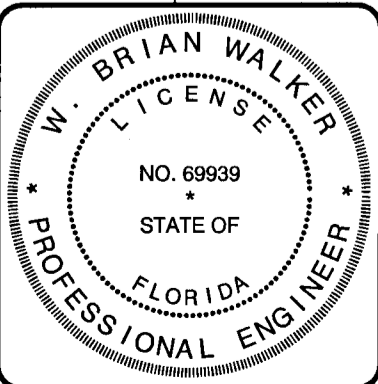
TESTING AND INSPECTION

- 17. CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AS INDICATED ON THE DRINKING WATER PERMIT OR AS DIRECTED BY THE PERMITTING AGENCY. SAMPLES SHALL BE TAKEN AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.
18. CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 'DISINFECTION WATER MAINS'.

LOCAL UTILITIES

Table with 5 columns: UTILITY, STREET ADDRESS, CITY, STATE, ZIP, PHONE, POINT OF CONTACT. Includes entries for ECUA, GULF POWER, AT&T, COX COMMUNICATIONS, PENSACOLA ENERGY, and LEVEL 3 COMMUNICATIONS.

Table with 3 columns: REV. NO., DESCRIPTION, DATE. Includes a REVISIONS section at the bottom.



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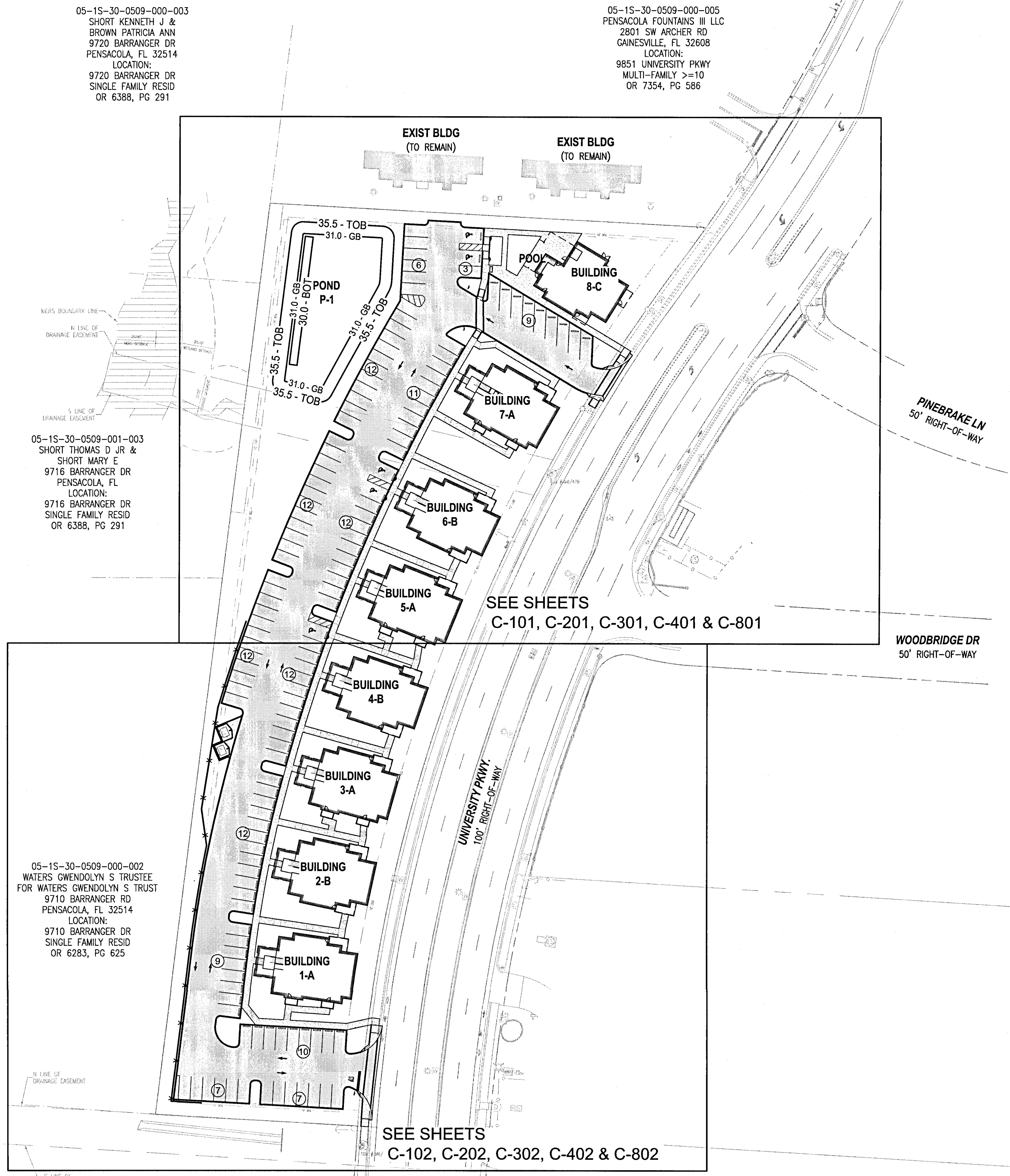
McKim & Creed logo and contact information: 1206 N. Palafox St., Pensacola, Florida 32501, Phone: (850) 994-9503.

Spectra Student Living logo and contact information: 350 Massachusetts Ave., Suite 34, Indianapolis, IN 46204, SpectraStudentLiving.com

SPECTRA UWF STUDENT HOUSING 9600 UNIVERSITY PARKWAY CIVIL SITE GENERAL NOTES AND ABBREVIATIONS

Project information: PROJ. DATE: AUGUST 2020, MCE PROJ. # 0793-0001, SCALE: C-001, DRAWING NUMBER, STATUS: ESCAMBIA COUNTY PERMIT SUBMITTAL

- LEGEND**
- PROPERTY BOUNDARY
 - - - RIGHT-OF-WAY LINE
 - LIMITS OF WORK
 - - - EASEMENT LINE
 - SITE ELEMENTS TO REMAIN
 - SITE ELEMENTS
 - SITE RETAINING WALL
 - EXISTING BUILDING TO REMAIN
 - ASPHALT-LIGHT DUTY
 - CONCRETE PAVEMENT HEAVY DUTY (8" THICK)
 - PEDESTRIAN HARDSCAPE



05-15-30-0509-000-003
 SHORT KENNETH J &
 BROWN PATRICIA ANN
 9720 BARRANGER DR
 PENSACOLA, FL 32514
 LOCATION:
 9720 BARRANGER DR
 SINGLE FAMILY RESID
 OR 6388, PG 291

05-15-30-0509-000-005
 PENSACOLA FOUNTAINS III LLC
 2801 SW ARCHER RD
 GAINESVILLE, FL 32608
 LOCATION:
 9851 UNIVERSITY PKWY
 MULTI-FAMILY >=10
 OR 7354, PG 586

05-15-30-0509-001-003
 SHORT THOMAS D JR &
 SHORT MARY E
 9716 BARRANGER DR
 PENSACOLA, FL
 LOCATION:
 9716 BARRANGER DR
 SINGLE FAMILY RESID
 OR 6388, PG 291

05-15-30-0509-000-002
 WATERS GWENDOLYN S TRUSTEE
 FOR WATERS GWENDOLYN S TRUST
 9710 BARRANGER RD
 PENSACOLA, FL 32514
 LOCATION:
 9710 BARRANGER DR
 SINGLE FAMILY RESID
 OR 6283, PG 625

05-15-30-0508-000-002
 GODWIN HOLDINGS LTD
 C/O JEANNE GODWIN
 3109 GRAND AVE
 MIAMI, FL 33133-5103
 LOCATION:
 9401 UNIVERSITY PKWY
 VACANT COMMERCIAL
 OR 4503, PG 1310

SITE DATA TABLE

PROPERTY OWNER: JESTA TOWERS, INC.
 DEVELOPER: SPECTRA STUDENT LIVING
 PROPERTY LOCATION: 9600 UNIVERSITY PKWY.
 PARCEL NUMBER: 05-15-30-0509-000-010
 LEGAL DESCRIPTION: (SEE COVER SHEET FOR LEGAL DESCRIPTION)
 PARCEL AREA: 3.34 AC

ZONING
 SITE: COMMERCIAL (COM)
 N: COMMERCIAL (COM)
 E: RIGHT-OF-WAY
 S: COMMERCIAL (COM)
 W: MEDIUM DENSITY RESIDENTIAL (MDR)

PROPERTY USE
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL

FUTURE LAND USE
 MIXED USE-URBAN (MU-U)
MAX ALLOWABLE DENSITY [COM]
 ALLOWED: 25 UNITS/ACRE
 PROPOSED: 19.8 UNITS/ACRE

LANDSCAPE BUFFERS
 TYPE A BUFFER FOR MFR
 FRONT: 12'
 SIDE: 12' (PLUS 2' FOR EACH ADD'L 10' ABOVE 35' BLDG HEIGHT)
 SIDE STREET: N/A
 REAR: 12'

MAX FLOOR AREA RATIO (FAR) [COM]
 ALLOWED: 2.0 FOR MU-U ZONING
 PROPOSED: 0.46%

BUILDING SETBACKS [COM]
 FRONT: 15'
 SIDE: 10' (PLUS 2' FOR EACH ADD'L 10' ABOVE 35' BLDG HEIGHT)
 SIDE STREET: N/A
 REAR: 15'
 ABUTTING RES: N/A

MAX IMPERVIOUS COVERAGE [COM]
 ALLOWED: 85.0% (INCL IMPERVIOUS & SEMI-PERVIOUS)
 PROPOSED: 61.1%

BUILDING TYPES
 NEW BLDG: —
 EXIST BLDG: N/A

VEHICULAR PARKING
 1.5 SPACES/UNIT FOR MFR (MAY GO OVER OR UNDER BY 10% WITHOUT JUSTIFICATION)

NAME	UNITS	SPACES REQUIRED	LOWER RANGE	UPPER RANGE	SPACES PROVIDED
MFR DEVELOPMENT	66	99	90	109	131

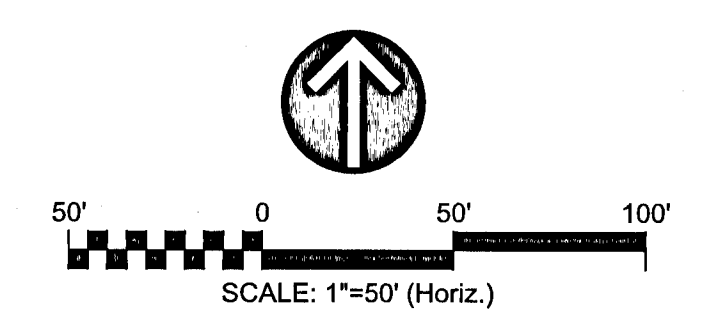
ACCESSIBLE PARKING
 ACCESSIBLE SPACES REQUIRED PER TABLE 208.2 IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN MANUAL (VER 2010).

NAME	TOTAL SPACES PROVIDED	ACCESSIBLE SPACES REQUIRED	ACCESSIBLE SPACES PROVIDED
MFR DEVELOPMENT	131	5	5

LOT COVERAGE

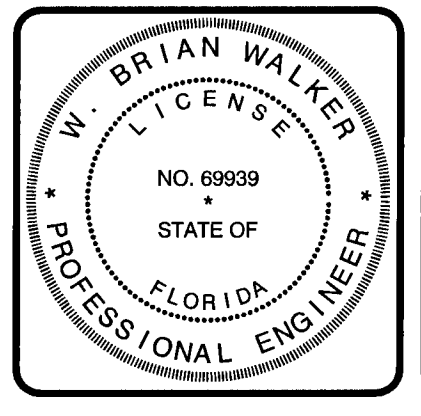
COVERAGE TYPE	EXISTING (AC)	EXISTING (%)	PROPOSED (AC)	PROPOSED (%)
BLDG AREA	0.00	0.00	0.60	18.06%
IMPERVIOUS	0.00	0.00	1.34	40.21%
PERVIOUS	3.34	100.00	1.19	35.63%
POND	0.00	0.00	0.20	6.10
OVERALL	3.34	100.00	3.34	100.00

FLOOD ZONE
 THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFTS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C03156, MAP REVISION DATED SEPTEMBER 29, 2006.



REV. NO.	DESCRIPTION	DATE
1	RESPONSE TO COUNTY COMMENTS	7/17/20

REVISIONS



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 FL Certificate of Authorization# 29588
 www.mckimcreed.com

Spectra
 STUDENT LIVING
 350 Massachusetts Ave., Suite 34
 Indianapolis, IN 46204
 SpectraStudentLiving.com

SPECTRA UWF STUDENT HOUSING
9600 UNIVERSITY PARKWAY
 CIVIL SITE
OVERALL KEY PLAN

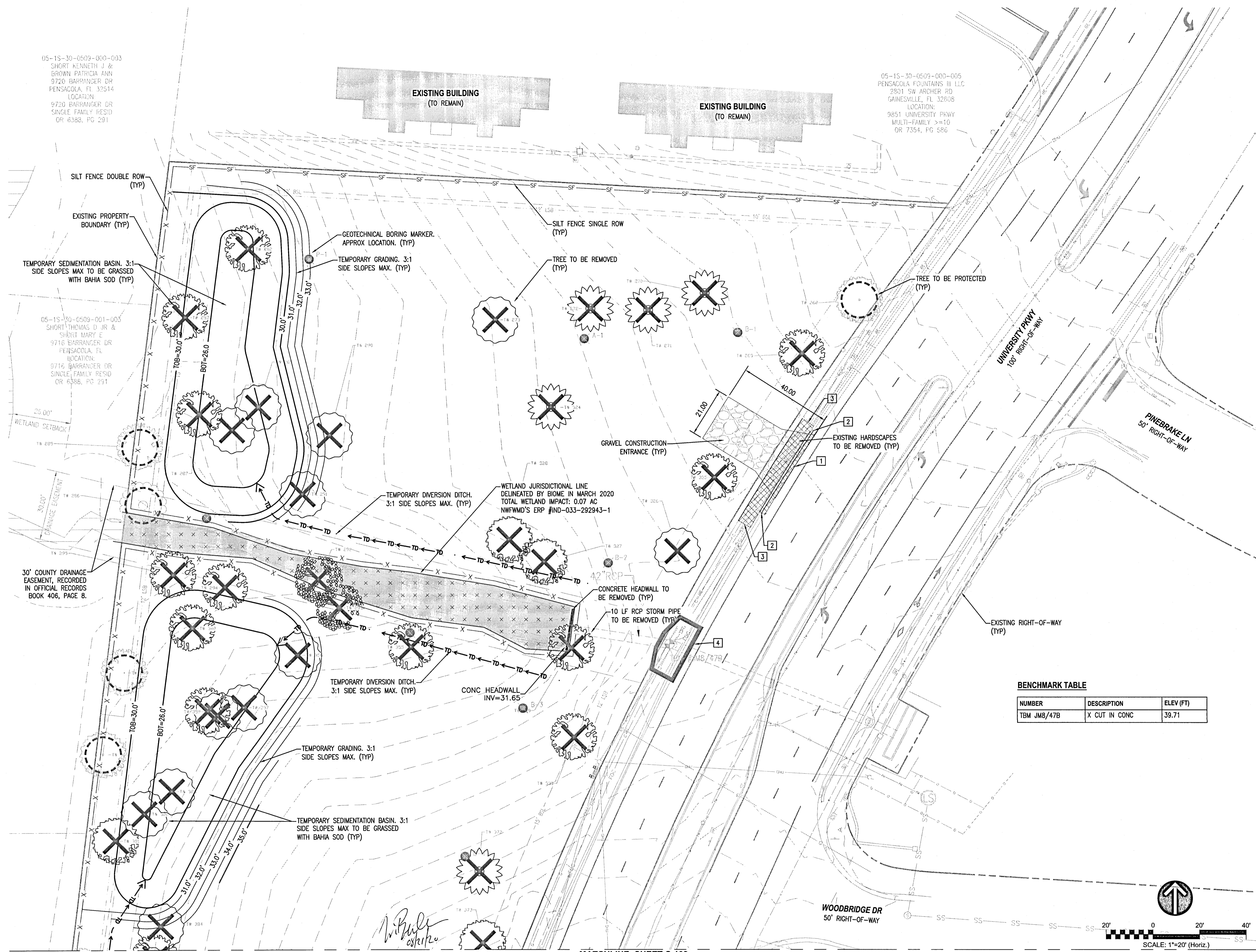
PROJ. DATE: AUGUST 2020	SCALE
MCE PROJ. # 07973-0001	HORIZONTAL: 1"=50'
DRAWN: GTP	VERTICAL: N/A
DESIGNED: MM	
CHECKED: DPJJ	
PROJ. MGR: WBW	

C-003
 DRAWING NUMBER
 ESCAMBIA COUNTY
 PERMIT SUBMITTAL

05-15-30-0509-000-003
 SHORT KENNETH J &
 BROWN PATRICIA ANN
 9720 BARRINGER DR
 PENSACOLA, FL 32514
 LOCATION:
 9720 BARRINGER DR
 SINGLE FAMILY RESID
 OR 6388, PG 291

05-15-30-0509-000-005
 PENSACOLA FOUNTAINS III LLC
 2501 SW ARCHER RD
 GAINESVILLE, FL 32608
 LOCATION:
 9851 UNIVERSITY PKWY
 MULTI-FAMILY >=10
 OR 7354, PG 586

05-15-30-0509-001-005
 SHORT THOMAS D JR &
 SHORT MARY E
 9716 BARRINGER DR
 PENSACOLA, FL
 LOCATION:
 9716 BARRINGER DR
 SINGLE FAMILY RESID
 OR 6366, PG 291



LEGEND

- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LIMITS OF WORK
- EASEMENT LINE
- SITE ELEMENTS TO REMAIN
- SITE ELEMENTS TO BE REMOVED
- SILT FENCE - SINGLE ROW
- SILT FENCE - DOUBLE ROW
- EXISTING BUILDING TO REMAIN
- GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING HARDSCAPES TO BE REMOVED
- LIMITS OF WETLAND IMPACT
- INLET PROTECTION FILTER
- SOIL BORING LOCATION
- SIGN TO BE REMOVED/RELOCATED
- TREE TO BE PROTECTED
- TREE TO BE RELOCATED
- TREE TO BE REMOVED

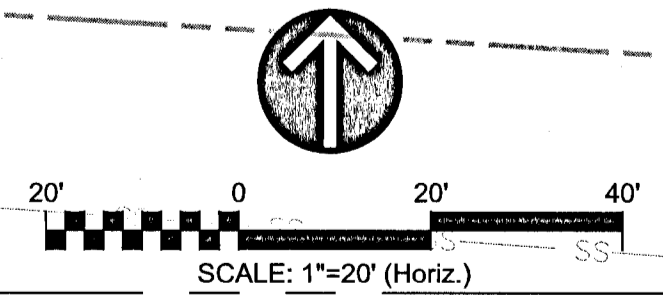
- KEYNOTES**
- SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
 - SAW CUT AND REMOVE EXISTING CONCRETE CURB
 - REMOVE SIDEWALK AT NEAREST CONTROL JOINT
 - PROVIDE SEDIMENT FILTER TO PROTECT EXISTING DRAINAGE INLET

- EROSION CONTROL NOTES**
- SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
 - THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
 - CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
 - A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY RCID COMPLIANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF RCID.
 - IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
 - DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION. CONTRACTOR TO COORDINATE WITH RCID COMPLIANCE.
 - ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

- DEMOLITION NOTES**
- NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
 - DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL COORDINATE AND PROVIDE PLANS TO PROVIDE GUESTS TEMPORARY ACCESS ROUTES AROUND THE CONSTRUCTION ZONES.
 - FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
 - ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
 - THE EXISTING STORMWATER POND CANNOT BE FILLED UNTIL THE PROPOSED STORMWATER POND IS COMPLETED AND ACCEPTED BY RCID. THE REQUIRED TREATMENT VOLUME MUST BE MAINTAINED AT ALL TIMES.
 - CONSTRUCTION LAYDOWN YARD SHALL BE FENCED WITH SCIRM TO PREVENT ACCESS AND VIEW BY GUESTS. DESIGN AND LOCATION OF FENCE SHALL BE DETERMINED BY THE CONTRACTOR.

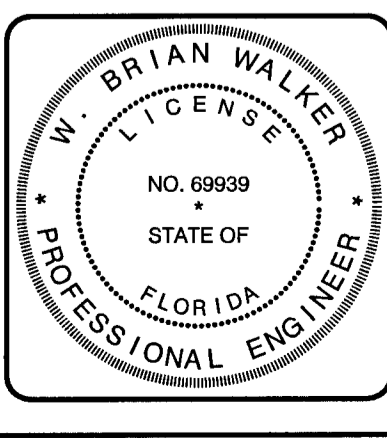
BENCHMARK TABLE

NUMBER	DESCRIPTION	ELEV (FT)
TBM JMB/47B	X CUT IN CONC	39.71



REV NO.	DESCRIPTION	DATE
1	RESPONSE TO COUNTY COMMENTS	7/17/20

REVISIONS



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SPECTRA UWF STUDENT HOUSING
 9600 UNIVERSITY PARKWAY
 CIVIL SITE
 DEMOLITION AND EROSION CONTROL PLAN

PROJ. DATE: AUGUST 2020
 MCE PROJ. # 07973-0001
 DRAWN: GTP
 DESIGNED: MM
 CHECKED: DPJJ
 PROJ. MGR.: WBW

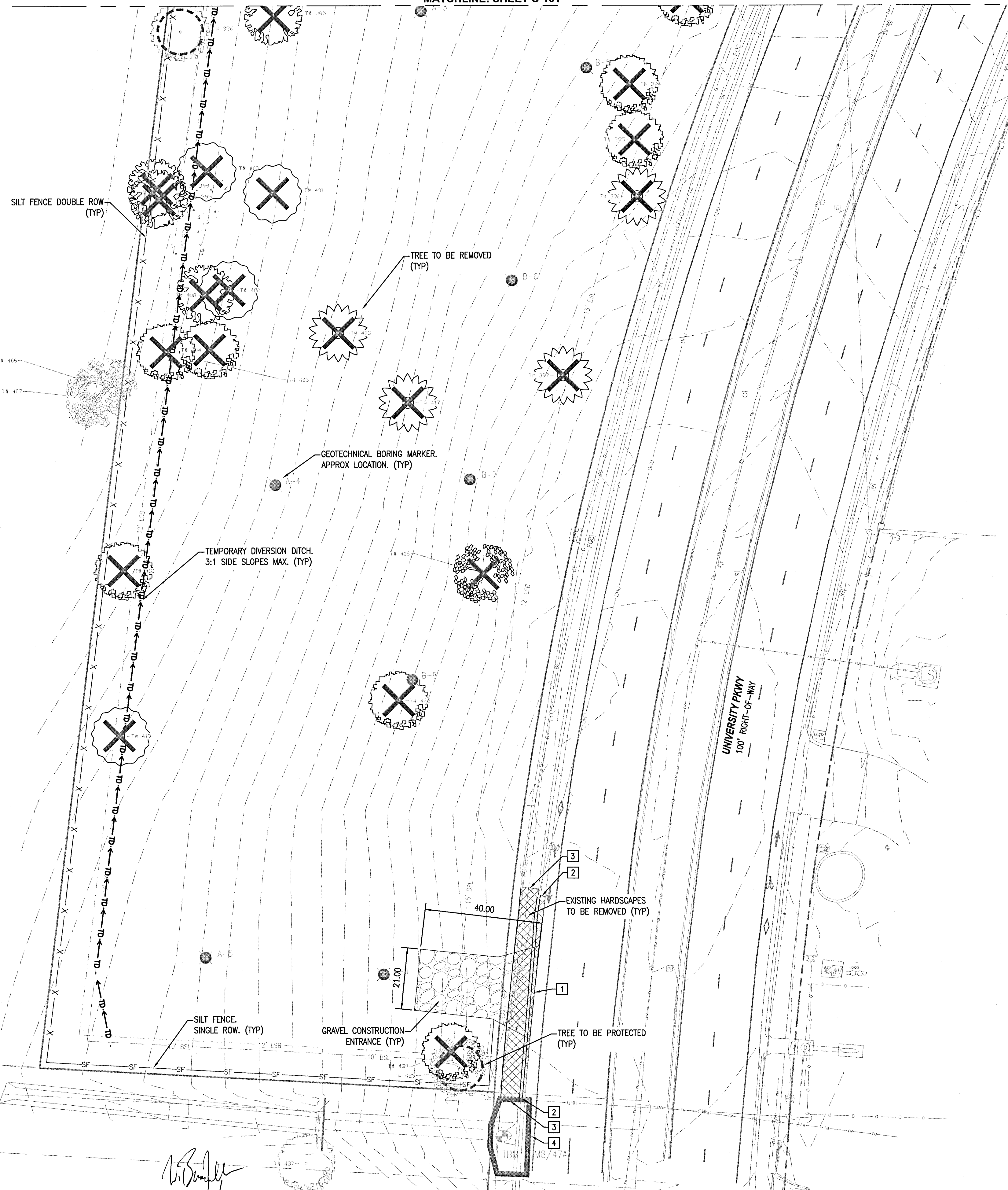
SCALE: HORIZONTAL: N/A
 VERTICAL: N/A
C-101
 DRAWING NUMBER
 REVISION
 ECUA PERMIT SUBMITTAL

MATCHLINE: SHEET C-102

BENCHMARK TABLE

NUMBER	DESCRIPTION	ELEV (FT)
TBM JMS/47A	X CUT IN CONC	49.59

05-15-30-0509-000-002
 WATERS GWENDOLYN S TRUSTEE
 FOR WATERS GWENDOLYN S TRUST
 9710 BARRANGER RD
 PENSACOLA, FL 32514
 LOCATION:
 9710 BARRANGER DR
 SINGLE FAMILY RESID
 OR 6253, PG 625



LEGEND

- PROPERTY BOUNDARY
- - - RIGHT-OF-WAY LINE
- LIMITS OF WORK
- - - EASEMENT LINE
- - - SITE ELEMENTS TO REMAIN
- - - SITE ELEMENTS TO BE REMOVED
- SF-SF- SILT FENCE - SINGLE ROW
- X-X- SILT FENCE - DOUBLE ROW
- ▭ EXISTING BUILDING TO REMAIN
- ▨ GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA
- ▧ EXISTING PAVEMENT TO BE REMOVED
- ▩ EXISTING HARDSCAPES TO BE REMOVED
- ▤ LIMITS OF WETLAND IMPACT
- ▭ INLET PROTECTION FILTER
- ⊙ B-3 SOIL BORING LOCATION
- ⊙ SIGN TO BE REMOVED/RELOCATED
- ⊙ TREE TO BE PROTECTED
- ⊙ TREE TO BE RELOCATED
- ⊙ TREE TO BE REMOVED

KEYNOTES

- 1 SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
- 2 SAW CUT AND REMOVE EXISTING CONCRETE CURB
- 3 REMOVE SIDEWALK AT NEAREST CONTROL JOINT
- 4 PROVIDE SEDIMENT FILTER TO PROTECT EXISTING DRAINAGE INLET

EROSION CONTROL NOTES

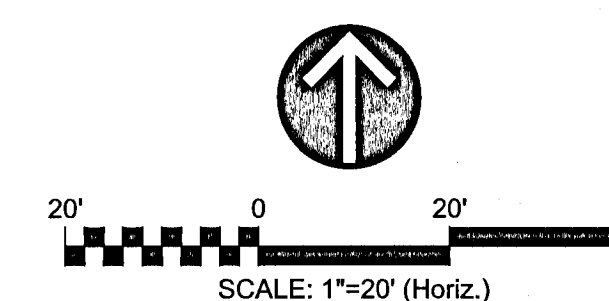
1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
2. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
4. CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
5. A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY RCID COMPLIANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF RCID.
7. IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
8. ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
9. DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION. CONTRACTOR TO COORDINATE WITH RCID COMPLIANCE.
10. ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

DEMOLITION NOTES

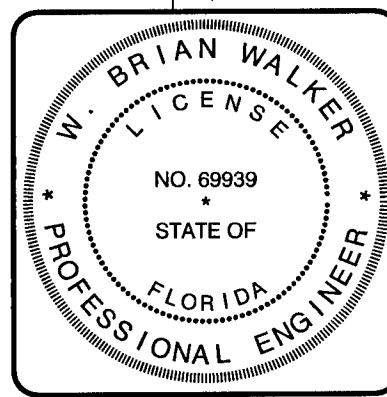
1. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
2. DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL COORDINATE AND PROVIDE PLANS TO PROVIDE GUESTS TEMPORARY ACCESS ROUTES AROUND THE CONSTRUCTION ZONES.
3. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
4. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
5. THE EXISTING STORMWATER POND CANNOT BE FILLED UNTIL THE PROPOSED STORMWATER POND IS COMPLETED AND ACCEPTED BY RCID. THE REQUIRED TREATMENT VOLUME MUST BE MAINTAINED AT ALL TIMES.
6. CONSTRUCTION LAYDOWN YARD SHALL BE FENCED WITH SCIRM TO PREVENT ACCESS AND VIEW BY GUESTS. DESIGN AND LOCATION OF FENCE SHALL BE DETERMINED BY THE CONTRACTOR.

05-15-30-0502-000-002
 GODWIN HOLDINGS LTD
 C/O JEANNE GODWIN
 3109 GRAND AVE
 MIAMI, FL 33133-5103
 LOCATION:
 9401 UNIVERSITY PKWY
 VICINITY COMMERCIAL
 OR 4503, PG 1310

W. Brian Walker
 08/21/20



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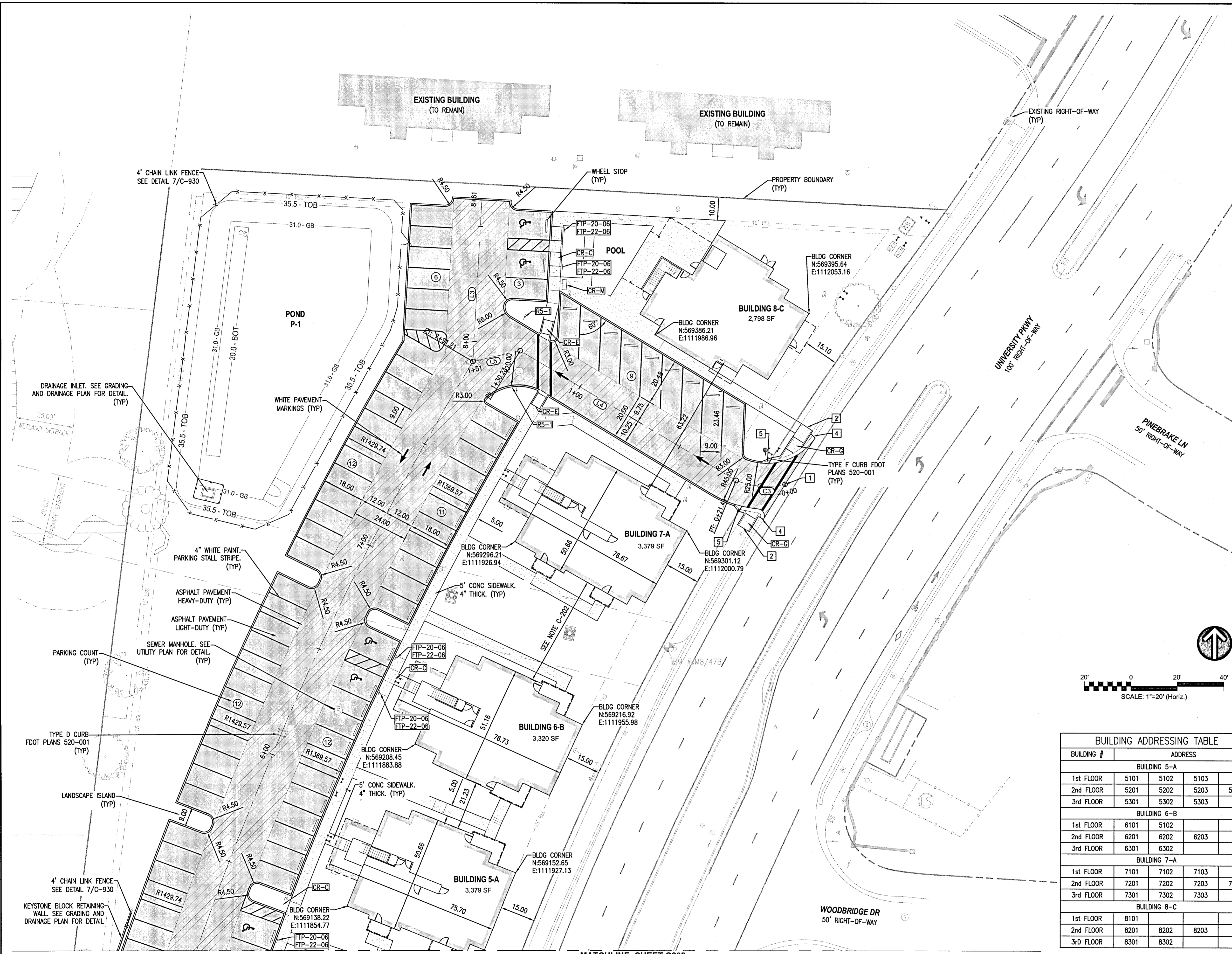
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 CIVIL SITE
DEMOLITION AND EROSION CONTROL PLAN

PROJ. DATE: AUGUST 2020	SCALE: HORIZONTAL: N/A
MCE PROJ. # 07973-0001	VERTICAL: N/A
DRAWN: GTP	
DESIGNED: MM	
CHECKED: DPJJ	
PROJ. MGR: WBW	

C-102
 DRAWING NUMBER
 REVISION
ECUA
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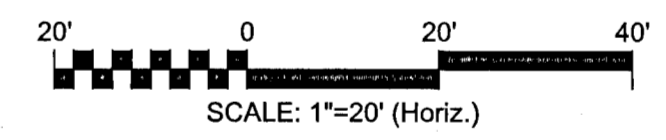
LEGEND

—	PROPERTY BOUNDARY		EXISTING BUILDING TO REMAIN
- - -	RIGHT-OF-WAY LINE		ASPHALT-LIGHT DUTY
—	LIMITS OF WORK		ASPHALT-HEAVY DUTY
- - -	EASEMENT LINE		CONCRETE PAVEMENT HEAVY DUTY (8" THICK)
—	SITE ELEMENTS TO REMAIN		PEDESTRIAN HARDSCAPE
—	SITE ELEMENTS		BANK AND SHORE RIP RAP FDOT SECTION 530
—	SITE RETAINING WALL		
—	METAL FENCE		
—	VEHICULAR SIGNAGE		
—	WHEEL STOP		
—	PERMANENT BOLLARD		

KEYNOTES

1	CONNECT TO EXISTING ASPHALT PAVEMENT	R1-1		30"x30"
2	CONNECT TO EXISTING HARDSCAPE PAVEMENT	R3-SR		30"x24"
3	ASPHALT TO CONCRETE EDGE CONNECTION	R5-1		30"x30"
4	TIE INTO EXISTING CONCRETE CURB	FTP-20-06		18"x12"
5	3' CURB TRANSITION TYPE D TO TYPE F	FTP-22-06		6"x12"
CR-C	CURB RAMP TYPE CR-C FDOT PLAN 522-002			
CR-E	CURB RAMP TYPE CR-E FDOT PLAN 522-002			
CR-G	CURB RAMP TYPE CR-G FDOT PLAN 522-002			
CR-M	MAIL KIOSK			

- SITE LAYOUT NOTES**
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL RADII ARE 4.50' UNLESS NOTED OTHERWISE.
 - CURB ON HIGH SIDE OF ROADWAYS SHALL BE A "SPILL" CURB WITH CROSS SLOPE OF GUTTER MATCHING THE SLOPE OF THE ADJACENT PAVEMENT PER FDOT PLAN 520-001.
 - ALL FINAL PAVEMENT MARKINGS SHOWN ON THIS PLAN SHALL BE ALKYD THERMOPLASTIC UNLESS OTHERWISE NOTED. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH FDOT STANDARDS. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT PLAN 701-001 UNLESS OTHERWISE NOTED. SEE FDOT SPECIFICATIONS FOR MORE DETAIL.
 - ALL TRAFFIC CONTROL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MUTCD, FHWA.
 - CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES. ALL EXISTING AND PROPOSED UTILITIES SHALL BE FIELD LOCATED PRIOR TO THE INSTALLATION OF SIGN POSTS.
 - BLUE RPM'S SHALL BE LOCATED ADJACENT TO FIRE HYDRANTS IN VEHICULAR AREAS. THE RPM'S SHALL BE LOCATED PERPENDICULAR TO THE HYDRANT ALONG THE CENTERLINE OF THE ROADWAYS AND PARKING LOT CIRCULATION ROADS.
 - STORM INLETS, AT-GRADE UTILITIES, LIGHT POLES, AND TREES THAT MAY AFFECT THE SITE DESIGN ARE SHOWN ON THIS PLAN FOR REFERENCE. SEE THE RESPECTIVE DRAWING PLAN SERIES FOR DETAIL.
 - SEE THE ELECTRICAL PLAN FOR LIGHTING AND ELECTRICAL UTILITY DETAIL. SEE THE STRUCTURAL PLAN FOR WALL AND FOUNDATION DETAIL.



BUILDING ADDRESSING TABLE

BUILDING #	ADDRESS			
BUILDING 5-A				
1st FLOOR	5101	5102	5103	
2nd FLOOR	5201	5202	5203	5204
3rd FLOOR	5301	5302	5303	
BUILDING 6-B				
1st FLOOR	6101	6102		
2nd FLOOR	6201	6202	6203	
3rd FLOOR	6301	6302		
BUILDING 7-A				
1st FLOOR	7101	7102	7103	
2nd FLOOR	7201	7202	7203	7204
3rd FLOOR	7301	7302	7303	
BUILDING 8-C				
1st FLOOR	8101			
2nd FLOOR	8201	8202	8203	
3rd FLOOR	8301	8302		

LINE TABLE

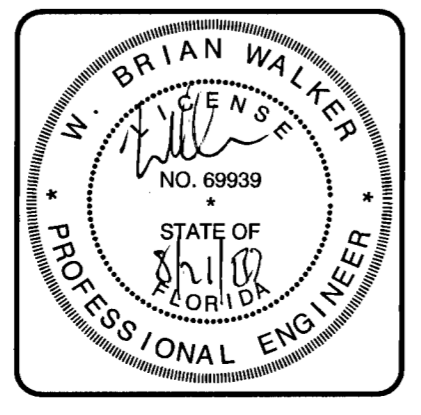
LINE #	LENGTH	BEARING
L3	70.22'	N3°05'39"E
L4	108.74'	N58°53'44"W
L5	20.94'	S76°52'38"W

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	BEARING
C2	391.05'	1394.11'	196.82'	16°04'18"	389.77'	N22°44'16"E
C3	21.49'	35.08'	11.09'	35°06'18"	21.16'	N85°33'32"W

REV. NO.	DESCRIPTION	DATE
1	RESPONSE TO COUNTY COMMENTS	7/17/20

REVISIONS



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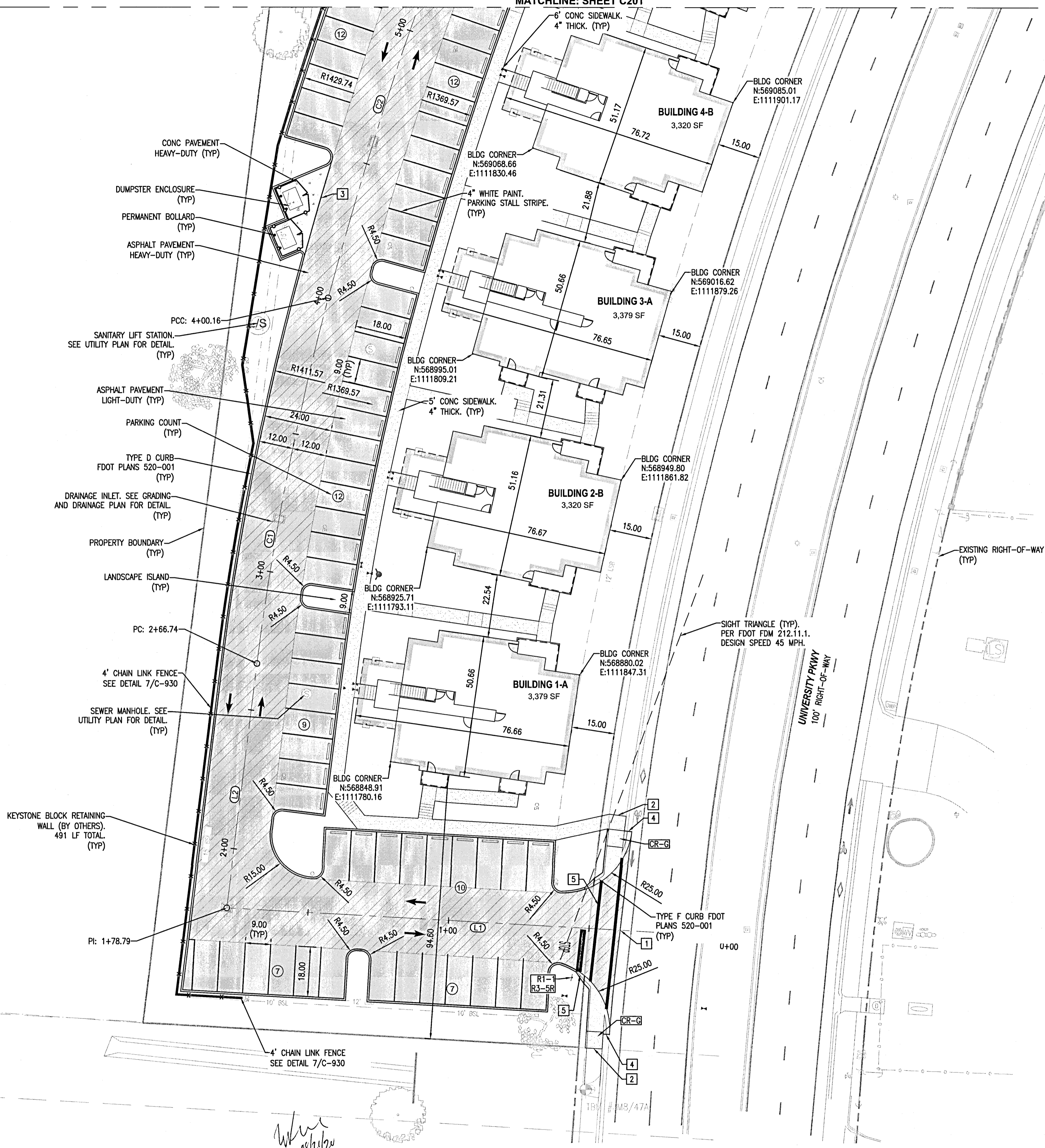
SPECTRA UWF STUDENT HOUSING
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 CIVIL SITE
 SITE LOCATION PLAN

PROJ. DATE: AUGUST 2020
 MCE PROJ. # 07973-0001
 DRAWN: GTP
 DESIGNED: MM
 CHECKED: DPJJ
 PROJ. MGR: WBW

SCALE: HORIZONTAL: 1"=20' VERTICAL: N/A

C-201
 DRAWING NUMBER

STATUS: ESCAMBIA COUNTY PERMIT SUBMITTAL



LEGEND

- PROPERTY BOUNDARY
- - - RIGHT-OF-WAY LINE
- LIMITS OF WORK
- - - EASEMENT LINE
- - - SITE ELEMENTS TO REMAIN
- SITE ELEMENTS
- SITE RETAINING WALL
- METAL FENCE
- VEHICULAR SIGNAGE
- WHEEL STOP
- PERMANENT BOLLARD
- EXISTING BUILDING TO REMAIN
- ASPHALT-LIGHT DUTY
- ASPHALT-HEAVY DUTY
- CONCRETE PAVEMENT HEAVY DUTY (8" THICK)
- PEDESTRIAN HARDSCAPE
- BANK AND SHORE RIP RAP FDOT SECTION 530

KEYNOTES

- 1 CONNECT TO EXISTING ASPHALT PAVEMENT
- 2 CONNECT TO EXISTING HARDSCAPE PAVEMENT
- 3 ASPHALT TO CONCRETE EDGE CONNECTION
- 4 TIE INTO EXISTING CONCRETE CURB
- 5 3' CURB TRANSITION TYPE D TO TYPE F
- CR-C CURB RAMP TYPE CR-C FDOT PLAN 522-002
- CR-E CURB RAMP TYPE CR-E FDOT PLAN 522-002
- CR-G CURB RAMP TYPE CR-G FDOT PLAN 522-002

SITE LAYOUT NOTES

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- SEE THE ELECTRICAL PLAN FOR LIGHTING AND ELECTRICAL UTILITY DETAIL. SEE THE STRUCTURAL PLAN FOR WALL AND FOUNDATION DETAIL.

BUILDING ADDRESSING NOTES

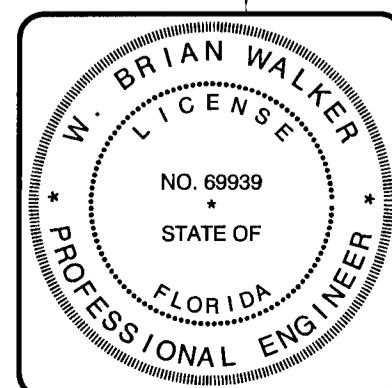


BUILDING ADDRESSING TABLE				
BUILDING #	ADDRESS			
BUILDING 1-A				
1st FLOOR	1101	1102	1103	1204
2nd FLOOR	1201	1202	1203	
3rd FLOOR	1301	1302	1303	
BUILDING 2-B				
1st FLOOR	2101	2102		
2nd FLOOR	2201	2202	2203	
3rd FLOOR	2301	2302		
BUILDING 3-A				
1st FLOOR	3101	3102	3103	
2nd FLOOR	3201	3202	3203	3204
3rd FLOOR	3301	3302	3303	
BUILDING 4-B				
1st FLOOR	4101	4102		
2nd FLOOR	4201	4202	4203	
3rd FLOOR	4301	4302		

LINE TABLE		
LINE #	LENGTH	BEARING
L1	178.79'	N86°45'22"W
L2	87.95'	N7°03'27"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	BEARING
C1	133.42'	1000.00'	66.81'	7°38'40"	133.32'	N10°52'47"E
C2	391.05'	1394.11'	196.82'	16°04'18"	389.77'	N22°44'16"E

REV. NO.	DESCRIPTION	DATE
1	RESPONSE TO COUNTY COMMENTS	7/17/20



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PROJ. DATE: AUGUST 2020
 MCE PROJ. # 07973-0001
 DRAWN: GTP
 DESIGNED: MM
 CHECKED: DPJJ
 PROJ. MGR: WBW

SCALE: HORIZONTAL: 1"=20' VERTICAL: N/A

C-202
 DRAWING NUMBER

STATUS: **ESCAMBIA COUNTY PERMIT SUBMITTAL**

LEGEND

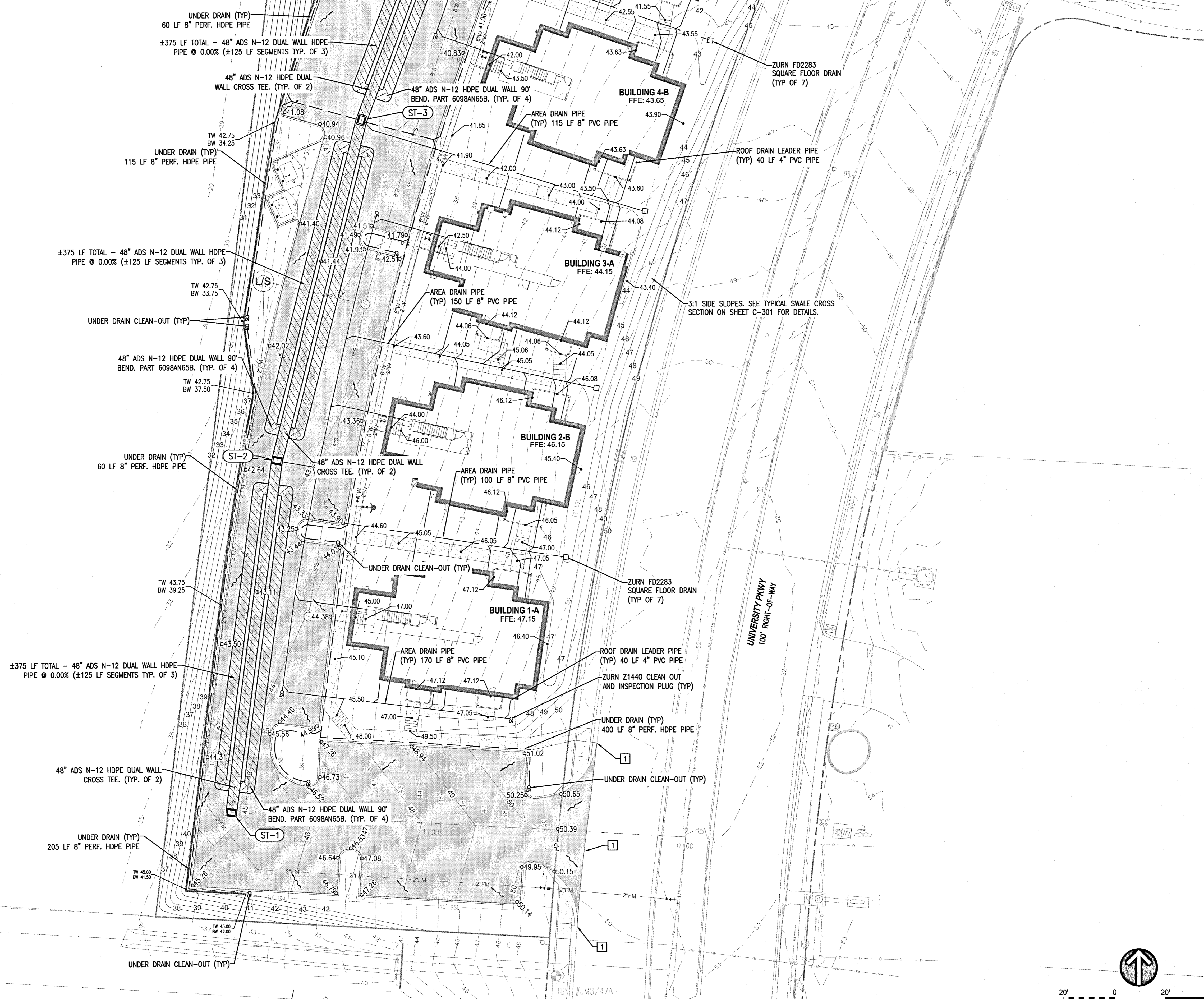
- PROPERTY BOUNDARY
- - - RIGHT-OF-WAY LINE
- - - LIMITS OF WORK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - GS - GRADE BREAK LINE
- - - HP - GRADE BREAK LINE-HIGH POINT
- - - LP - GRADE BREAK LINE-LOW POINT
- - - SWALE TOE OF SLOPE
- EXISTING STORM PIPE
- AREA DRAIN PIPE
- STORM PIPE
- UNDER DRAIN PIPE
- EXISTING BUILDING TO REMAIN
- BANK AND SHORE RIP RAP FDOT SECTION 530
- DITCH LINING RIP RAP FDOT SECTION 530
- SURFACE FLOW ARROW
- SURFACE FLOW GRADE
- SIDE SLOPE GRADE
- CURB INLETS
- DITCH BOTTOM INLET
- STORM MANHOLE
- MITERED END SECTION
- EXISTING STORM STRUCTURE LABEL
- STORM STRUCTURE LABEL
- CLEANOUT LABEL

KEYNOTES

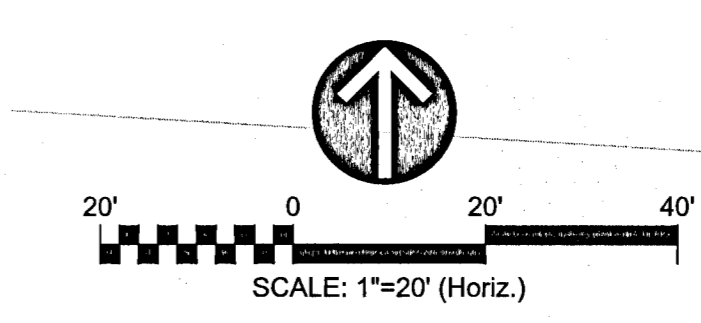
- 1 MATCH EXIST. PAVEMENT GRADE
- 2 MATCH PROPOSED GRADE

GRADING AND DRAINAGE NOTES

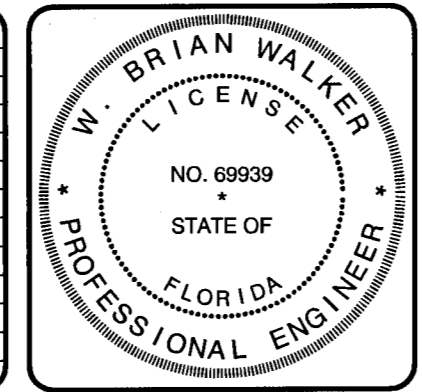
1. EXISTING DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
2. ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE THE C-400 DRAWING SERIES FOR UTILITY INFORMATION.
3. GRADING FOR ALL ADA HANDICAP PARKING SPACES AND SIDEWALK LANDINGS SHALL BE 1.90% CROSS-SLOPE (MAX) IN ALL DIRECTIONS.



DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
ST-1	FDOT TYPE "C" DITCH BOTTOM INLET	N:568796.77 E:1111721.91	44.79	48" HDPE N INV OUT=35.60
ST-2	FDOT TYPE "C" DITCH BOTTOM INLET	N:568935.96 E:1111740.53	42.46	48" HDPE S INV IN=35.60 48" HDPE N INV OUT=33.40
ST-3	FDOT TYPE "C" DITCH BOTTOM INLET	N:569070.86 E:1111773.79	40.71	48" HDPE S INV IN=33.40 48" HDPE N INV OUT=31.75



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GRADING AND DRAINAGE PLAN

PROJ. DATE: AUGUST 2020	SCALE: HORIZONTAL: 1"=20'
MCE PROJ. # 07973-0001	VERTICAL: N/A
DRAWN: GTP	
DESIGNED: MM	
CHECKED: DPJJ	
PROJ. MGR: WBW	

C-302
 DRAWING NUMBER
 REVISION
ESCAMBIA COUNTY
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LEGEND	
	PROPERTY BOUNDARY
	RIGHT-OF-WAY LINE
	LIMITS OF WORK
	EASEMENT LINE
	SITE ELEMENTS TO REMAIN
	SITE ELEMENTS
	EXISTING UTILITIES
	6" POTABLE WATER MAIN (W/ DIA)
	6" FIRE MAIN (W/ DIA)
	6" SEWER GRAVITY MAIN (W/ DIA)
	24" SEWER FORCE MAIN (W/ DIA)
	EXISTING UTILITY MANHOLES
	GATE VALVE
	CHECK VALVE
	REDUCER
	AIR RELEASE VALVE (ARV)
	EXISTING LIGHT POLE
	FDC RISER (WET)
	FDC RISER (DRY)
	FDC ON BUILDING
	PRESSURE INDICATOR VALVE (PIV)
	SANITARY MANHOLE
	SANITARY CLEAN OUT (SCO)

- UTILITY NOTES**
- ALL DRAINAGE INFRASTRUCTURE AND MECHANICAL UTILITIES SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. SEE THE DRAINAGE (C-200 SERIES) AND MECHANICAL UTILITY (CM-200 SERIES) DRAWINGS FOR DRAINAGE AND MECHANICAL UTILITY INFORMATION.
 - ALL EXISTING UTILITIES LOCATIONS AND ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
 - ALL PROPOSED UTILITIES SHALL HAVE 3' MINIMUM COVER TO THE TOP OF PIPE AND MEET THE MINIMUM SEPARATION REQUIREMENTS LISTED ON THE GENERAL NOTES (SHEET C-001) DRAWING.
 - ROD TO WITNESS ALL WATER MAIN TAPS. RCES TO WITNESS INSTALLATION OF ALL UTILITIES CROSSING EXISTING GAS MAINS.

- UTILITY NOTES - GRAVITY**
- ALL PROPOSED MANHOLES AND EXISTING MANHOLES WHICH HAVE PROPOSED CONNECTIONS SHALL BE LINED PER THE PROJECT SPECIFICATIONS.
 - THE CIVIL SCOPE ON THIS UTILITY PLAN ENDS AT THE DOWNSTREAM INVERT AT THE SAMPLING WELL (SPOC-G2). ALL APPURTENANCES AND PIPING SHOWN UPSTREAM OF SPOC-G2 FALLS UNDER THE PLUMBING SCOPE AND IS ONLY SHOWN ON THIS PLAN FOR INFORMATION ONLY.
 - BACK WASH INTO SANITARY SYSTEM FROM THE FOUNTAIN'S MECHANICAL SYSTEM SHALL NOT BE PERMITTED DURING PEAK-FLOW CONDITIONS IN OVERNIGHT HOURS. THIS OPERATION SHALL ONLY BE PERMITTED DURING LOW-FLOW CONDITIONS IN THE OVERNIGHT HOURS.

- UTILITY NOTES - MECHANICAL**
- ALL APPURTENANCES (FITTINGS, VALVES, ETC.) ASSOCIATED WITH PRESSURIZED MAINS SHOWN ON THIS PLAN SHALL BE MECHANICALLY RESTRAINED, INCLUDING UTILITY LINES SHOWN ON THE BOARDWALK. CONCRETE THRUST BLOCKS ARE NOT PERMITTED.
 - ALL PROPOSED WATER MAIN AND FORCE MAIN UTILITY WORK IS TO BE DONE PRIOR TO CONNECTING TO THE EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH OWNER ON WHEN THE EXISTING MAIN WILL BE OUT OF SERVICE. THE EXISTING WATER MAIN SHALL NOT BE OUT OF SERVICE DURING THE DOWN STREAM'S NORMAL OPERATING HOURS.
 - WHERE PROPOSED UTILITY MAINS CONNECT TO EXISTING UTILITY MAINS AND/OR WHERE EXISTING UTILITY MAINS ARE TO BE MODIFIED, CONTRACTOR SHALL INSTALL PIPE RESTRAINTS ON THE EXISTING UTILITY MAINS APPROPRIATE FOR THE FIELD CONDITION. SEE DETAIL FOR PIPE RESTRAINT REQUIREMENTS.
 - FIRE MAIN SHALL EXTEND INTO PROPOSED BUILDING TO 1.0' ABOVE FINISHED FLOOR FOR CONTINUATION BY THE FIRE PROTECTION CONTRACTOR. SEE PLUMBING PLAN FOR MORE INFORMATION.
 - CONTRACTOR SHALL FIELD ADJUST LOCATION OF FIRE HYDRANTS TO ENSURE 3'-FEET CLEARANCE TO ALL ADJACENT VERTICAL STRUCTURES. PLACEMENT OF HYDRANTS SHALL ALSO BE IN ACCORDANCE WITH THE FIRE HYDRANT DETAILS. BOLLARDS MAY BE REQUIRED TO PROTECT FIRE HYDRANTS IN CERTAIN SITUATIONS.

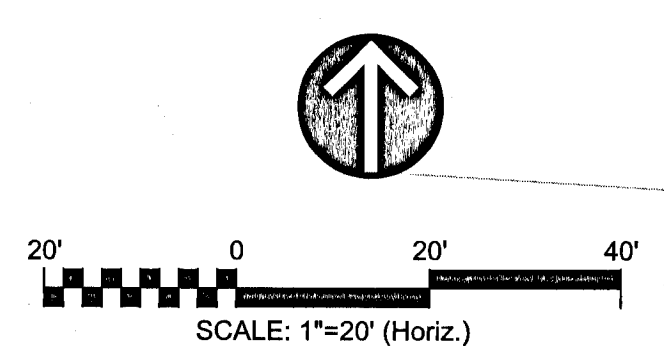


SANITARY POC TABLE

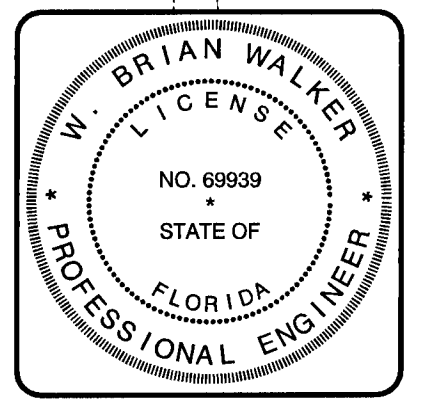
CONNECTION NAME	NORTHING EASTING	PIPE INVERT	NOTES:
SPOC-1	N:568870.57 E:1111778.23	6" INV OUT=38.44 W	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-2	N:568945.25 E:1111792.25	6" INV OUT=35.98 W	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-3	N:569016.79 E:1111809.76	6" INV OUT=33.64 W	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION
SPOC-4	N:569088.23 E:1111831.52	6" INV OUT=33.94 W	6" SANITARY P.O.C. SEE PLUMBING PLANS FOR CONTINUATION

SANITARY STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM ELEVATION	PIPE INVERT
LS-1	SANITARY LIFT STATION RIM=43.00 SEE SHEET C-941 FOR DETAIL	N:569007.10 E:1111735.24	43.00	INV IN=31.85 E PVC Pipe
S-4	4' DIA SANITARY MANHOLE	N:568997.80 E:1111775.17	42.44	INV IN=33.14 N PVC Pipe INV IN=34.00 S PVC Pipe INV OUT=32.00 W PVC Pipe
S-5	4' DIA SANITARY MANHOLE	N:568874.26 E:1111752.64	44.05	INV IN=37.15 E PVC Pipe INV OUT=35.26 N PVC Pipe



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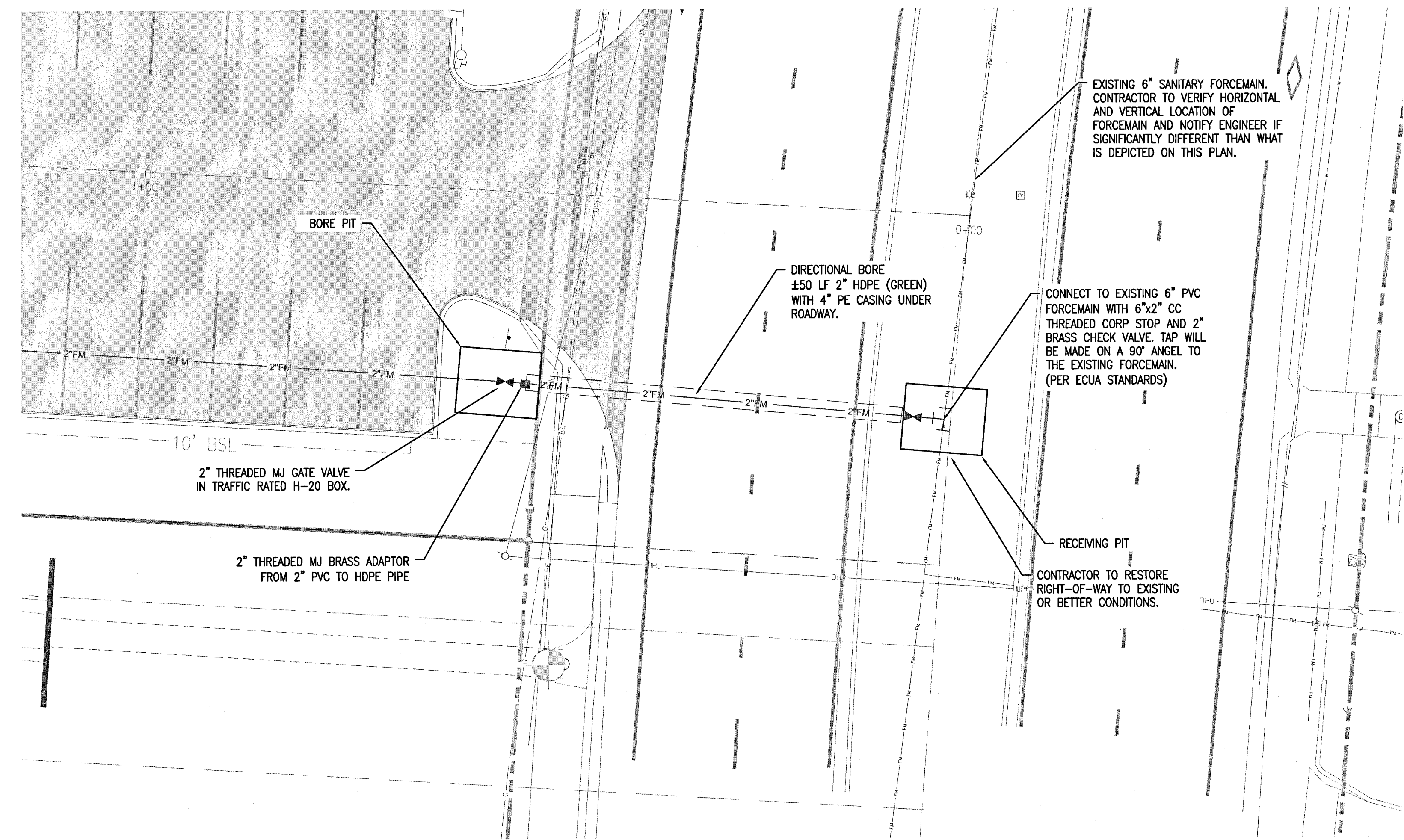
CIVIL SITE
 UTILITY PLAN

PROJ. DATE: AUGUST 2020
 MCE PROJ. #: 07973-0001
 DRAWN: GTP
 DESIGNED: MM
 CHECKED: DPJJ
 PROJ. MGR.: WBW

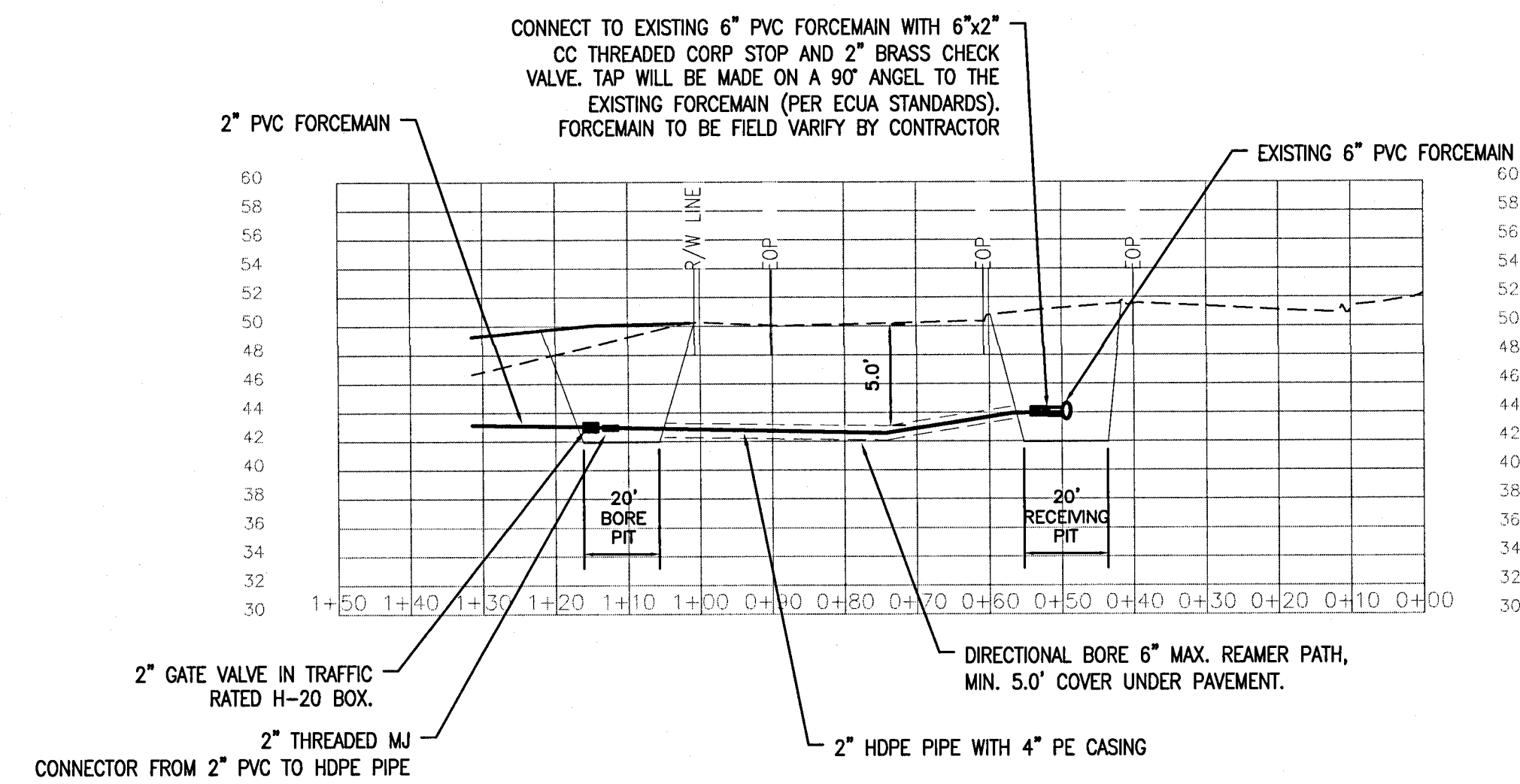
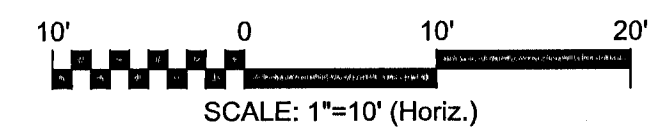
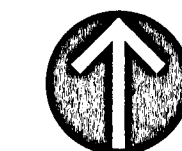
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STATUS: **ESCAMBIA COUNTY PERMIT SUBMITTAL**

C-402
 DRAWING NUMBER



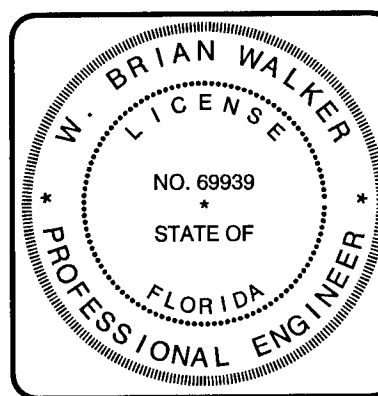
DIRECTIONAL BORE PLAN VIEW



DIRECTIONAL BORE PROFILE

HORIZ SCALE: 1"=20'
VERT SCALE: 1"=5'

REV. NO.	DESCRIPTION	DATE



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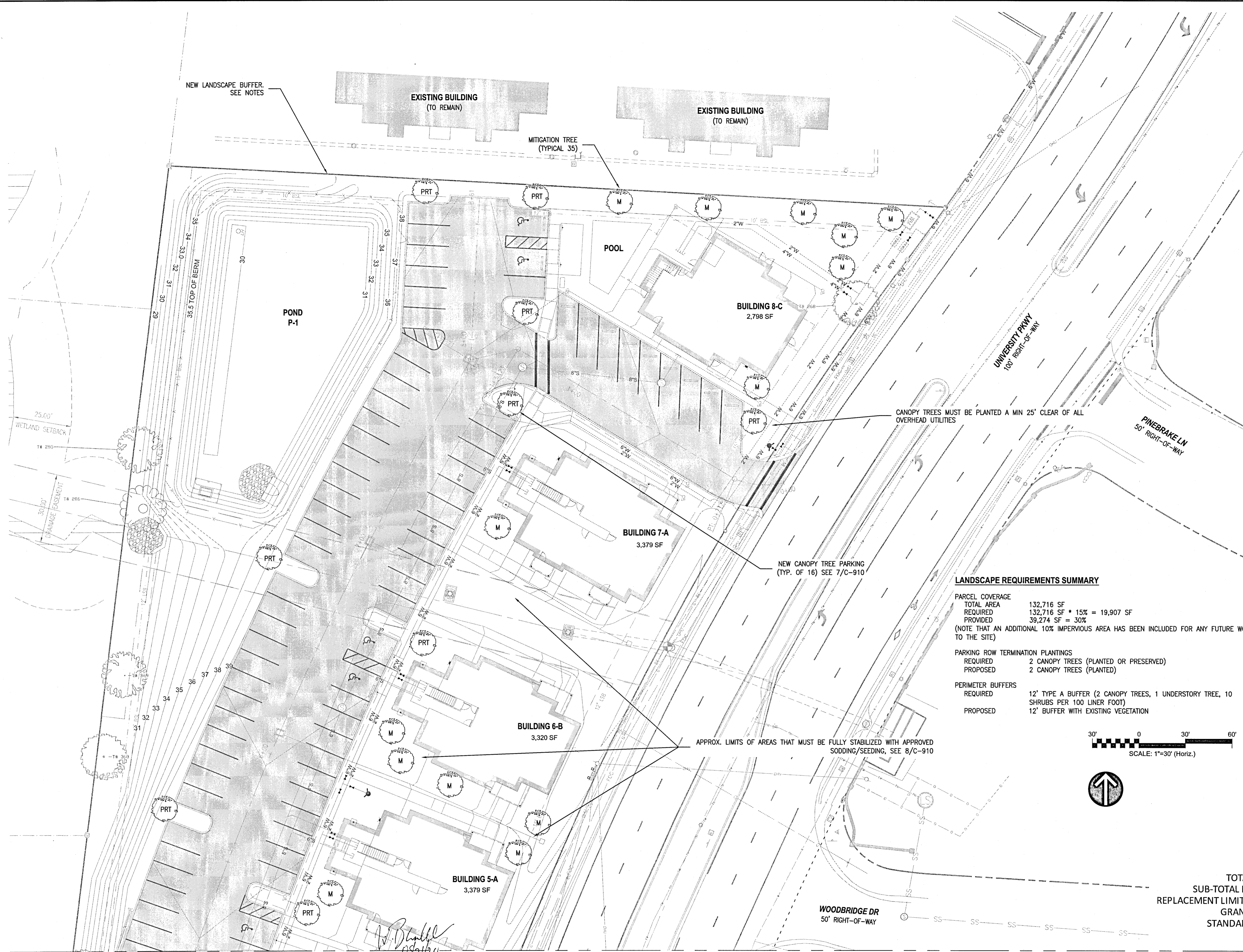
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UTILITY ENLARGEMENT

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MCE PROJ. #	07973-0001
DRAWN	GTP
DESIGNED	MM
CHECKED	DPJJ
PROJ. MGR.	WBW

SCALE
HORIZONTAL: 1"=20'
VERTICAL: N/A
C-410
DRAWING NUMBER
REVISION

STATUS: **ESCAMBIA COUNTY PERMIT SUBMITTAL**



- TREE LEGEND**
- PARKING ROW TERMINATION TREE (CANOPY)
 - MITIGATION TREE (CANOPY): A PLANT SPECIES HAVING A MATURE HEIGHT OF OVER 30 FEET, CANOPY TREES. EXAMPLES: AMERICAN HOLLY, SHUMARD OAK, LIVE OAK, OR APPROVED VARIANT.
 - TREE (UNDERSTORY): A PLANT SPECIES SMALL AND TOLERANT THAT TYPICALLY GROWS BENEATH CANOPY TREES AND HAVE A MATURE HEIGHT OF 20 FEET. UNDERSTORY TREES. EXAMPLES: DAHOON HOLLY, WAXMYRTLE, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBIA COUNTY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL (SABAL PALMETTO). THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

Number of new trees planted on site	Maximum percentage of any one species planted
5-19	67%
20-49	40%
50 or more	30%

- NOTE:**
- THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
 - NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED
 - ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
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 - NEW TREE PLANTING MUST CONTAIN A 6' RADIUS CLEAR ZONE FOR ROOTING.
 - NEW CANOPY TREES TO BE SOUTHERN LIVE OAK, SOUTHERN RED OAK, BALD CYPRESS OR APPROVED EQUAL.
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PLANT PLACEMENT
THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.

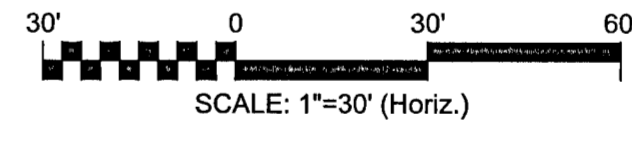
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EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.

OVERHEAD UTILITIES
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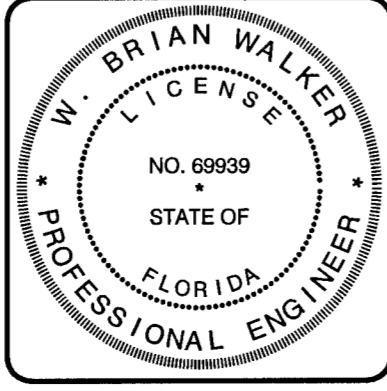
LANDSCAPE REQUIREMENTS SUMMARY

PARCEL COVERAGE	
TOTAL AREA	132,716 SF
REQUIRED	132,716 SF * 15% = 19,907 SF
PROVIDED	39,274 SF = 30%
(NOTE THAT AN ADDITIONAL 10% IMPERVIOUS AREA HAS BEEN INCLUDED FOR ANY FUTURE WORK TO THE SITE)	
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REQUIRED	2 CANOPY TREES (PLANTED OR PRESERVED)
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REQUIRED	12' TYPE A BUFFER (2 CANOPY TREES, 1 UNDERSTORY TREE, 10 SHRUBS PER 100 LINER FOOT)
PROPOSED	12' BUFFER WITH EXISTING VEGETATION



TOTAL PROTECT INCHES	1021
TOTAL REMOVED & ROOT IMPACT INCHES	756
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%)	378
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SCALE: HORIZONTAL: C-801
VERTICAL: N/A
STATUS: ECUA PERMIT SUBMITTAL

MATCHLINE: SHEET C802

LF
50'

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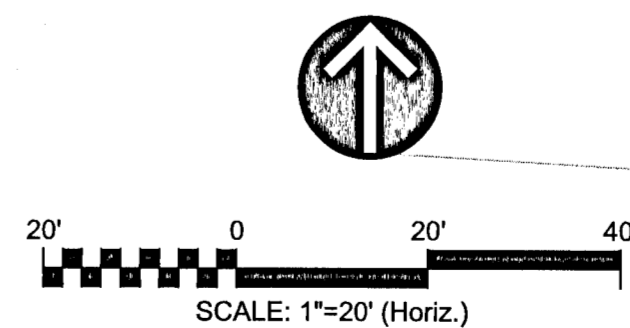
APPROX. LIMITS OF AREAS THAT MUST BE FULLY STABILIZED WITH APPROVED SODDING/SEEDING, SEE 8/C-910

MITIGATION TREE (TYPICAL 35)

NEW LANDSCAPE BUFFER. SEE NOTES

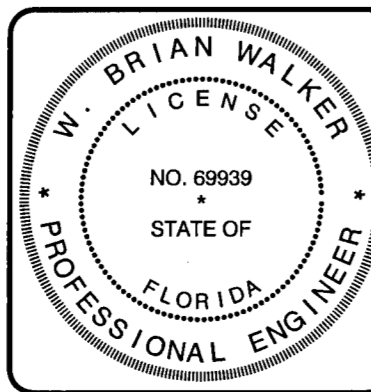
NEW CANOPY TREE PARKING (TYP. OF 16) SEE 7/C-910

CANOPY TREES MUST BE PLANTED A MIN 25' CLEAR OF ALL OVERHEAD UTILITIES



TOTAL PROTECT INCHES	1021
TOTAL REMOVED & ROOT IMPACTION INCHES	756
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%)	378
REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 3.43 ACRES	86
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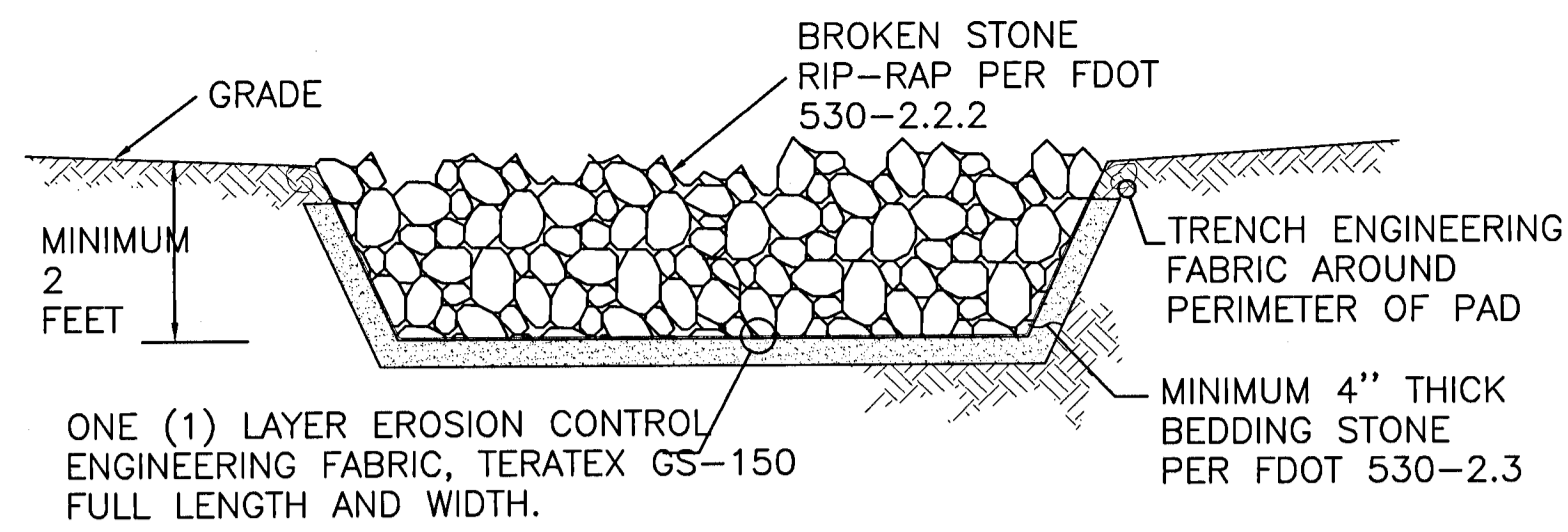
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 DESIGNED: MM
 CHECKED: DPJ
 PROJ. MGR: WBW

SCALE: HORIZONTAL: **C-802**
 VERTICAL: N/A

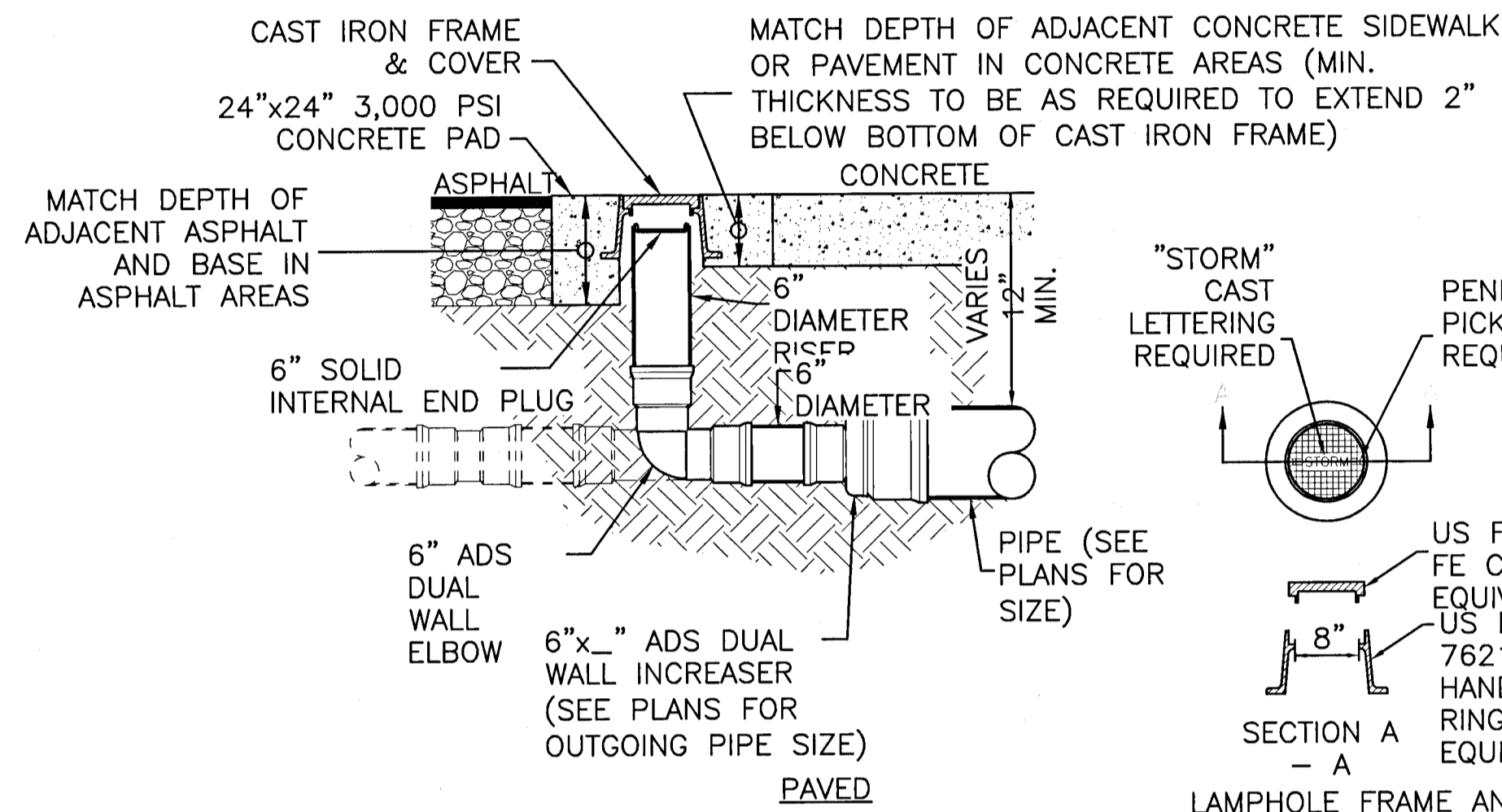
STATUS: **ECUA PERMIT SUBMITTAL**



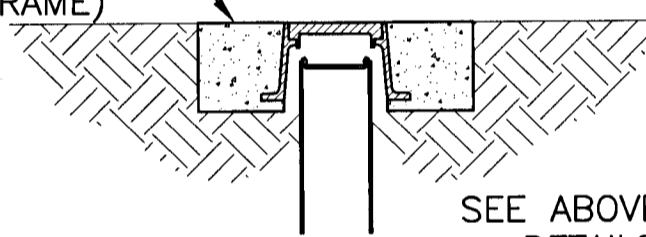
NOTES:

1. RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
2. TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

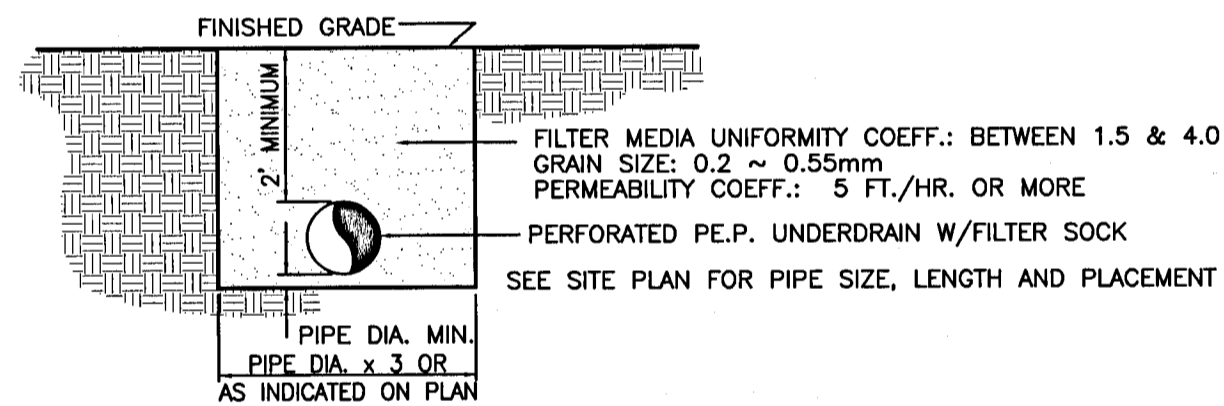
RIP-RAP PAD (1) C-930 NOT TO SCALE



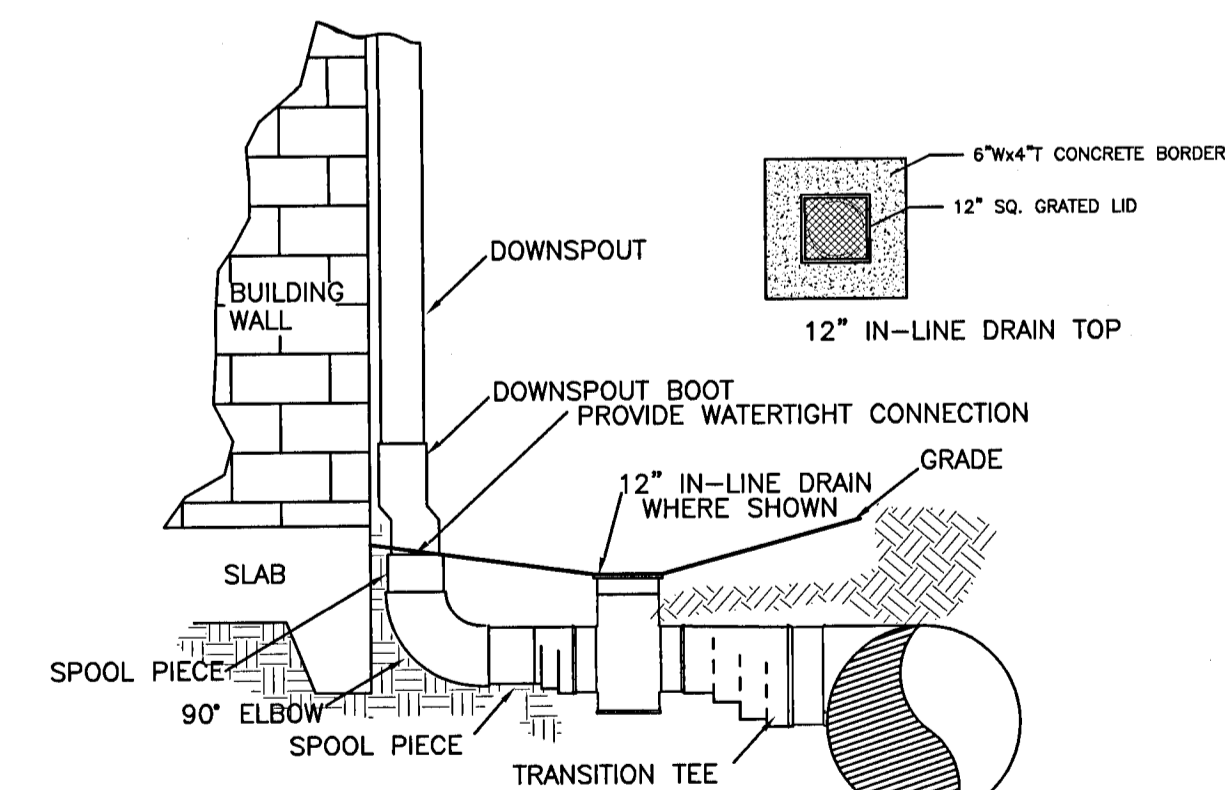
24"x24" 3,000 PSI CONCRETE PAD (MIN. THICKNESS TO BE 6" OR AS REQUIRED TO EXTEND 2" BELOW BOTTOM OF CAST IRON FRAME)



STORM WATER LAMPHOLE (5) C-930 NOT TO SCALE

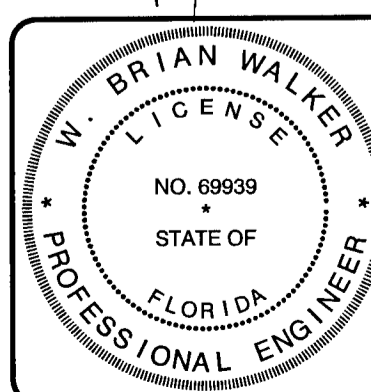


UNDERDRAIN PIPE SECTION (8) C-930 NOT TO SCALE



SEE ARCHITECTURAL/CIVIL PLANS TO COORDINATE DOWNSPOUT SIZE AND LOCATIONS
DOWNSPOUT CONNECTOR DETAIL (9) C-930 NOT TO SCALE

W. Walker
4/1/20



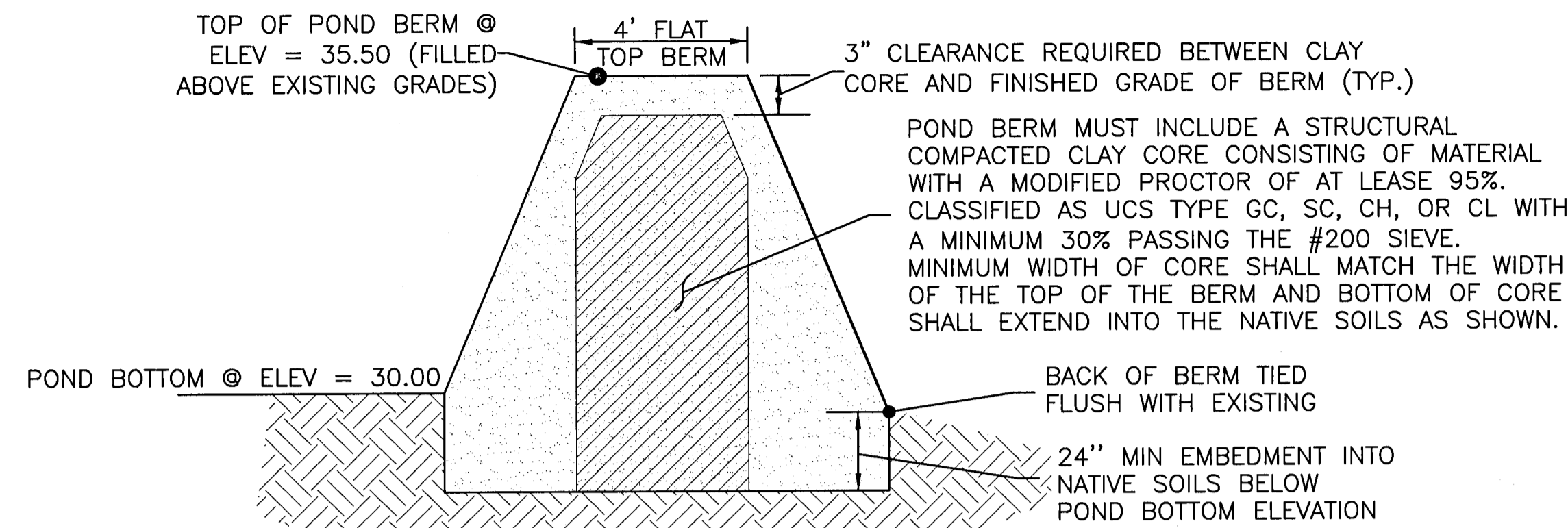
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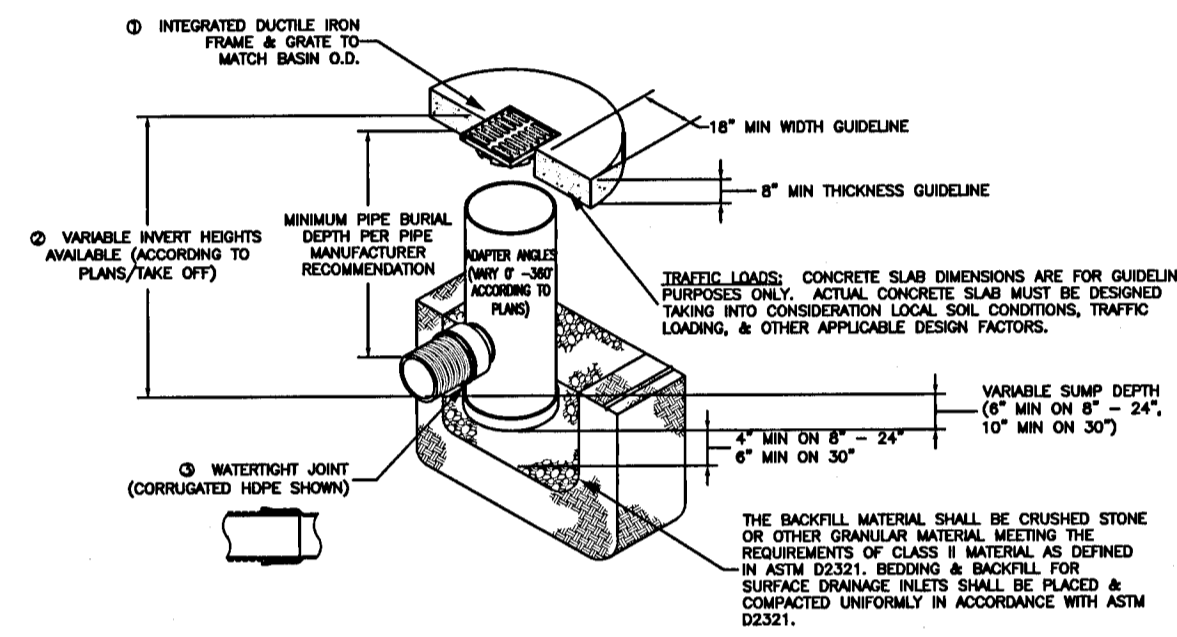
PROJ. DATE: AUGUST 2020	SCALE	C-930 DRAWING NUMBER
MCE PROJ. # 07973-0001	HORIZONTAL: 1"=20'	
DRAWN: GTP	VERTICAL: N/A	
DESIGNED: MM	REVISION	
CHECKED: DPJJ	PROJECT: ESCAMBIA COUNTY PERMIT SUBMITTAL	
PROJ. MGR: WBW		



NOTES:

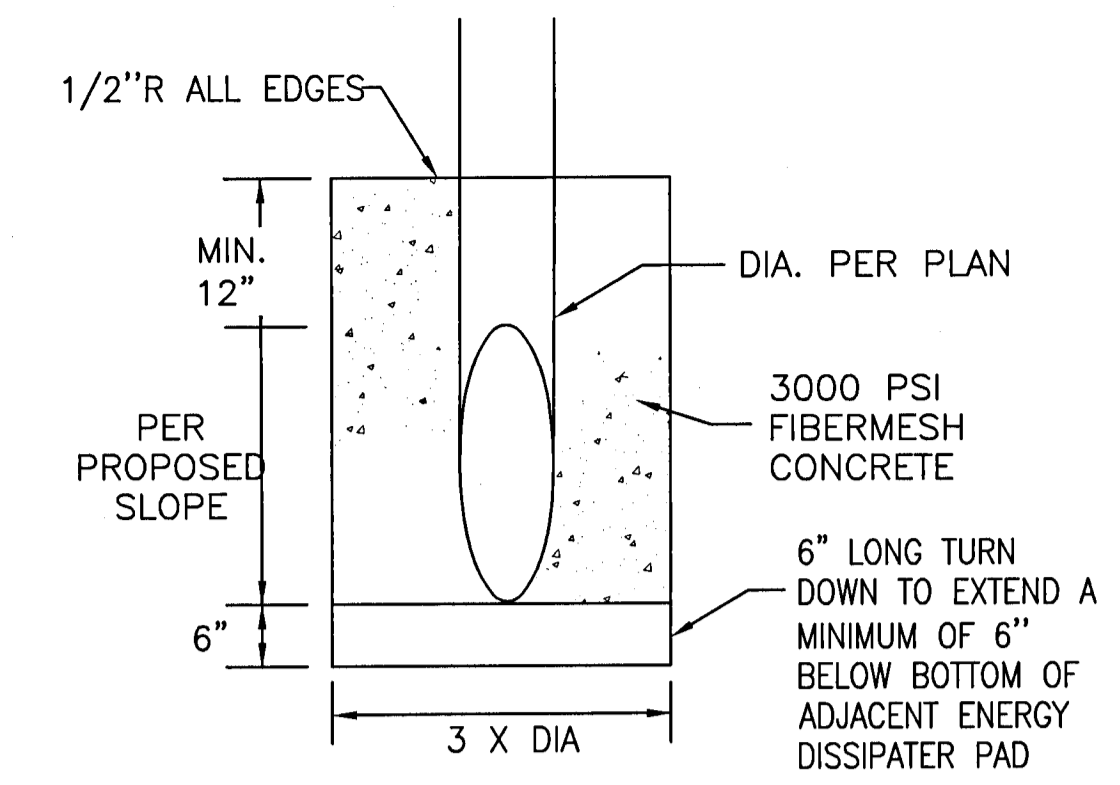
1. PRIOR TO CONSTRUCTION OF NEW STRUCTURAL POND BERM, CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION OF EXISTING SOILS ALONG FULL LENGTH OF BERM DOWN TO ELEVATION 23.00.
2. EMBANKMENT FILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN LOOSE DEPTH, WITH EACH LAYER COMPACTED WITHIN 2% OF OPTIMAL MOISTURE CONTENT TO 98% MAXIMUM DRY DENSITY PER ASTM D1557.

STRUCTURAL POND BERM (2) C-930 NOT TO SCALE

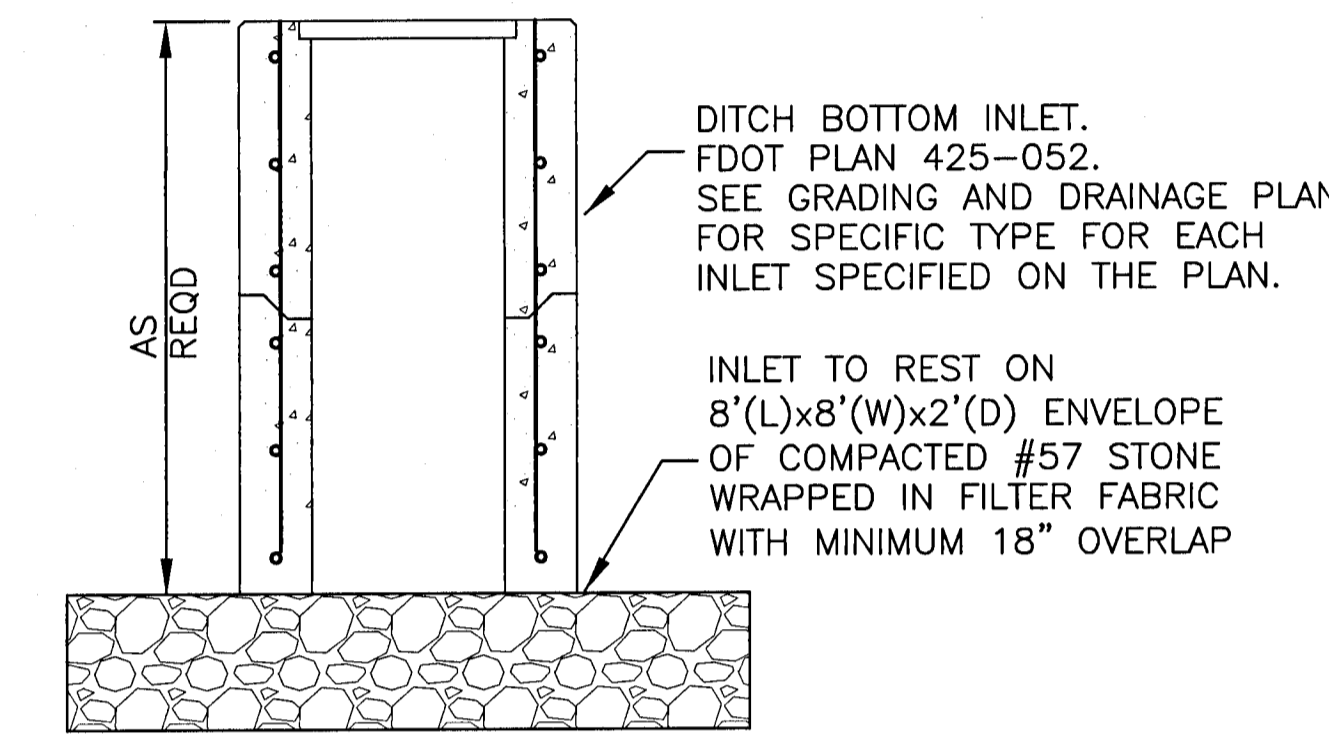


- NOTES:**
1. GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A534 GRADE 70-90-05 AND SHALL MEET 75-100 LB LOAD RATING. SEE PLANS FOR GRATE COVER SHAPES (ROUND VS. SQUARE).
 2. GRATE BASKETS TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
 3. DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HOPE.
 4. HANDED ANGLE WELDES. SEE PLANS FOR LAYOUT.

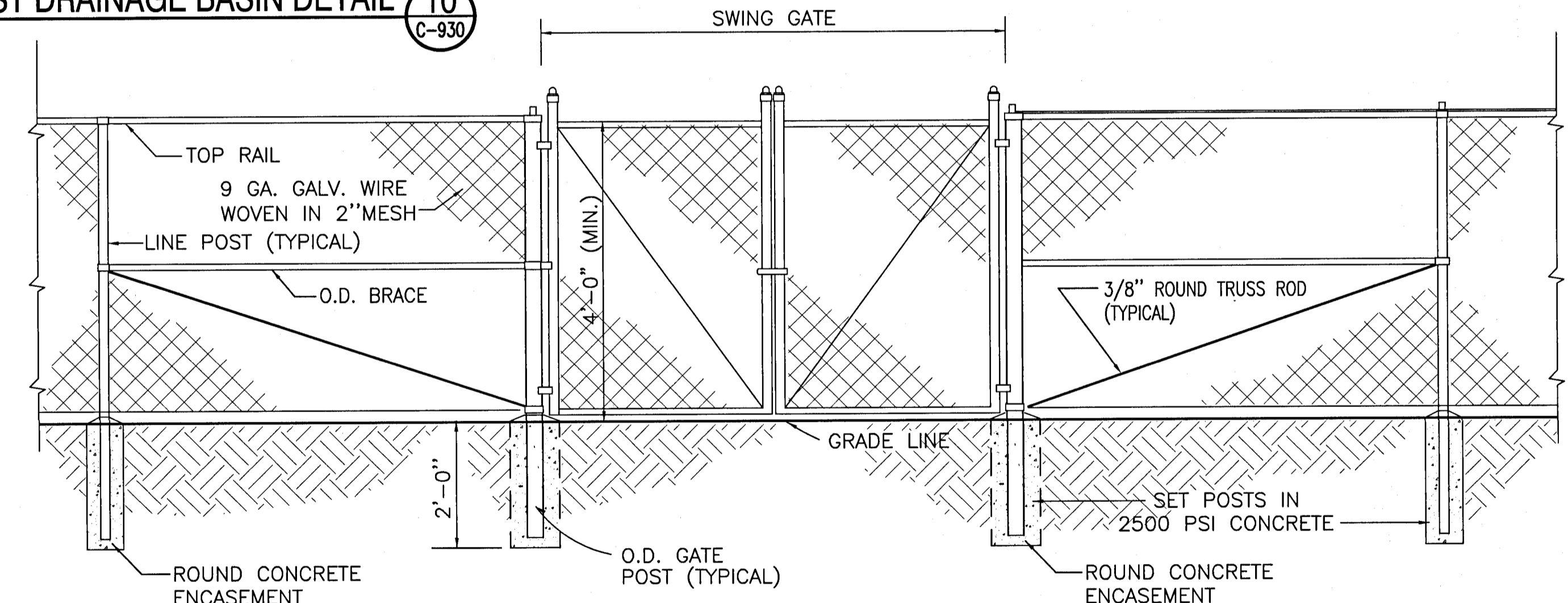
NYOPLAST DRAINAGE BASIN DETAIL (10) C-930 NOT TO SCALE



CONCRETE MITERED END SECTION (3) C-930 NOT TO SCALE



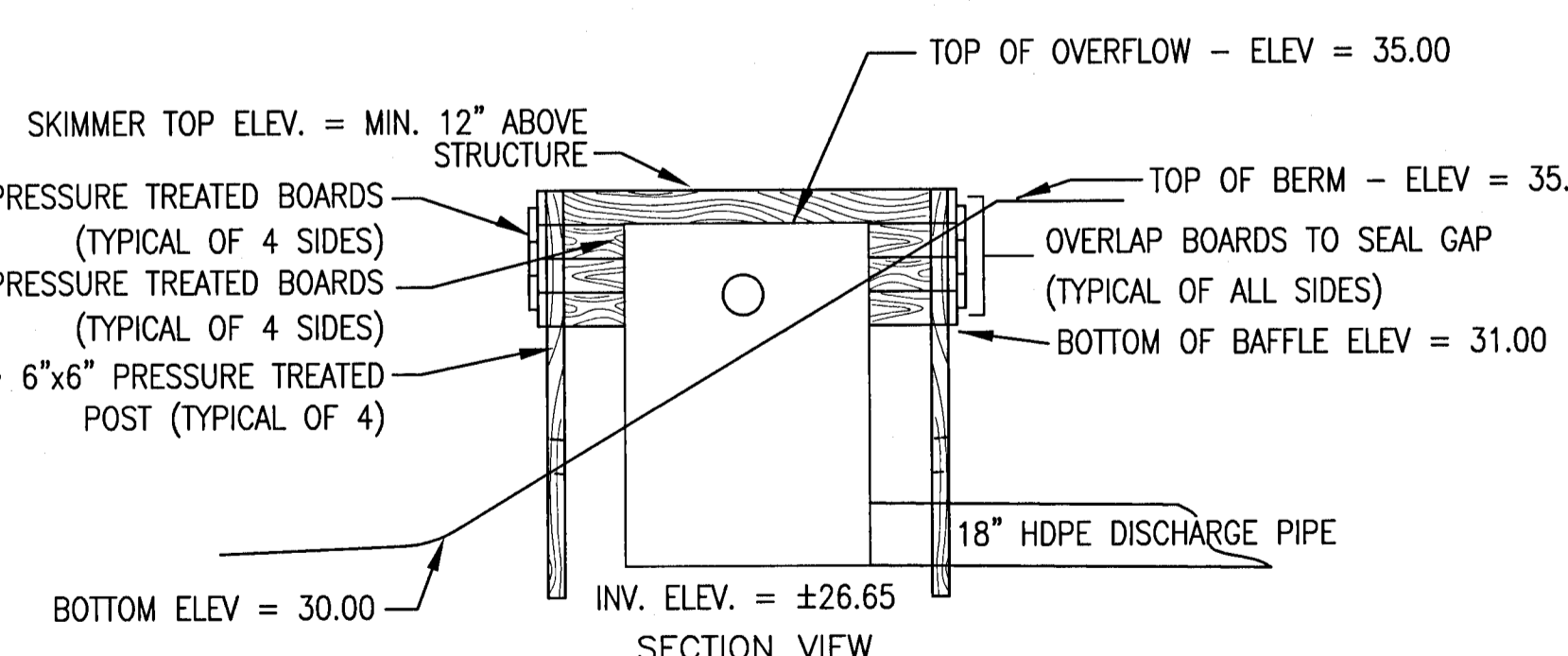
BOTTOMLESS CONCRETE INLET (4) C-930 NOT TO SCALE



- FABRIC:** K & K, 2" X 9 GAUGE, 2 OZ. G.A.W.
- TOP RAIL:** 1-5/8" O.D. SS20
- LINEPOST:** 2" O.D. SS20
- TERMPPOST:** 3" O.D. SS20
- GATEPOST:** 3" O.D. SS20
- DRIVE GATEPOST:** 4" O.D. SS20
- GATEFRAME:** 1-5/8" O.D. WITH CENTER BRACE SS20
- DRIVE GATEFRAME:** 2" O.D. SS20

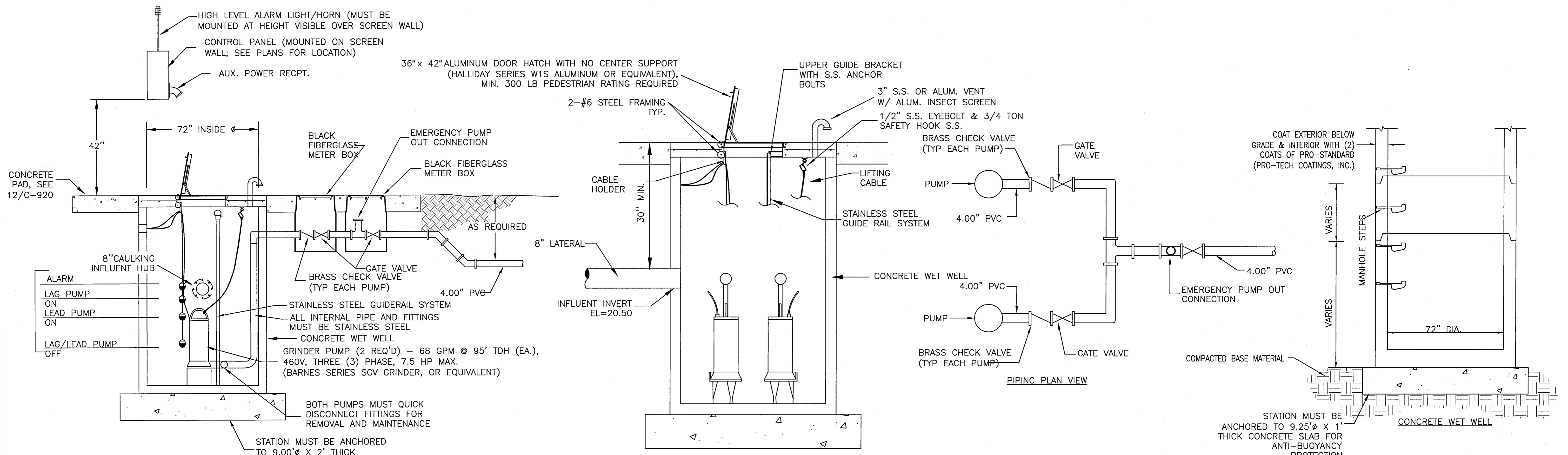
- TIES:** 9 GAUGE ALUMINUM NO. 7 GAUGE SPRING STEEL GALVANIZED STEEL
- ALL CAPS AND HARDWARE:** 10' ON CENTER AND FULL DEPTH CONCRETE OF 2500 PSI
- POST SETTING:** LINEPOST, 6" x 36"; CORNERS, 8" x 36"; GATES, 12" x 36"
- FOOTINGS:**

STORM WATER SECURITY FENCE (7) C-930 NOT TO SCALE



SKIMMER STRUCTURE DETAIL (6) C-930 NOT TO SCALE

REV. NO.	DESCRIPTION	DATE
A	COUNTY COMMENTS	JULY 9, 2020
REVISIONS		

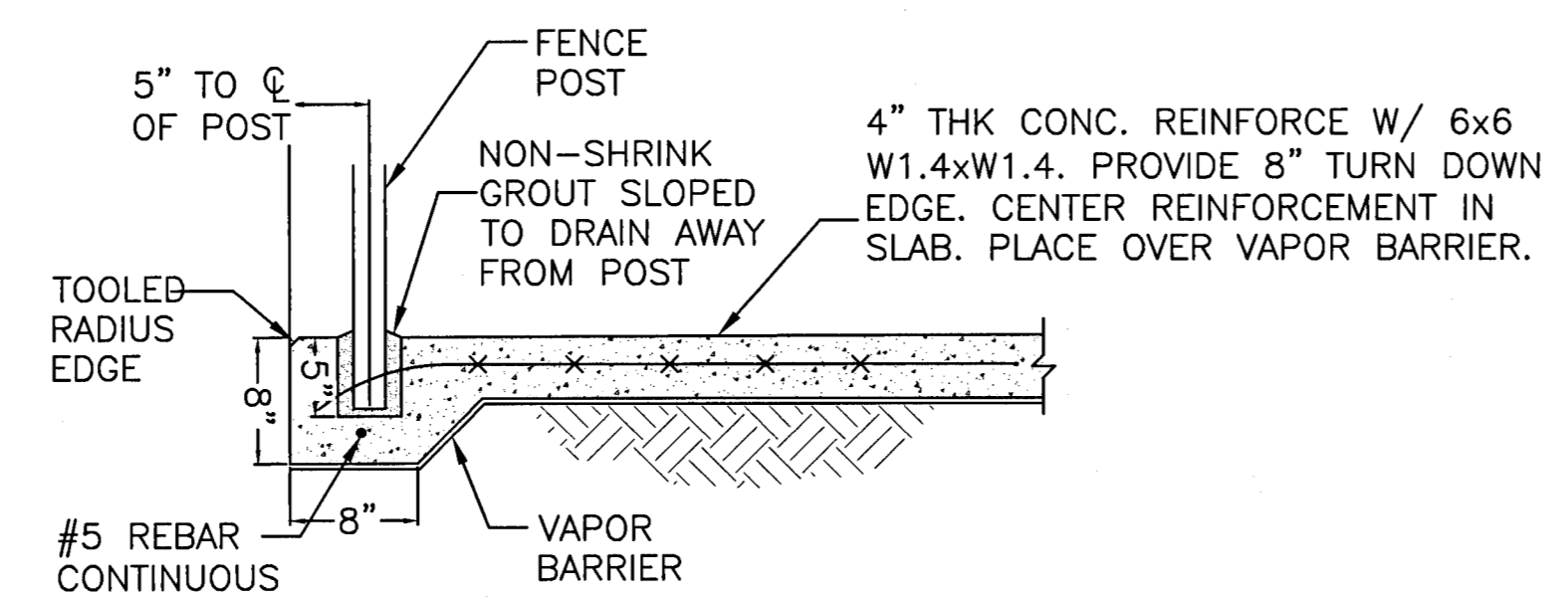


PUMP CONTROL TABLE

STATION TOP EL = ±43.00
INFLUENT INVERT @ 31.85
ALARM @ 30.15
LAG PUMP ON @ 29.15
LEAD PUMP ON @ 28.15
LAG/LEAD PUMP OFF @ 27.15
STATION INVERT EL = 26.00

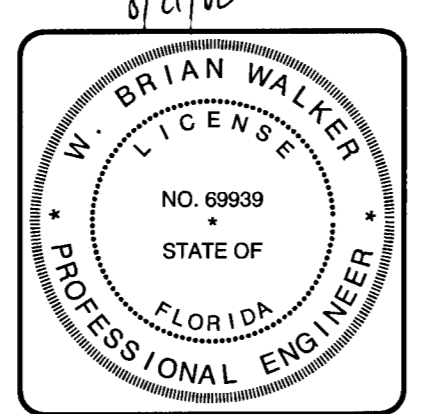
- NOTES:**
1. CONTRACTOR MUST SUBMIT DETAILED SHOP DRAWINGS OF STATION, PUMPS, PIPING, FITTINGS, VALVES, METER BOXES AND OTHER RELATED FEATURES TO ENGINEER FOR APPROVAL.
 2. ELECTRICAL WORK BETWEEN PANEL AND PUMP STATION TO BE COMPLETED BY PUMP CONTRACTOR. WORK MUST BE IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS INCLUDING BUT NOT LIMITED TO WIRING, CONDUIT AND CONNECTIONS.
 3. CONTRACTOR MUST TAKE CARE TO NOT COMPROMISE BUILDING FOUNDATION
 4. THE CONTRACTOR MUST ENSURE COMPATIBILITY OF PROPOSED PUMPS, UNDER ALL POTENTIAL OPERATING CONDITIONS, WITH THE PROPOSED BREAKER SIZE.
 5. SYSTEM TO INCLUDE FLOW METER

SANITARY GRINDER STATION 1
NOT TO SCALE



EQUIPMENT PAD AND FENCE MOUNTING 2
NOT TO SCALE

REV. NO.	DESCRIPTION	DATE



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SPECTRA UWF STUDENT HOUSING
9600 UNIVERSITY PARKWAY
DETAILS
GRINDER STATION DETAILS

PROJ. DATE: AUGUST 2020	SCALE: HORIZONTAL: 1"=20'	C-941 DRAWING NUMBER
MCE PROJ. # 07973-0001	VERTICAL: N/A	
DRAWN: GTP		
DESIGNED: MM		
CHECKED: DPJJ		REVISION
PROJ. MGR: WBW		ESCAMBIA COUNTY PERMIT SUBMITTAL