

CIVIL SITE PLANS FOR
PINE MEADOW VETERINARY CLINIC
 610 WEST NINE MILE ROAD
 PENSACOLA, FLORIDA 32534

INDEX OF DRAWINGS

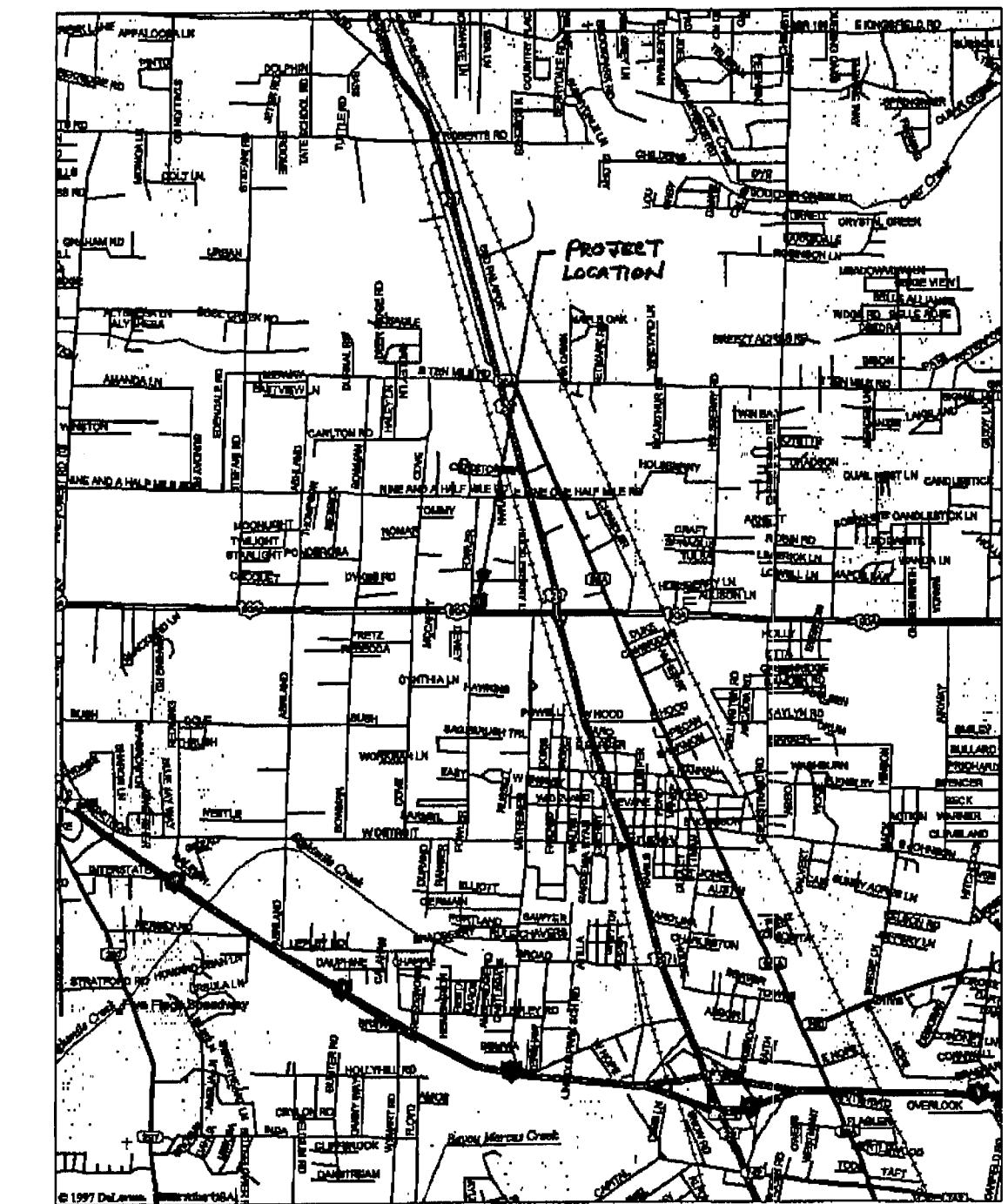
- T1 - TITLE SHEET AND GENERAL NOTES
- C1 - EXISTING SITE
- C2 - DEMOLITION PLAN
- C3 - SITE PLAN
- C4 - GRADING PLAN
- C5 - RETENTION POND DETAILS
- C6 - LANDSCAPE PLAN
- C7 - EROSION CONTROL PLAN
- C8 - UTILITY PLAN
- C9 - STAKING PLAN
- C10 - FOWLER AVENUE CONNECTION PLAN
- C11 - CONSTRUCTION DETAILS
- C12 - CONSTRUCTION DETAILS
- C13 - UTILITY DETAILS

OWNER INFORMATION/DEVELOPER

OWNER: BAYOU TIGERS ENTERPRISES LLC
 DRS. COY AND STAFFORD
 550 WEST NINE MILE ROAD
 PENSACOLA, FLORIDA 32534

PROPERTY REFERENCE #: 09-1S-30-2101-075-008 (NEW FACILITY)
 09-1S-30-2101-073-008 (EXISTING FACILITY)

CURRENT ZONING DESIGNATION: HC/LI
 FLU CATEGORY: C



VICINITY MAP
 SCALE: 1"=0.50 MILE

GENERAL NOTES

1. All work shall comply with these specifications and applicable standards established by Escambia County. Where these Specifications and the County Standards deviate, the more stringent requirements shall prevail unless approved otherwise by the engineer of record.
2. The Contractor shall coordinate the work of the utility subcontractors to ensure that all utility installations proceed in a timely manner and to prevent conflicts in the installation of the water, sewer, electric power, and telephone lines.
3. All conditions and stipulations of the construction permits and the approvals issued by the Escambia County, the Northwest Florida Water Management District Protection and the Escambia County Utilities Authority (ECUA) complied with in every detail.
4. Notify Escambia County inspector 24 hours before beginning every phase of construction.
5. This is not a survey, boundary information based upon a survey performed by Northwest Florida Land Surveying, Inc. dated 07-22-19 with Project Number: 23135.

GENERAL NOTES:

1. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
2. The contractor shall notify Sunshine utilities 48 hours in advance prior to digging within right-of-ways (1-800-432-4770).
3. All disturbed areas and detention ponds will be fertilized, seeded, and mulched in accordance with the following guidelines:
 - a. Slopes greater than or equal to 1:1 - sodded and pinned.
 - b. Slopes less than 1:1 but greater than 1:2 - sodded or fertilized, seeded, and mulched.
 - c. Slopes less than or equal to 1:2 - fertilized, seeded, and mulched.
4. Elevations are based on 2 temporary benchmarks as shown on Sheet C1.

BENCHMARK DATA:

BM-1 "X" SCRIBED IN CONCRETE
 ELEVATION= 118.20' (NAVD88)

BM-2 NAIL AND DISK IN ASPHALT
 ELEVATION= 115.61' (NAVD88)

FLOOD STATEMENT:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0295G, MAP REVISION DATED SEPTEMBER 29, 2006.

4. Building Finished Floor Elevation = 119.83' (SEE SHEET C4).
5. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issue of a final certificate of occupancy.
6. The project engineer (engineer of record) shall provide to Escambia County As-Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As-Built Certification" that the project construction adheres to the permitted plans and specifications. As-Built drawings shall include topo of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as-built data." The As-built Certification or the As-Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
7. The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation.
8. All disturbed areas which are not paved are to be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.
9. Contractor shall maintain record drawings during construction which show As-Built conditions of all work including piping, drainage structures, topo of pond, outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Engineer prior to requesting final inspection.
10. The owner or his agent shall arrange/schedule with the County Engineer a final inspection of the development upon completion and any intermediate inspections at 850-595-3472. As-built certification is required prior to request for final inspection/approval.
11. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining certificate of occupancy.
12. The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way.
13. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
14. All new building roof drains, down spouts and gutters shall be routed to carry all stormwater to retention/detention areas.
15. Notify Sunshine utilities 48 hours in advance prior to digging within R/W; 1-800-432-4770.

16. Retention/Detention areas shall be substantially complete prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.
17. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection.

GENERAL REQUIREMENTS FOR ROADWAY CONSTRUCTION

1. All unsuitable subgrade material shall be removed to a depth of at least 2 feet below the pavement base and back filled with clean sand. Unsuitable material removal shall extend a distance of at least one foot beyond the back of curb on each side of the roadway. For additional details, see Standard Index 500 of the FDOT Roadway and Traffic Design Standard, latest edition. Work under this item shall comply with Section 120 of the FDOT Specs.
2. The surface coarse for on-site pavement shall be either 6-inch concrete with 6x6 2.1x2.1 welded wire fabric or SP12.5 or SP9.5 asphalt. The base shall be 4-6" limerock base or sand-clay base compacted to 95% modified proctor LBR 100 (min.).
3. All non-handicap parking lines, stop bars and direction arrows shall be solid white thermoplastic markings constructed in accordance with the "Manual on Uniform Traffic Control Devices".

UTILITY CONSTRUCTION

1. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
2. The Contractor shall notify the superintendents of the water, sewer, telephone and power companies 5 days in advance, that he intends to start work in a specific area. The owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
3. Notify Sunshine utilities 48 hours in advance prior to digging within right-of-way at 1-800-432-4770.
4. The Contractor is responsible for all costs associated with utility connection to existing mains.
5. All work shall comply with applicable standards established by the ECUA, Escambia County Health Department and the Florida Department of Environmental Protection and the written specifications contained herein.

DESIGNED AND DRAWN BY
ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION #: 6515
 GREGORY ALLEN CAMPBELL P.E.
 FLORIDA LICENSE #: 38572

2120 MARIA CIRCLE
 PENSACOLA, FL. 32514
 (850) 982-8606

Approved
 ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *Charles F. Conzelmann* Date: 09-03-19
 Printed Name: Charles F. Conzelmann
 Development Services, Director of Planning

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION #: 6515
 2120 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FL PE LICENSE #: 38572

PROJECT TITLE:
 PINE MEADOW VETERINARY CLINIC
 610 W NINE MILE ROAD
 PENSACOLA, FLORIDA
 ESCAMBIA COUNTY, FL

SHEET TITLE:
**TITLE SHEET AND
 GENERAL NOTES**

DATE: 09-03-19

SCALE: N.T.S.

SHEET NUMBER:

T1
 SHEET 1 OF 14



NO.	REVISIONS	BY	DATE

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 3184, PAGE 948)

COMMENCING ON THE EAST LINE OF LOT 8, BLOCK 8, PENSACOLA FARM LAND SUBDIVISION, SECTION 9, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN DEED BOOK 67 AT PAGE 345 AND THE NORTH LINE OF 9 MILE ROAD; THENCE WEST ALONG THE NORTH LINE OF 9 MILE ROAD FOR 155.0 FEET TO THE POINT OF BEGINNING; THENCE NORTH PARALLEL TO THE EAST LINE OF LOT 8, 175.00 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF LOT 7, BLOCK 7, 175.00 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF LOT 8, BLOCK 8, 175.00 FEET; THENCE EAST ALONG THE NORTH LINE OF 9 MILE ROAD 175.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 7036, PAGE 1438)

COMMENCING ON THE EAST LINE OF LOT EIGHT (8), BLOCK EIGHT (8), PENSACOLA FARM LAND SUBDIVISION SECTION 9, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA ACCORDING TO THE PLAT THEREOF RECORDED IN DEED BOOK 67 AT PAGE 345 AND THE NORTH LINE OF 9 MILE ROAD; THENCE WEST ALONG THE NORTH LINE OF 9 MILE ROAD FOR 155.0 FEET TO THE POINT OF BEGINNING; THENCE NORTH PARALLEL WITH THE EAST LINE OF LOT 8 FOR 325.0 FEET, THENCE WEST PARALLEL WITH NORTH LINE OF LOT 7, BLOCK 8 FOR 297.0 FEET, THENCE SOUTH PARALLEL WITH THE WEST LINE OF LOTS 7 AND 8 FOR 325 FEET TO THE NORTH LINE OF 9 MILE ROAD, THENCE EAST ALONG THE NORTH LINE OF 9 MILE ROAD FOR 297.0 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE SOUTHERLY 150' OF THE WESTERLY 100'.

GENERAL NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING SUB FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE WEST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF SOUTH 03 DEGREES 43 MINUTES 31 SECONDS WEST.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 120330 0295 C, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET.
- UNDERGROUND UTILITIES SHOWN HEREON ARE TO BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 PRIOR TO DIGGING.

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ 1/2" CAPPED IRON ROD, NUMBERED 6993 (FOUND)
- ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING
- ~ BENCHMARK
- ~ FIRE HYDRANT
- ~ WATER METER
- ~ WATER VALVE
- ~ GAS VALVE
- ~ STORM WATER INLET
- ~ LIGHT POLE
- ~ UTILITY POLE
- ~ GUY ANCHOR
- ~ CABLE PEDISTAL
- ~ CROSS WALK SIGNAL
- ~ SIGN
- ~ MONITORING WELL
- [123] ~ MAIL BOX
- ~ BUSINESS SIGN

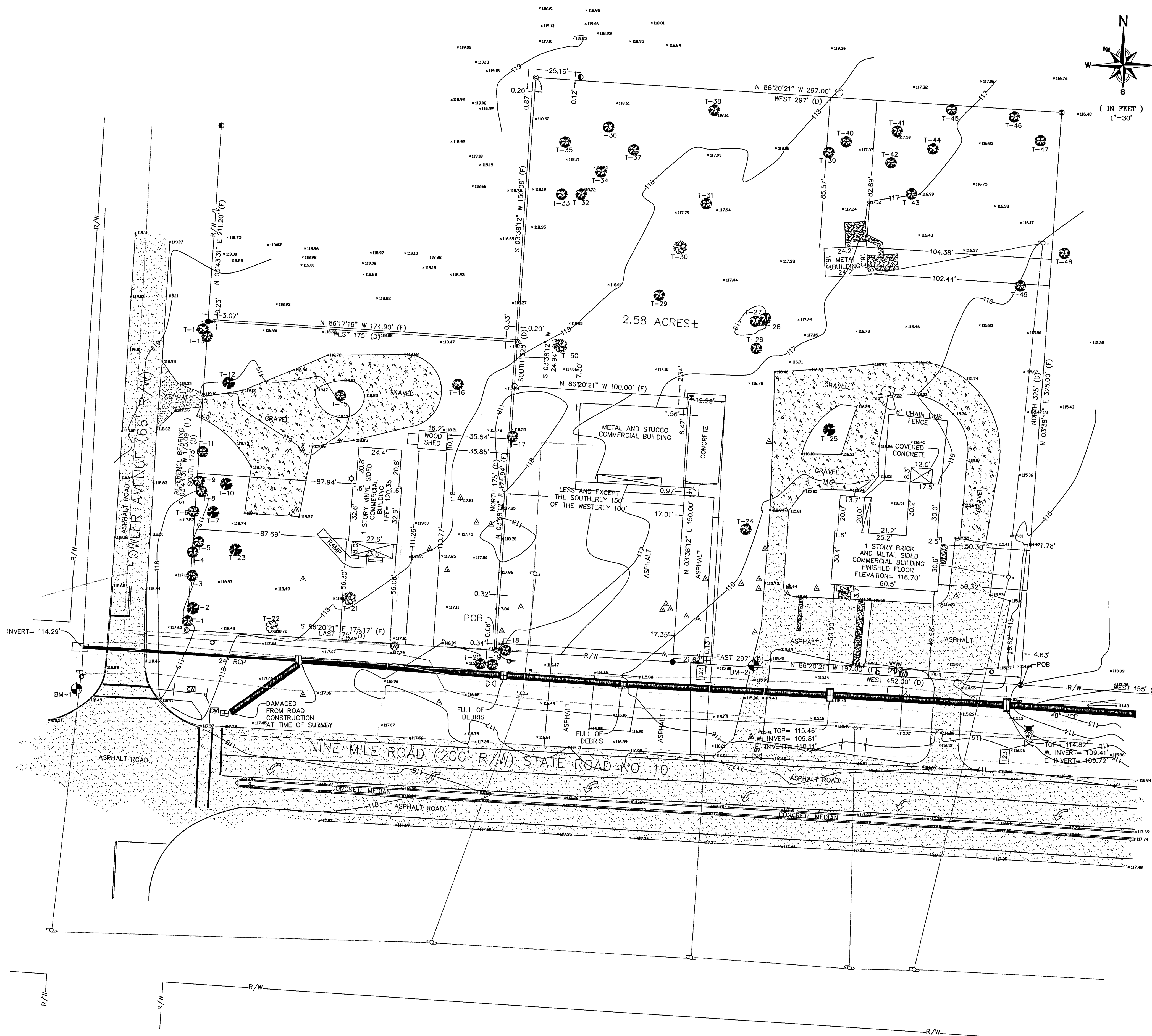
SPECIAL LINES:

- ~ WATER SERVICE PIPE
- ~ SANITARY SEWER PIPE
- ~ BURIED FIBER OPTIC CABLE LINE
- ~ BURIED GAS LINE
- ~ OVERHEAD ELECTRICAL
- ~ STORM WATER PIPE
- ~ WHITE STRIPE
- ~ YELLOW STRIPE

BENCHMARK DATA:

- BM-1 "X" SCRIBED IN CONCRETE ELEVATION= 118.20' (NAVD88)
- BM-2 NAIL AND DISK IN ASPHALT ELEVATION= 115.61' (NAVD88)

EXISTING TREE SCHEDULE		
PLANT DESIGNATION	PLANT SPECIES	TREE DIA.
T1 (OFFSITE)	LIVE OAK (OFFSITE)	19"
T2	LIVE OAK	16"
T3	LIVE OAK	15"
T4	LIVE OAK	15"
T5	LIVE OAK	16"
T6	LIVE OAK	67"
T7	LIVE OAK	23"
T8	LIVE OAK	21"
T9	LIVE OAK	16"
T10	LIVE OAK	15"
T11	LIVE OAK	17"
T12	LIVE OAK	34"
T13	LIVE OAK	16"
T14	LIVE OAK	13"
T15	LIVE OAK	22"
T16	LIVE OAK	21"
T17	LIVE OAK	20"
T18	LIVE OAK	20"
T19	LIVE OAK	17"
T20	LIVE OAK	23"
T21	LIVE OAK	17"
T22	LIVE OAK	17"
T23	LIVE OAK	18"
T24 (OFFSITE)	LIVE OAK (OFFSITE)	35"
T25	LIVE OAK	19"
T26	LIVE OAK	18"
T27 (OFFSITE)	LIVE OAK (OFFSITE)	21"
T28 (OFFSITE)	LIVE OAK (OFFSITE)	30"
T29	LIVE OAK	16"
T30	LIVE OAK	20"
T31	LIVE OAK	24"



NO.	REVISIONS	BY	DATE

ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION: 6515
 2120 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FLORIDA PE LICENSE #: 38572

PROJECT TITLE:
 PINE MEADOW VETERINARY
 CLINIC
 610 W NINE MILE ROAD
 PENSACOLA, FLORIDA 32534
 ESCAMBIA COUNTY

SHEET TITLE:
 EXISTING SITE PLAN &
 SURVEY

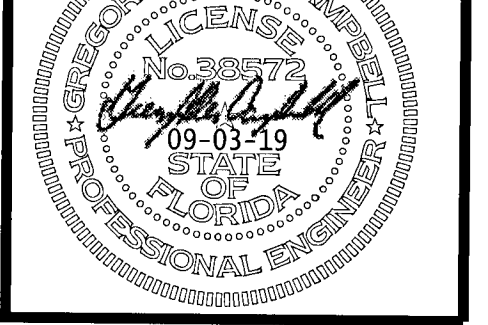
DATE: 09-03-19

SCALE: 1"=30'

SHEET NUMBER:

C1

SHEET 2 OF 14



EXISTING TREE SCHEDULE & MITIGATION CHART					
PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL	PROTECTED TREES REMOVED (CALIPER INCHES)
T1	LIVE OAK	31"	REMAIN		
T2	PINE	23"	REMOVE	PARKING LOT	
T3	LIVE OAK	22"	REMAIN		
T4	LIVE OAK	24"	REMAIN		
T5	LIVE OAK	17"	REMAIN		
T6 (OFFSITE)	LIVE OAK (OFFSITE)	16"	REMAIN		
T7	PINE	17"	REMOVE	PARKING LOT	
T8	LIVE OAK	14"	REMAIN		
T9	LIVE OAK	12"	REMAIN		
T10	LIVE OAK	18"	REMOVE	PARKING LOT	18"
T11	LIVE OAK	46"	REMAIN		
T12	PINE	24"	REMOVE	PARKING LOT	
T13	LIVE OAK	22"	REMAIN		
T14 (OFFSITE)	LIVE OAK (OFFSITE)	14"	REMAIN		
T15	LIVE OAK	86"	REMAIN		
T16	LIVE OAK	54"	REMAIN		
T17 (OFFSITE)	LIVE OAK (OFFSITE)	22"	REMAIN		
T18 (OFFSITE)	LIVE OAK (OFFSITE)	30"	REMAIN		
T19 (OFFSITE)	LIVE OAK (OFFSITE)	24"	REMAIN		
T20 (OFFSITE)	LIVE OAK (OFFSITE)	34"	REMAIN		
T21	PECAN	31"	REMOVE	PARKING LOT	31"
T22	MAGNOLIA	38"	REMOVE	PARKING LOT	38"
T23	PINE	29"	REMOVE	PARKING LOT	
T24	TWIN LIVE OAK	31"	REMAIN		
T25	TWIN PINE	31"	REMAIN		
T26	LIVE OAK	32"	REMAIN		
T27	LIVE OAK	35"	REMAIN		
T28	LIVE OAK	38"	REMAIN		
T29	LIVE OAK	32"	REMOVE	RETENTION POND	32"
T30	PECAN	29"	REMOVE	RETENTION POND	29"
T31	LIVE OAK	14"	REMAIN		
T32	LIVE OAK	31"	REMAIN		
T33	LIVE OAK	18"	REMAIN		
T34	LIVE OAK	18"	REMAIN		
T35	LIVE OAK	28"	REMAIN		
T36	LIVE OAK	16"	REMAIN		
T37	LIVE OAK	19"	REMAIN		
T38	TWIN LIVE OAK	34"	REMAIN		
T39	TWIN LIVE OAK	34"	REMAIN		
T40	LIVE OAK	20"	REMAIN		
T41	LIVE OAK	20"	REMAIN		
T42	TWIN LIVE OAK	26"	REMAIN		
T43	MAGNOLIA	23"	REMAIN		
T44	PINE	29"	REMAIN		
T45	LIVE OAK	22"	REMAIN		
T46	LIVE OAK	30"	REMAIN		
T47	LIVE OAK	22"	REMAIN		
T48 (OFFSITE)	LIVE OAK (OFFSITE)	18"	REMAIN		
T49	LIVE OAK	38"	REMAIN		
T50	PECAN	28"	REMAIN		

LEGEND:

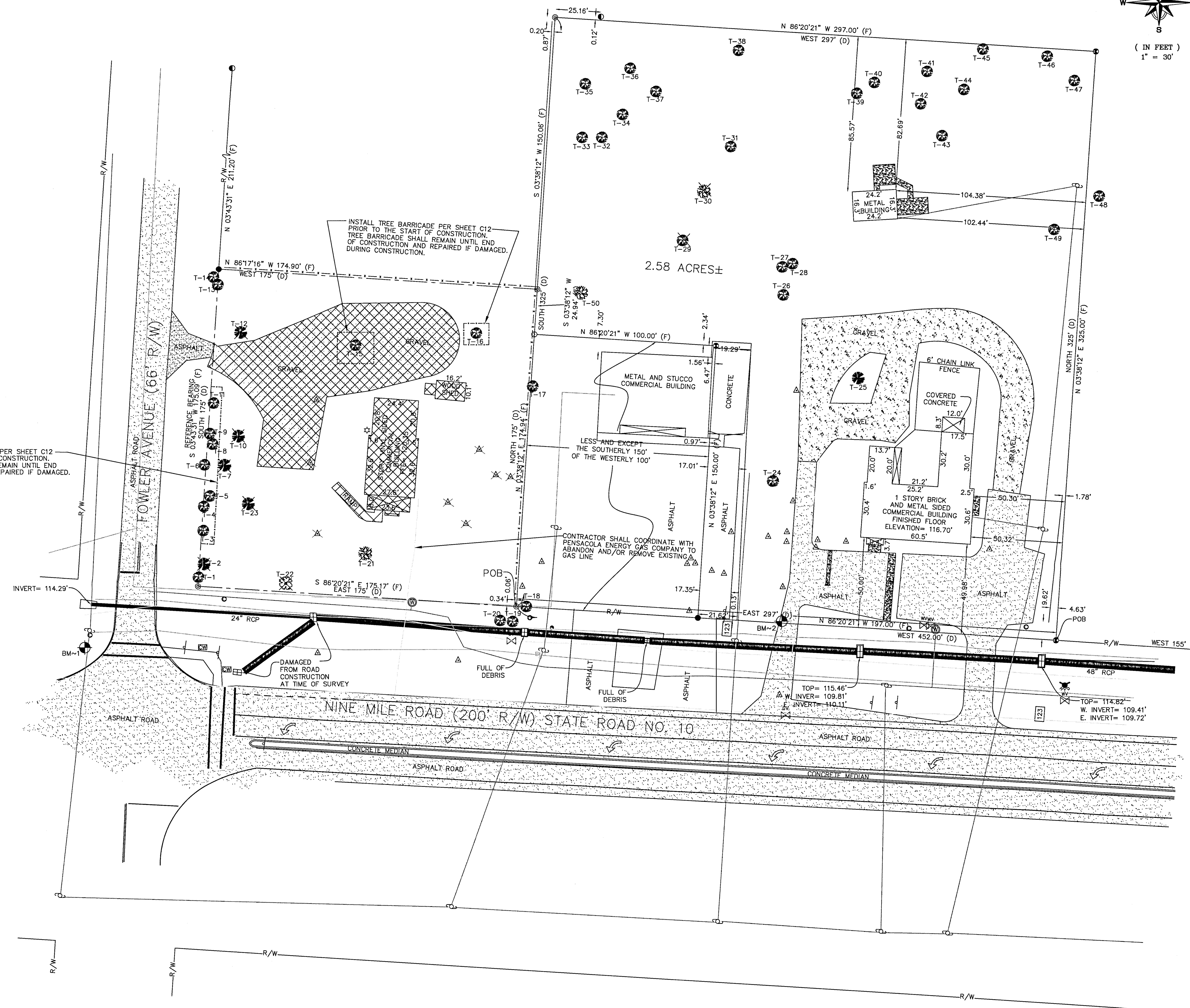
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ⊙ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 6993 (FOUND)
- ⊙ ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- ⊙ ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- ⊙ ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING
- ⊙ ~ BENCHMARK
- ⊙ ~ FIRE HYDRANT
- ⊙ ~ WATER METER
- ⊙ ~ WATER VALVE
- ⊙ ~ GAS VALVE
- ⊙ ~ STORM WATER INLET
- ⊙ ~ LIGHT POLE
- ⊙ ~ UTILITY POLE
- ⊙ ~ GUY ANCHOR
- ⊙ ~ CABLE PEDISTAL
- ⊙ ~ CROSS WALK SIGNAL
- ⊙ ~ SIGN
- ⊙ ~ MONITORING WELL
- ⊙ ~ MAIL BOX
- ⊙ ~ BUSINESS SIGN

SPECIAL LINES:

- ~ WATER SERVICE PIPE
- ~ SANITARY SEWER PIPE
- ~ BURIED FIBER OPTIC CABLE LINE
- ~ BURIED GAS LINE
- ~ OVERHEAD ELECTRICAL
- ~ STORM WATER PIPE
- ~ WHITE STRIPE
- ~ YELLOW STRIPE

[X] PROPOSED DEMOLITION
 --- DENOTES PROPERTY LINE
 [] EXISTING ASPHALT PAVEMENT
 [] EXISTING GRAVEL OR CONCRETE
 Δ EXISTING MONITORING WELL
 Δ EXISTING MONITORING WELL TO BE CLOSED OR ABANDONED BY STATE OF FLORIDA LICENSED WELL DRILLER. CONTRACTOR/DEVELOPER TO COORDINATE CLOSURE WITH JAMES PETTY, ESCAMBIA COUNTY HEALTH DEPARTMENT (850-595-6700). REFERENCE FDEP FACILITY NO. 17850722 FDEP.
 T1 EXISTING TREE TO BE REMOVED
 ⊙ EXISTING TREE

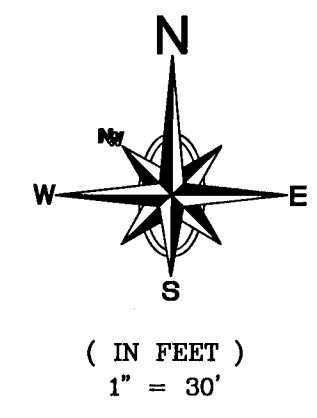
INSTALL TREE BARRICADE PER SHEET C12 PRIOR TO THE START OF CONSTRUCTION. TREE BARRICADE SHALL REMAIN UNTIL END OF CONSTRUCTION AND REPAIRED IF DAMAGED DURING CONSTRUCTION.



IMPORTANT NOTE: OWNER/VONTRACTOR SHALL COORDINATE WITH ESCAMBIA COUNTY HEALTH DEPARTMENT TO COORDINATE THE CLOSURE OR ABANDONMENT OF EXISTING MONITORING WELLS. CONTACT JAMES PETTY, PROJECT MANAGER, ESCAMBIA COUNTY HEALTH DEPARTMENT, AT 850-595-6700 TO COORDINATE MONITORING CLOSURES OR ABANDONMENT. THE FDEP FACILITY NUMBER FOR THE SITE IS 17850722 FDEP.

DEMOLITION NOTES

- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE ADEQUATELY INSTALLED AROUND EACH PROTECTED TREES SHOWN TO REMAIN ON SITE, PRIOR TO ANY SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.



ESCAMBIA COUNTY COMMENTS	NOVEMBER 8, 2019
1	

ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION: 6515
 2150 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FLORIDA PE LICENSE #: 38572

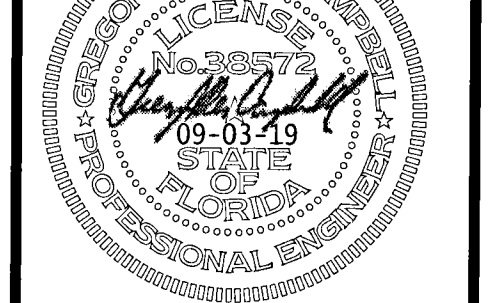
PROJECT TITLE:
 PINE MEADOW VETERINARY CLINIC
 610 W NINE MILE ROAD
 PENSACOLA, FLORIDA 32534
 ESCAMBIA COUNTY

SHEET TITLE:
 DEMOLITION PLAN

DATE: 09-03-19

SCALE: 1"=30'

SHEET NUMBER:
C2
 SHEET 3 OF 14



OWNER/PROJECT INFORMATION

OWNER: BAYOU TIGERS ENTERPRISES LLC
 DRS. COY AND STAFFORD
 OWNER PHONE NUMBER: 850-477-2194
 ENGINEER PHONE #: 850-982-8606
 PROJECT NAME: PINE MEADOWS VETERINARY CLINIC
 PROJECT ADDRESS: 550 & 610 W NINE MILE ROAD
 PENSACOLA, FLORIDA
 PROP. REF. #S: 09-1S-30-2101-075-008 (NEW FACILITY)
 09-1S-30-2101-073-008 (EXISTING FACILITY)
 ZONING: HC/LI
 FLU: C
 TYPE OF BUSINESS: VETERINARY CLINIC

PARKING REQUIREMENTS

PER ESCAMBIA COUNTY LDC, 4 SPACES REQUIRED PER 1,000 S.F. GROSS FLOOR OR 2 SPACES REQUIRED PER EMPLOYEE WHICHEVER IS GREATER FOR A VETERINARY CLINIC.

THERE ARE 8 EMPLOYEES AND GROSS FLOOR AREA OF BUILDING IS 4,470 S.F.

PARKING SPACES REQUIRED (BLDG S.F.) = 4,470 S.F. X 4 SPACES/1,000 S.F. = 17.88 OR 18 SPACES
 PARKING SPACES REQUIRED (PER EMPLOYEE) = 8 EMPLOYEES X 2 SPACES/EMPLOYEE = 16 SPACES
 THEREFORE PARKING SPACES REQUIRED ARE HIGHER OF THE TWO OR 18 SPACES

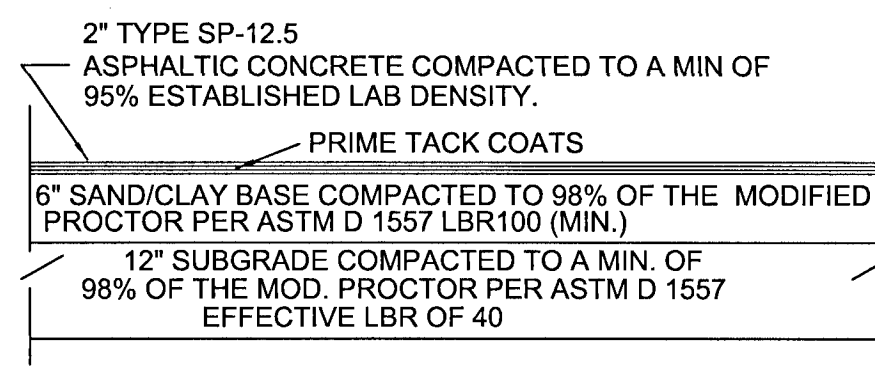
PARKING SPACES PROVIDED=26 SPACES (24 REGULAR & 2 HANDICAP)

SITE PLAN NOTES:

1. NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550.
2. FRONT & REAR BUILDING SETBACK LINE=15' SIDE BUILDING SETBACK LINE=10' SETBACK LINES ARE SHOWN ON PLAN.
3. ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC. NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.
4. ALL NON-HANDICAPP PAVEMENT MARKINGS SHALL BE SOLID WHITE THERMOPLASTIC UNLESS OTHERWISE NOTED.
5. DEVELOPER/CONTRACTOR SHALL OBTAIN A SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS. NO SIGNS SHALL BE INSTALLED WITHOUT OBTAINING A VALID ESCAMBIA COUNTY SIGN PERMIT.
6. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
7. LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY.
8. EXTERIOR LIGHTING PLAN AND DETAILS WILL BE SUBMITTED WITH BUILDING PERMIT DRAWINGS. ALL SITE LIGHTING MUST BE DIRECTED STRAIGHT DOWN TO AVOID TRAFFIC AND ADJOINING PROPERTY GLARE.
9. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED. DIMENSIONS ARE INSIDE TO INSIDE CURB UNLESS OTHERWISE NOTED.

SITE PLAN AREA TABLE

SITE PLAN DATA	EXISTING	REMOVE	NEW	TOTAL
BUILDING AREA (S.F.)	1,815	1,815	4,470	4,470
IMPERVIOUS PAVED AREA (S.F.)	0	0	13,113	13,113
SEMI-IMPERVIOUS AREA (S.F.)	6,498	6,498	0	0
PERVIOUS AREA (S.F.)	22,321	9,270	0	13,051
TOTAL PROPERTY AREA(S.F.)	30,634	0	0	30,634



ASPHALT PAVING SECTION

NOTE: CONTRACTOR MAY USE 6" GRADED AGGREGATE BASE COMPACTED TO A MIN. OF 98% OF THE MODIFIED PROCTOR PER ASTM D 1557 LBR100 IN LIEU OF SAND/CLAY BASE.

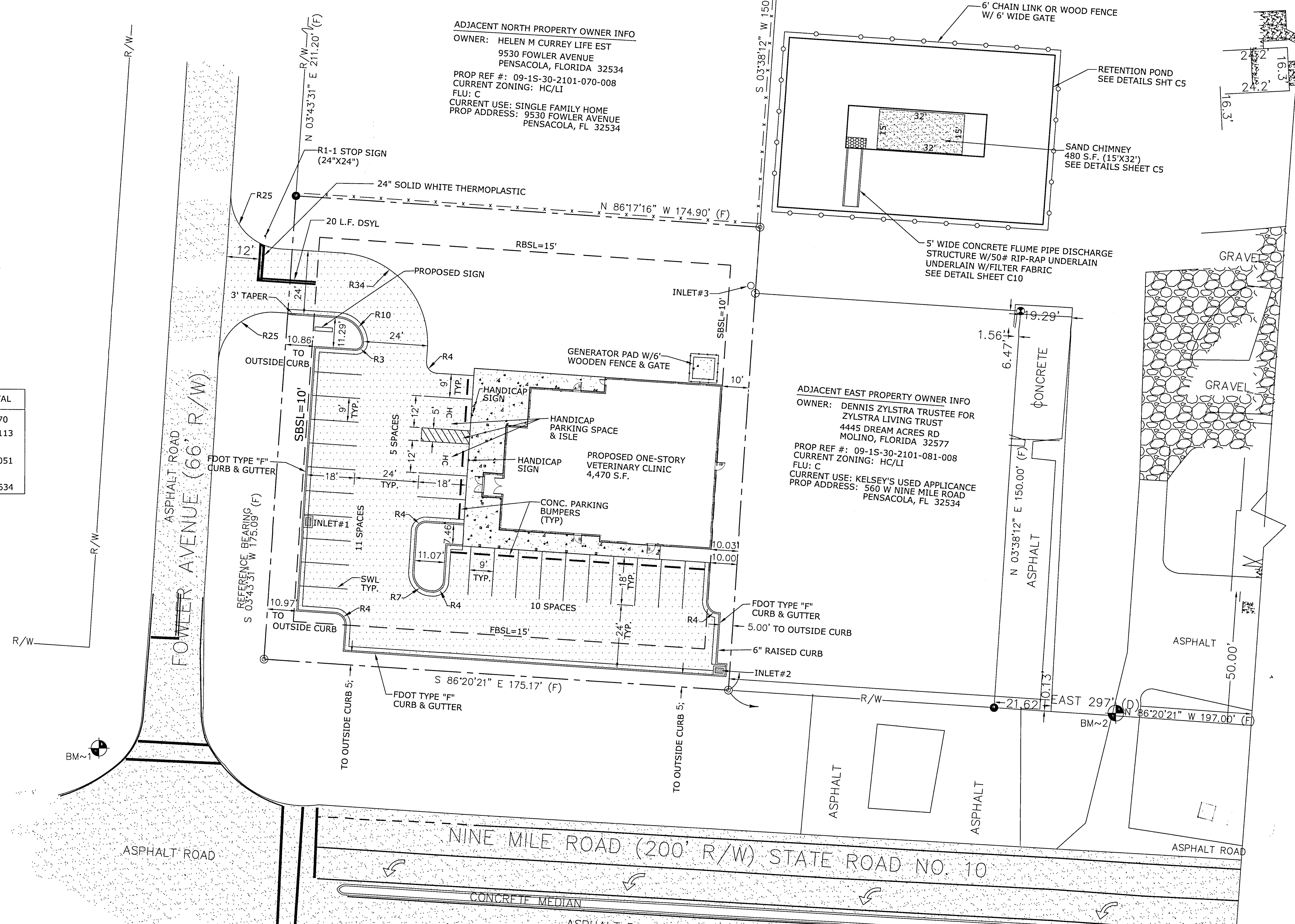
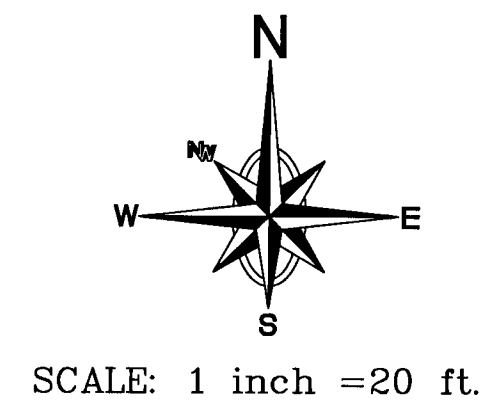
LEGEND

- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAD
- FBSL FRONT BUILDING SETBACK LINE
- RBSL REAR BUILDING SETBACK LINE
- SBSL SIDE BUILDING SETBACK LINE
- PROPERTY LINE
- R8 RADIUS (FEET)
- SWL SOLID WHITE LINE
- DSYL DOUBLE SOLID YELLOW LINE
- x-x-x EXISTING FENCE
- o-o-o PROPOSED FENCE

LOCATION CRITERIA (ZONING HC/LI)

THE PROJECT IS A NEW NON-RESIDENTIAL USED PROPOSED WITHIN HC/LI DISTRICT THE PROJECT SATISFIES LOCATION CRITERIA IN LDC SECTION 3-2.11(e)(2) SINCE:

- (1) PROJECT IS LOCATED ALONG AN ARTERIAL STREET (NINE MILE ROAD-SR10) AND LOCATED 0.36 MILES (<0.5 MILE) FROM ITS INTERSECTION WITH AN ARTERIAL STREET (HWY 29-SR95)
- (2) NOT ABUTTING A RR, LDR OR MDR ZONING DISTRICT
- (3) PROJECT WILL NOT INTRUDE INTO A RECORDED SUBDIVISION,
- (4) A SYSTEM OF SERVICE ROAD OR SHARED ACCESS IS PROVIDED TO THE MAXIMUM EXTENT FEASIBLE GIVE THE LOT AREA, LOT SHAPE, OWNERSHIP PATTERNS, AND SITE AND STREET CHARACTERISTICS.
- (5) LOCATION IS IN AN AREA WITH ALREADY ESTABLISHED NON-RESIDENTIAL USES ARE OTHERWISE CONSISTENT WITH THE HC/LI, AND WHERE THE NEW USE WOULD CONSTITUTE INFILL DEVELOPMENT OF SIMILAR INTENSITY AS THE CONFORMING DEVELOPMENT ON SURROUNDING PARCELS. ADDITIONLY, THE LOCATION WOULD PROMOTE COMPACT DEVELOPMENT AND AND NOT CONTRIBUTE TO OR PROMOTE STRIP COMMERCIAL DEVELOPMENT.



ENVIRONMENTAL ENGINEERING SERVICES CERTIFICATE OF AUTHORIZATION: 6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FLORIDA PE LICENSE #: 86572	PROJECT TITLE: PINE MEADOW VETERINARY CLINIC	SHEET TITLE: SITE PLAN	DATE: 09-03-19	SCALE: 1"=20' SHEET NUMBER: C3 SHEET 4 OF 14
ESCAMBIA COUNTY COMMENTS NOVEMBER 8, 2019	REVISIONS NO. BY DATE			

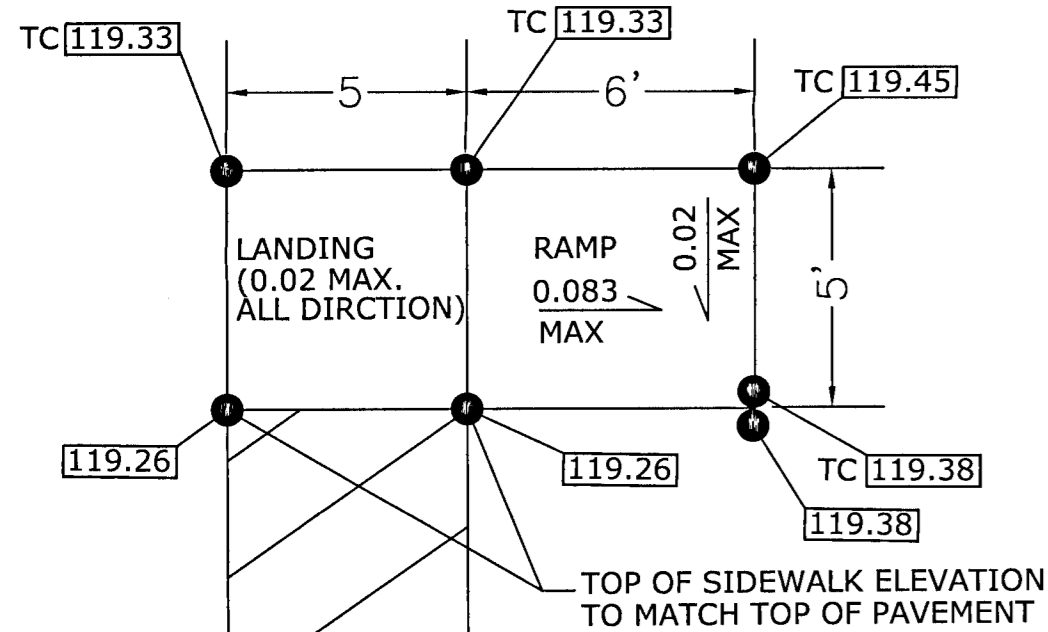
NEW INLET SCHEDULE

INLET #1 - FDOT TYPE "C" DITCH BOTTOM INLET U.S.F. NO. 6611 STEEL TRAFFIC RATED GRATE GRATE TOP EL.= 118.33' 12" HDPE PIPE INVERT ELEV (OUT-SE)=116.58'
INLET #2 - FDOT TYPE "C" DITCH BOTTOM INLET U.S.F. NO. 6611 STEEL TRAFFIC RATED GRATE GRATE TOP EL.= 117.97' 12" HDPE PIPE INVERT ELEV (IN-NW)=116.09' 15" HDPE PIPE INVERT ELEV (OUT-N)=116.09'
INLET #3 - 24" NYOPLAST DRAINAGE BASIN SOLID LID GRATE TOP EL.= 117.89' 15" HDPE PIPE INVERT ELEV (IN-S)=115.58' 6" HDPE PIPE INVERT ELEV (IN-SW)=116.13' 15" HDPE PIPE INVERT ELEV (OUT-NE)=115.58'

SITE PLAN AREA TABLE

SITE PLAN DATA	EXISTING	REMOVE	NEW	TOTAL
BUILDING AREA (S.F.)	1,815	1,815	4,470	4,470
IMPERVIOUS PAVED AREA (S.F.)	0	0	13,113	13,113
SEMI-IMPERVIOUS AREA (S.F.)	6,498	6,498	0	0
PERVIOUS AREA (S.F.)	22,321	9,270	0	13,051
TOTAL PROPERTY AREA(S.F.)	30,634	0	0	30,634

NOTE: PROPOSED SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.



HANDICAP SIDEWALK RAMP DETAIL

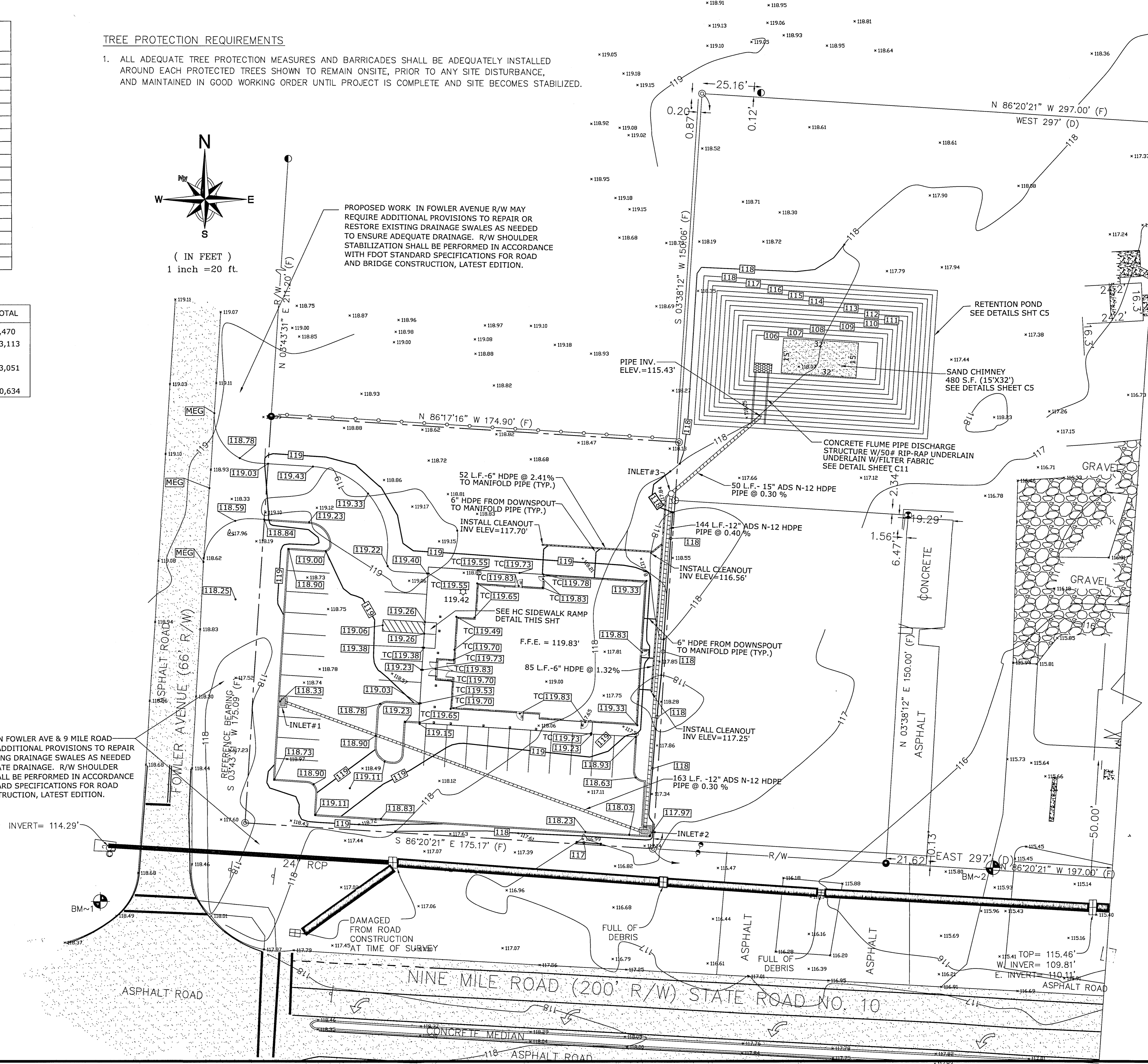
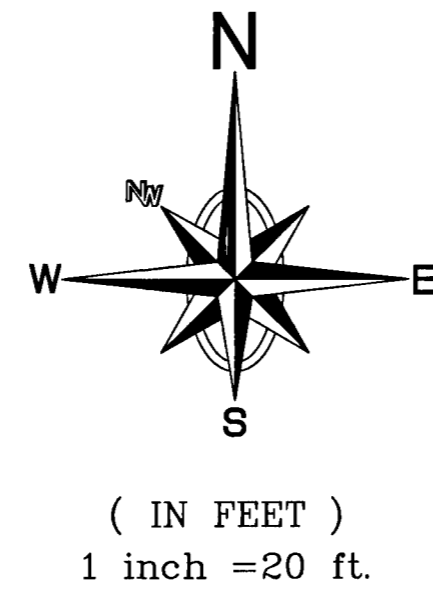
- N.T.S.
- RAMPS SHALL NOT EXCEED 0.083% SLOPE.
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% SLOPE.
 - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 5% SLOPE.

LEGEND

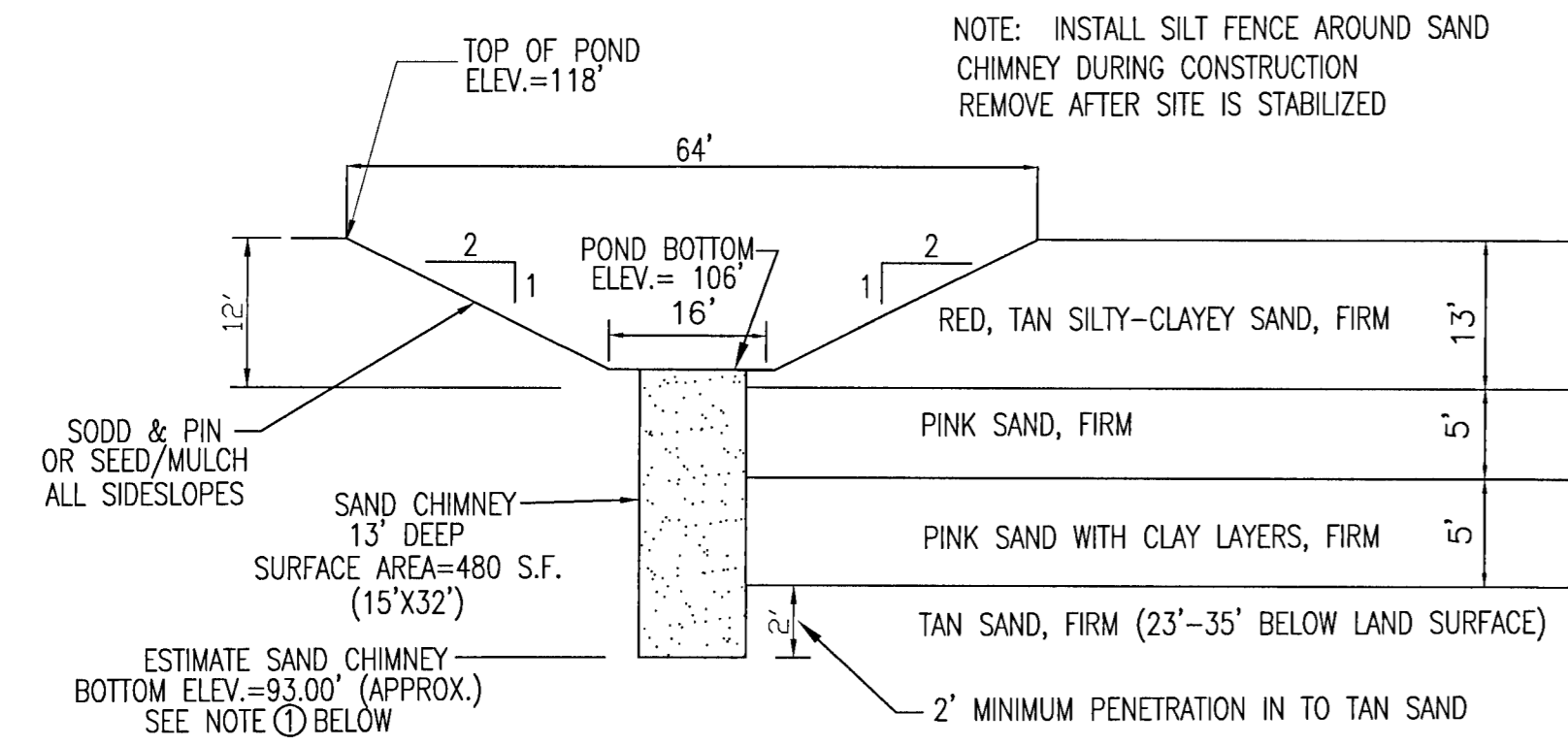
- MEG MATCH EXISTING GRADE
- 119.20 PROPOSED SPOT ELEV. AT TOP OF PAVEMENT OR GRASS
- X 118.63 EXISTING SPOT ELEV.
- 27 PROPOSED ELEV. CONTOUR
- 28 EXISTING ELEV. CONTOUR
- PROPERTY LINE
- TC TOP OF CURB OR SIDEWALK ELEVATION

TREE PROTECTION REQUIREMENTS

- ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE ADEQUATELY INSTALLED AROUND EACH PROTECTED TREES SHOWN TO REMAIN ONSITE, PRIOR TO ANY SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.



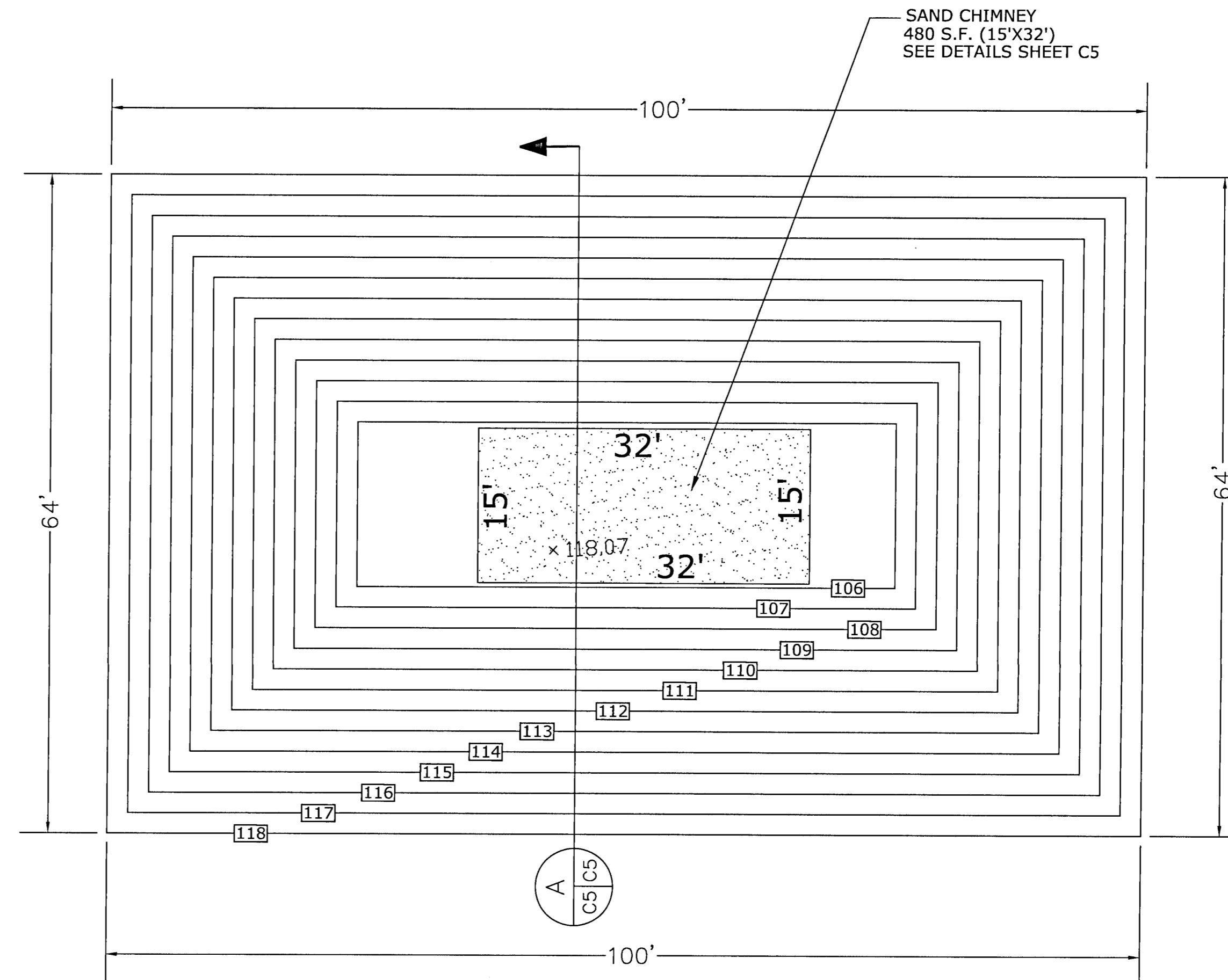
<p>PROJECT TITLE: PINE MEADOW VETERINARY CLINIC</p>	<p>PROJECT TITLE: GRADING PLAN</p>	<p>DATE: 09-03-19</p>	<p>SCALE: 1"=30'</p>								
<p>SHEET NUMBER: C4</p>	<p>SHEET 5 OF 14</p>	<p>DATE: 11-08-19</p>	<p>BY: _____</p>								
<p>ESCAMBIA COUNTY COMMENTS NOVEMBER 8, 2019</p>		<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO.	REVISIONS	BY	DATE	1			
NO.	REVISIONS	BY	DATE								
1											
<p>ENVIRONMENTAL ENGINEERING SERVICES CERTIFICATE OF AUTHORIZATION: 6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FLORIDA PE LICENSE #: 38572</p>											



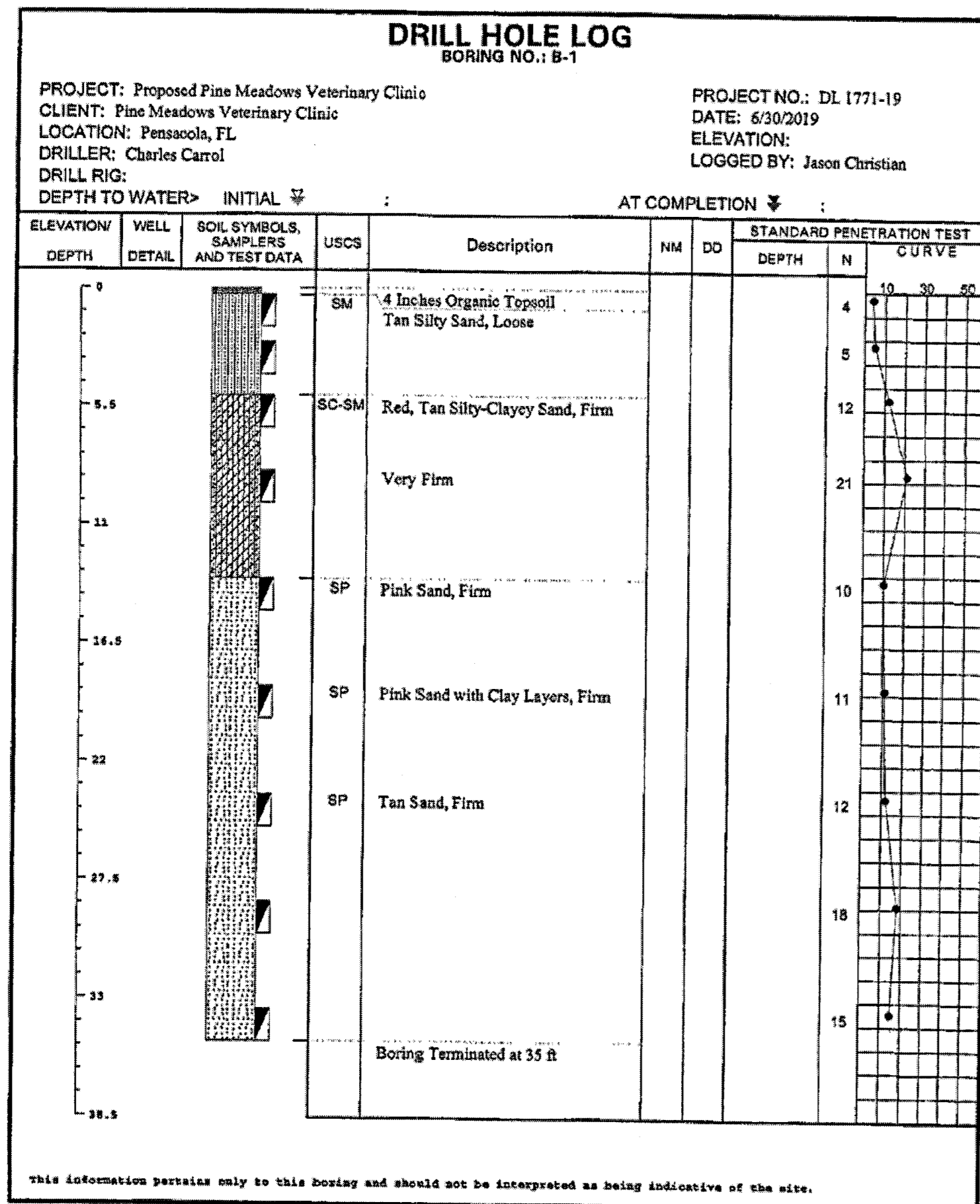
A RETENTION POND & SAND CHIMNEY X-SECT
C5 C5 N.T.S.

SAND CHIMNEY SPECIFICATIONS:

- BOTTOM OF SAND CHIMNEY SHALL BE 2 FOOT BELOW TAN SAND, FIRM SOIL LAYER. SOIL BORING B-1 PERFORMED BY GEOCON ENGINEERING AT POND LOCATION IS SHOWN ON THIS DRAWING FOR CORRELATION PURPOSES. GREG CAMPBELL, ENGINEER OF RECORD (850-982-8606 (CELL) SHALL BE CONTACTED TO FIELD VERIFY BOTTOM ELEVATION OF EXCAVATED CHIMNEY HAS PENETRATED PROPER SOIL LAYER PRIOR TO BACKFILL OF SAND FILTER MEDIA. CONTRACTOR SHALL CONTACT GREG CAMPBELL 3 DAYS PRIOR TO COMPLETED EXCAVATION OF CHIMNEY.
- SAND FILTER MEDIA SHALL MEET THE FOLLOWING CRITERIA AND TESTING:
 (A) CLEAN SAND (SP) WITH < 5% PASSING THE 200 MESH SIEVE (FINES)
 (B) PERMEABILITY RATE OF 40 FT/DAY (20 IN/HR)
 (C) WHITE IN COLOR
- THE POND BOTTOM SHALL BE SEEDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS)



PLAN VIEW-RETENTION POND A
SCALE: 1"=10'



BORING LOG AT RETENTION POND

NO.	REVISIONS	BY	DATE

ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION #: 6515
 2120 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FL PE LICENSE #: 38572

PROJECT TITLE:
 PINE MEADOWS VETERINARY CLINIC
 610 WEST NINE MILE ROAD
 PENSACOLA, FLORIDA
 ESCAMBIA COUNTY

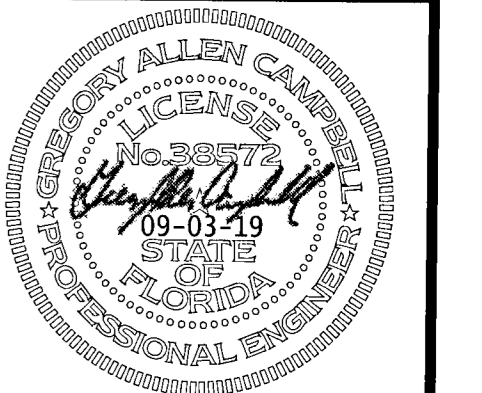
SHEET TITLE:
RETENTION POND DETAILS

DATE: 09-03-19

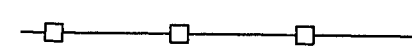


SCALE: 1"=20'

SHEET NUMBER:

C5
 SHEET 6 OF 14

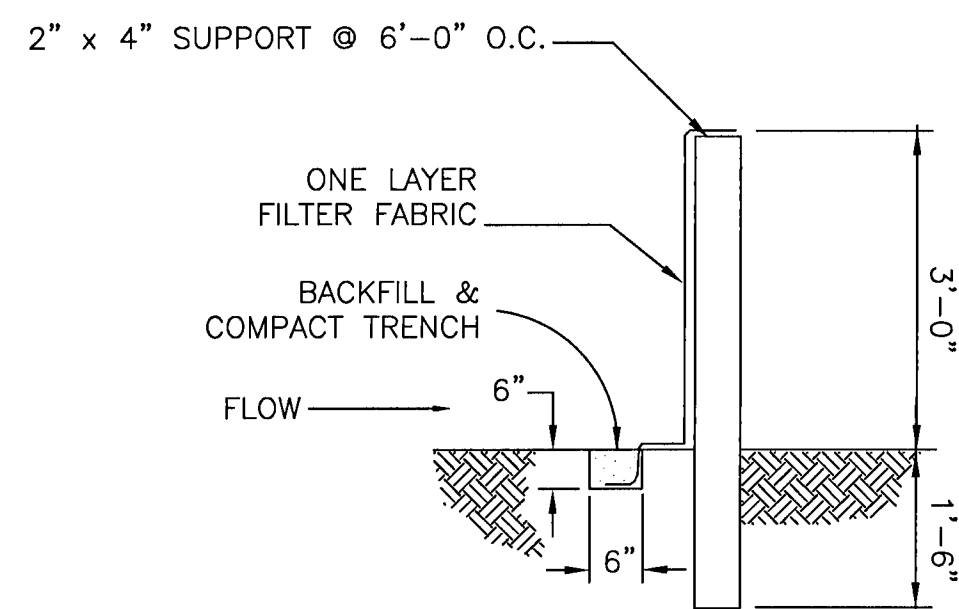


LEGEND:

-  SILT FENCE
-  GRAVEL
-  EXISTING FENCE

ROW AND RETENTION POND STABILIZATION NOTES:

1. All disturbed and/or exposed soil/dirt in the county right-of-way shall be stabilized with bahia sod. Centipede will not be accepted in the county right-of-way. Retention Pond as well as any onsite disturbed soil shall be sodded or have a healthy stand of grass at time of final inspection.

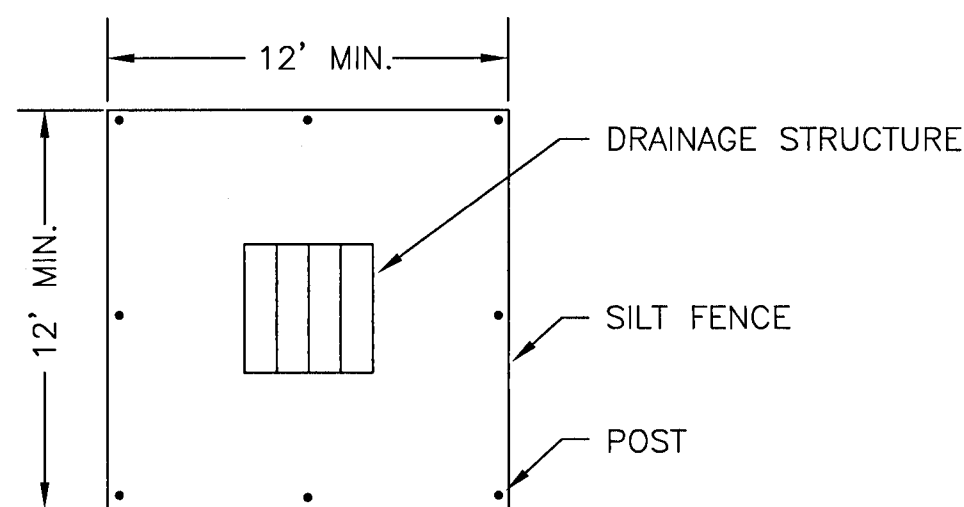


SILT FENCE DETAIL

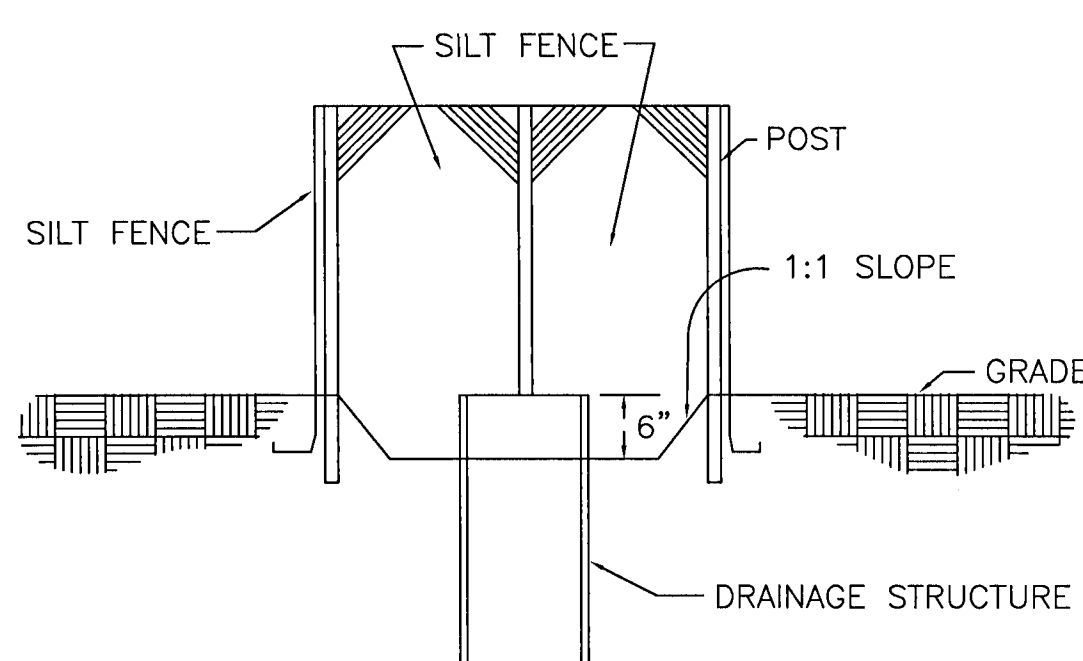
NOTE: SILT FENCE SHALL BE ERECTED AND MAINTAINED AROUND ALL DRAINAGE STRUCTURES UNTIL DRAINAGE AREAS ARE PAVED OR STABILIZED TO PREVENT EROSION. SILT FENCE SHALL BE IN ACCORDANCE WITH

NOTE: FABRIC MAY BE ATTACHED TO POSTS BY STAPLES, NAILS, WIRE, CORD OR POCKETS. MINIMUM NUMBER OF FASTENERS SHALL BE 5, EQUALLY SPACED. NAILS SHALL BE 14 GAUGE, 1" LONG, 3/4" BUTTON HEADS. STAPLES SHALL BE 17 GAUGE, 3/4" WIDE, 1/2" LONG LEGS.

NOTE: EROSION CONTROL IS TO BE CONSTRUCTED FIRST, STORMWATER POND IS SECOND, AND BOTH ARE TO BE IN-PLACE BEFORE ANY OTHER CONSTRUCTION IS BEGUN.



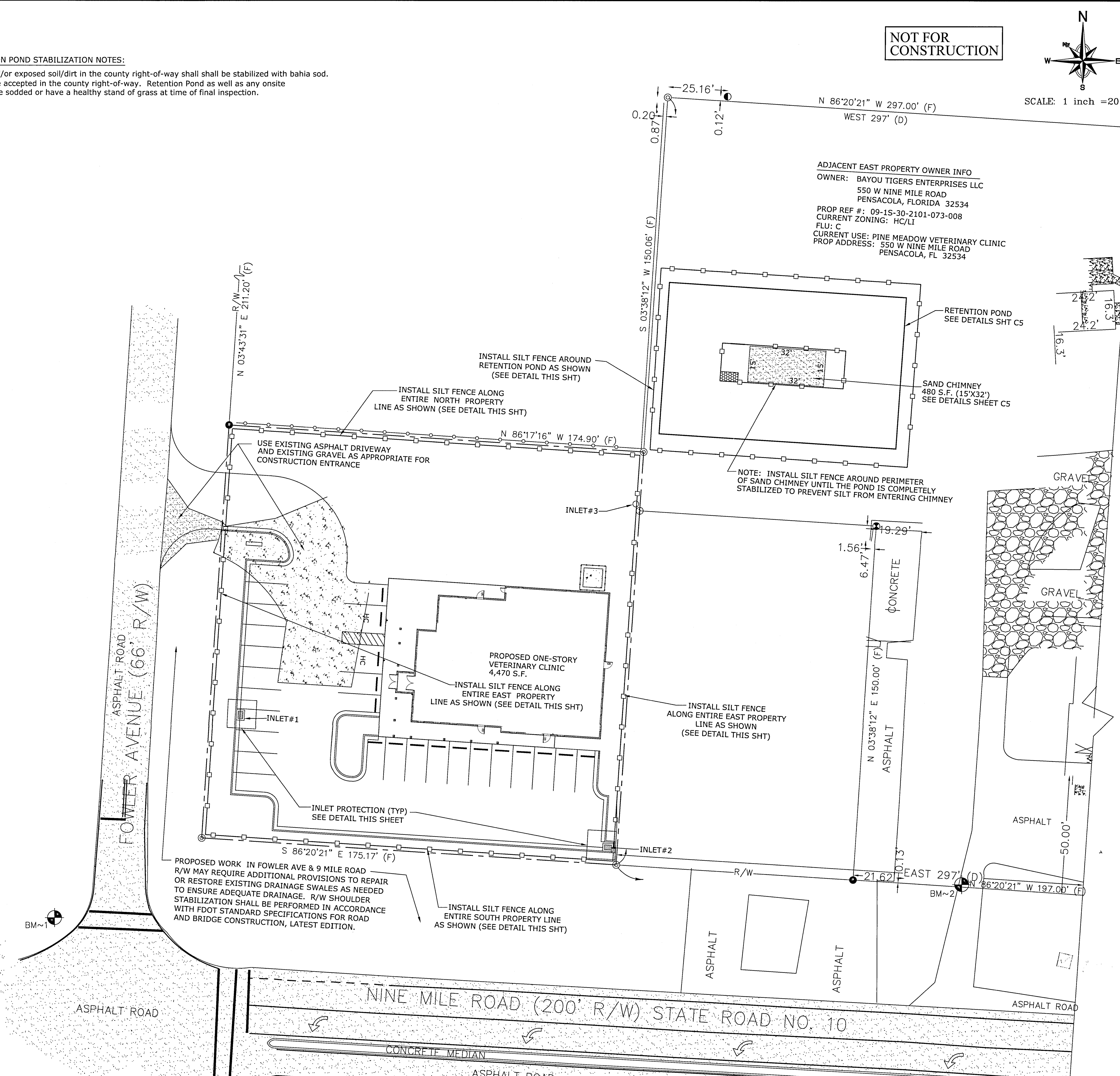
INLET PROTECTION PLAN



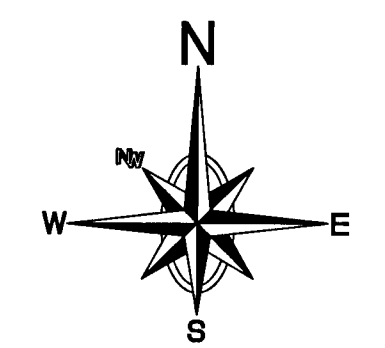
INLET PROTECTION DETAIL SECTION

CONSTRUCTION ENTRANCE NOTES:

1. CONTRACTOR SHALL UTILIZE EXISTING ASPHALT DRIVEWAY AND GRAVEL FOR CONSTRUCTION ENTRANCE.
2. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING ONTO RIGHT-OF-WAY. SLOPE OF CONSTRUCTION ENTRANCE SHALL BE AWAY FROM THE ROADWAY OR TOWARD THE NORTH. CONTRACTOR SHALL DRESS WITH 2-INCH THICK LAYER OF GRAVEL AS CONDITIONS DEMAND.
3. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, TRACKED OR WASHED FROM VEHICLES ONTO ROADWAY.



NOT FOR CONSTRUCTION



NO.	REVISIONS	BY	DATE
1			

ESCAMBIA COUNTY COMMENTS
 NOVEMBER 8, 2019

ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION: 6515
 2120 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FLORIDA PE LICENSE #: 38572

PROJECT TITLE:
 PINE MEADOW VETERINARY CLINIC

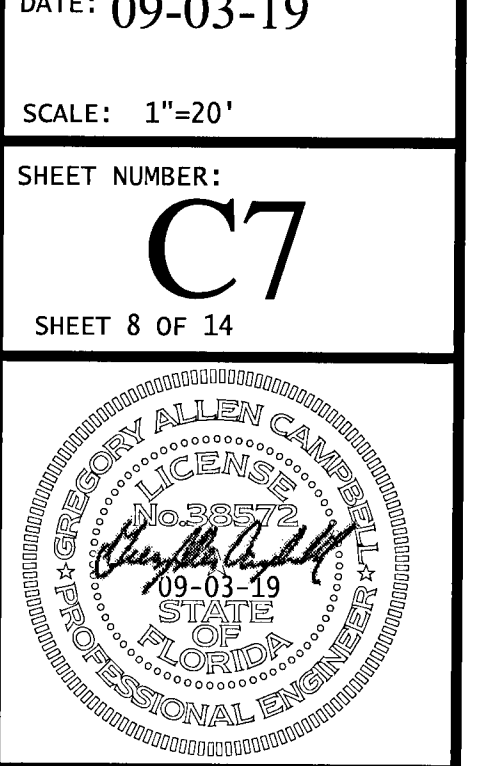
SHEET TITLE:
 EROSION CONTROL PLAN

DATE: 09-03-19

SCALE: 1"=20'

SHEET NUMBER:
C7

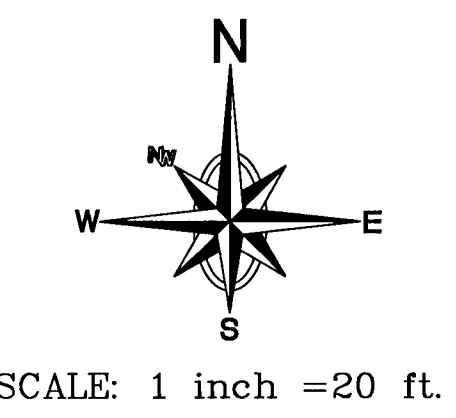
SHEET 8 OF 14



UTILITY NOTES:

1. The contractor shall obtain a permit from the Road & Bridge Department prior to commencing any work in the County R/W and obtain a FDOT Utility permit prior to commencing any work in FDOT STATE ROAD 95 R/W..
2. Contractor is responsible and liable for locating all utilities in right-of-way and shall contact Sunshine utilities within 96 hours in advance prior to digging within right-of-way at 1-800-432-4770. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
3. All onsite water and sewer facilities and offsite force main shall be privately owned, operated and maintained by developer/owner.
4. The contractor shall notify the superintendents of the water, gas, sewer, cable, fiber optics, telephone and power companies 2 days in advance, that he intends to start work in a specific area.
5. Contractor shall follow ECUA permitted drawings for installation of dual grinder pump lift station and force main as well as water meters, backflow preventers, water service lines and fire hydrant assembly, etc...

NEW INLET SCHEDULE	
INLET #1 - FDOT TYPE "C" DITCH BOTTOM INLET	
U.S.F. NO. 6611 STEEL TRAFFIC RATED GRATE	
GRATE TOP EL.= 118.33'	
12" HDPE PIPE INVERT ELEV (OUT-SE)=116.58'	
INLET #2 - FDOT TYPE "C" DITCH BOTTOM INLET	
U.S.F. NO. 6611 STEEL TRAFFIC RATED GRATE	
GRATE TOP EL.= 117.97'	
12" HDPE PIPE INVERT ELEV (IN-NW)=116.09'	
15" HDPE PIPE INVERT ELEV (OUT-N)=116.09'	
INLET #3 - 24" NYOPLAST DRAINAGE BASIN	
SOLID LID	
GRATE TOP EL.= 117.89'	
15" HDPE PIPE INVERT ELEV (IN-S)=115.58'	
6" HDPE PIPE INVERT ELEV (IN-SW)=116.13'	
15" HDPE PIPE INVERT ELEV (OUT-NE)=115.58'	



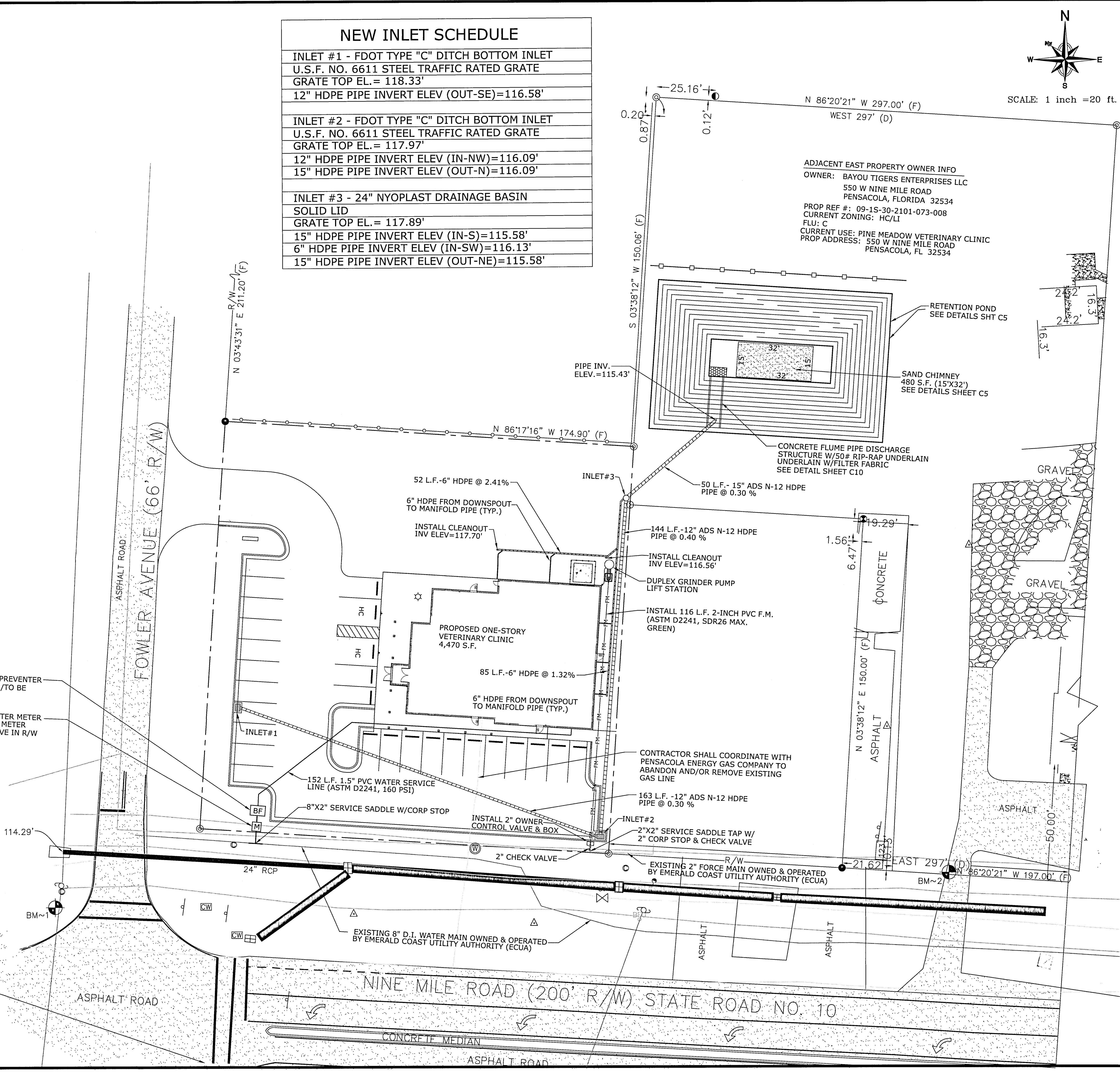
LEGEND:

- GCO GROUND LEVEL CLEAN OUT
- FM PROPOSED 2" FORCE MAIN
- PROPERTY LINE
- M WATER METER
- BF BACKFLOW PREVENTER

SPECIAL LINES:

- ~ EXISTING ECUA 8" D.I. WATER LINE
- ~ EXISTING ECUA 2" FORCE MAIN
- ~ EXISTING BURIED FIBER OPTIC CABLE
- ~ EXISTING BURIED GAS LINE
- ~ EXISTING OVERHEAD ELECTRICAL
- ~ EXISTING STORM WATER PIPE

EXISTING ECUA FIRE HYDRANT #5745
THIS FIRE HYDRANT IS LOCATED ACROSS THE STREET ON CORNER AT EAST R/W OF FOWLER AVENUE AND IS 423 L.F. FROM FURTHERMOST POINT OF PROPOSED BUILDING AS THE HOSE LAYS.



NO.	REVISIONS	BY	DATE

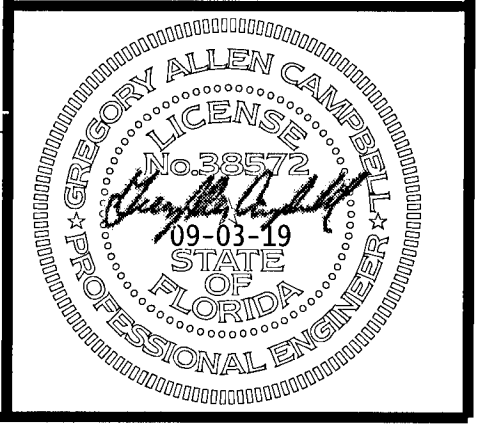
ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FLORIDA PE LICENSE #: 38572

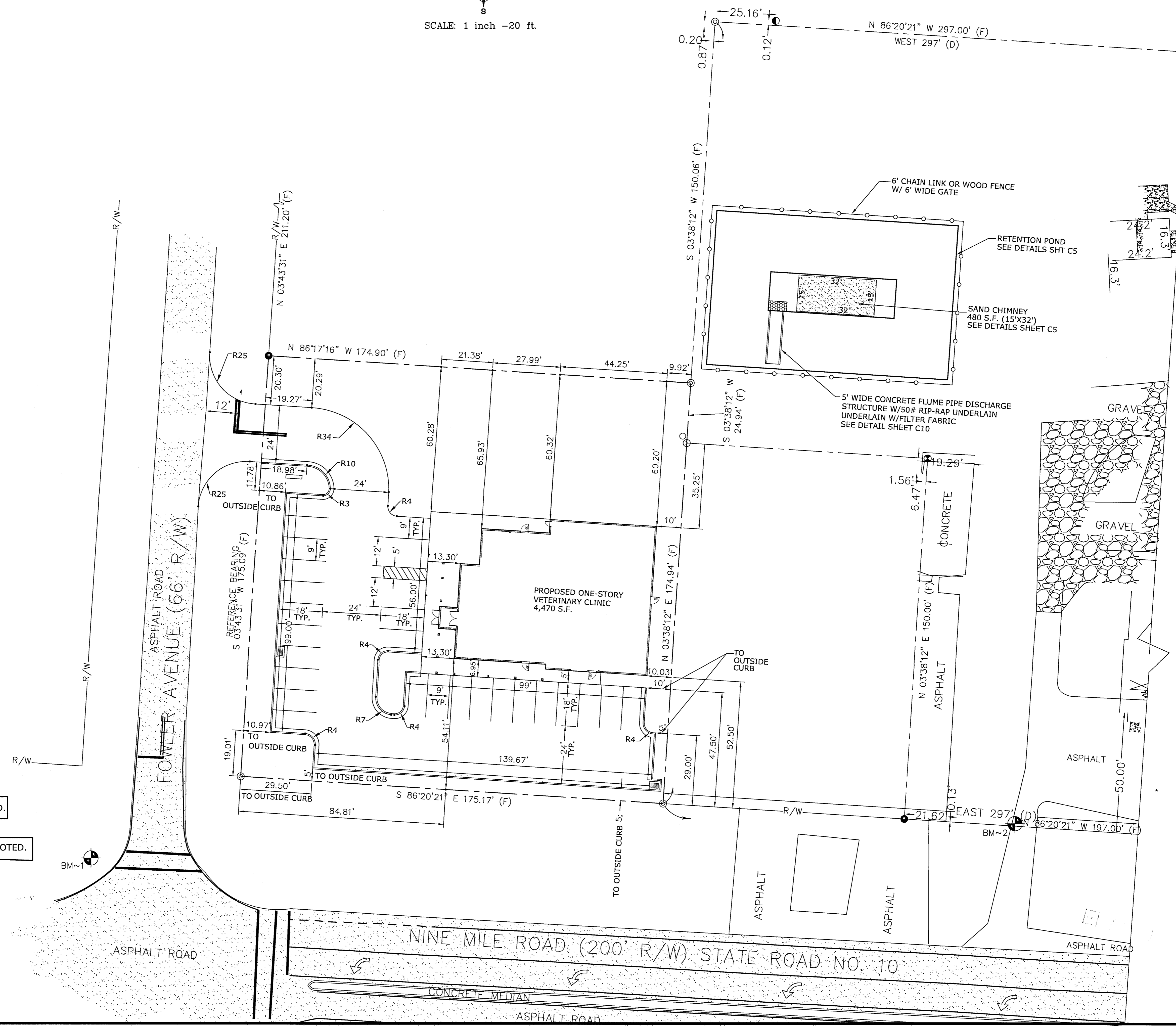
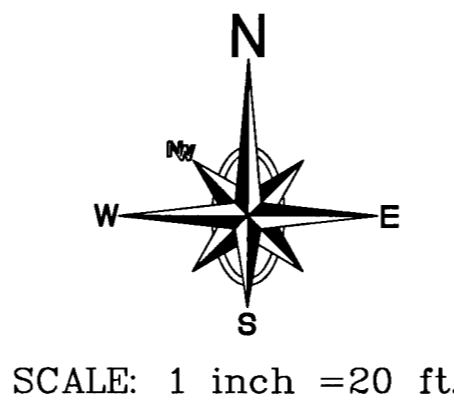
PROJECT TITLE:
PINE MEADOW VETERINARY CLINIC
610 WEST NINE MILE ROAD
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
UTILITY PLAN

DATE: 09-03-19

SCALE: 1"=20'
SHEET NUMBER:
C8
SHEET 9 OF 14





NOTE: ALL DIMENSIONS IN 1/100TH OF FEET UNLESS OTHERWISE NOTED.

NOTE: DIMENSIONS ARE INSIDE TO INSIDE CURB UNLESS OTHERWISE NOTED.

LEGEND

- FBSL FRONT BUILDING SETBACK LINE
- RBSL REAR BUILDING SETBACK LINE
- SBSL SIDE BUILDING SETBACK LINE
- PROPERTY LINE
- R8 RADIUS (FEET)
- x x x EXISTING FENCE
- o o o PROPOSED FENCE

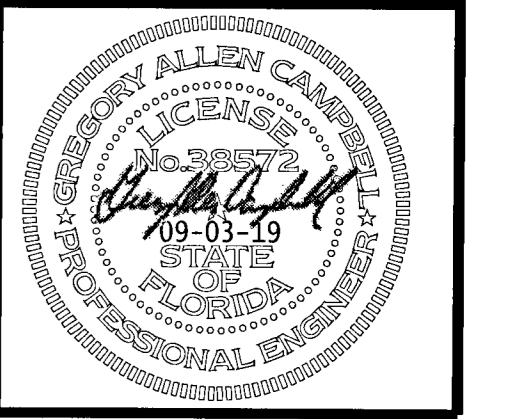
NO.	REVISIONS	BY	DATE

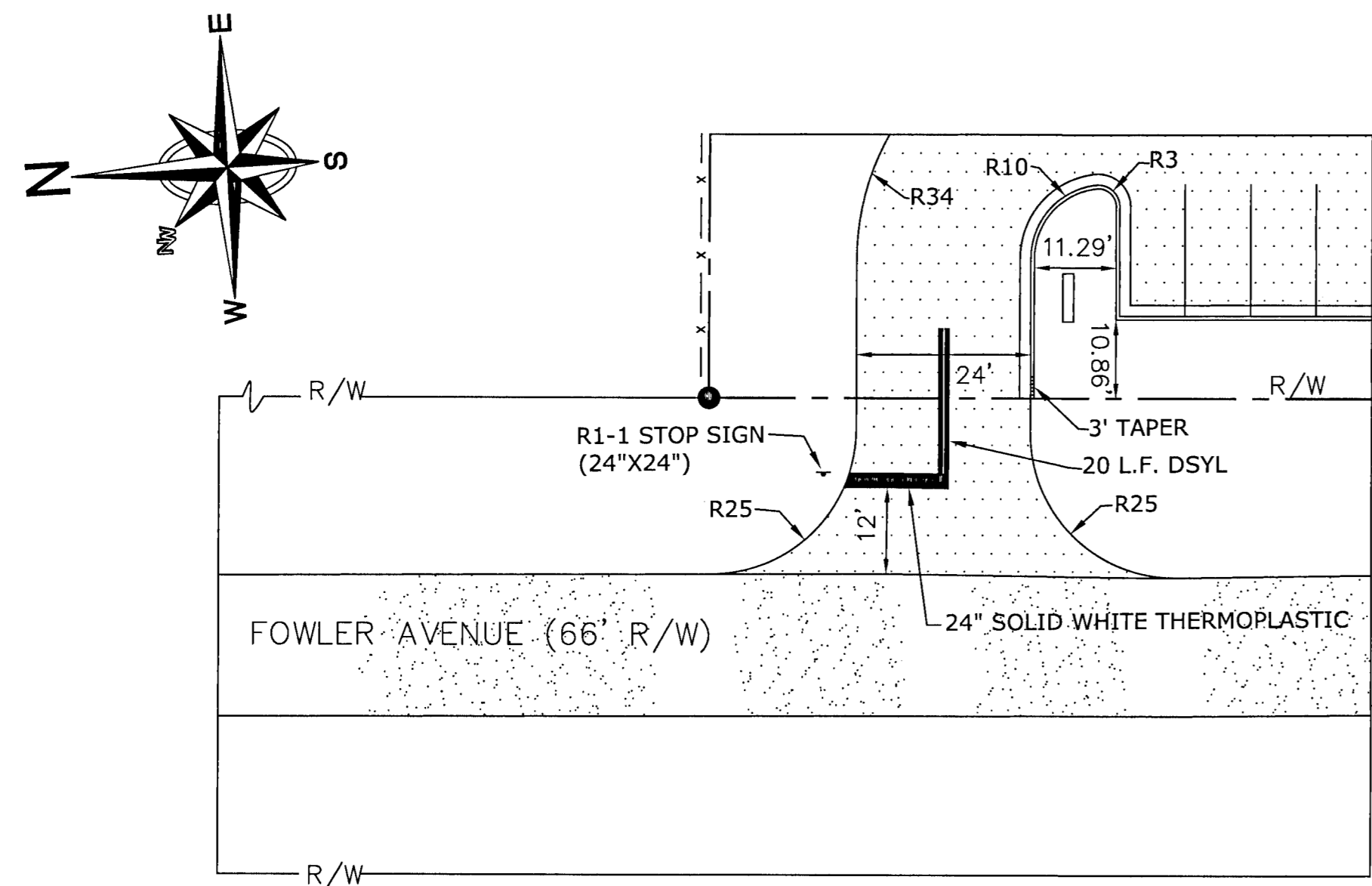
ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION: 6515
 2120 MARIA CIRCLE
 PENSACOLA, FLORIDA 32514
 850-982-8606 (OFC)
 850-477-1176 (FAX)
 GREGORY ALLEN CAMPBELL, P.E.
 FLORIDA PE LICENSE #: 38572

PROJECT TITLE:
PINE MEADOW VETERINARY CLINIC
 610 WEST NINE MILE ROAD
 PENSACOLA, FLORIDA
 ESCAMBIA COUNTY

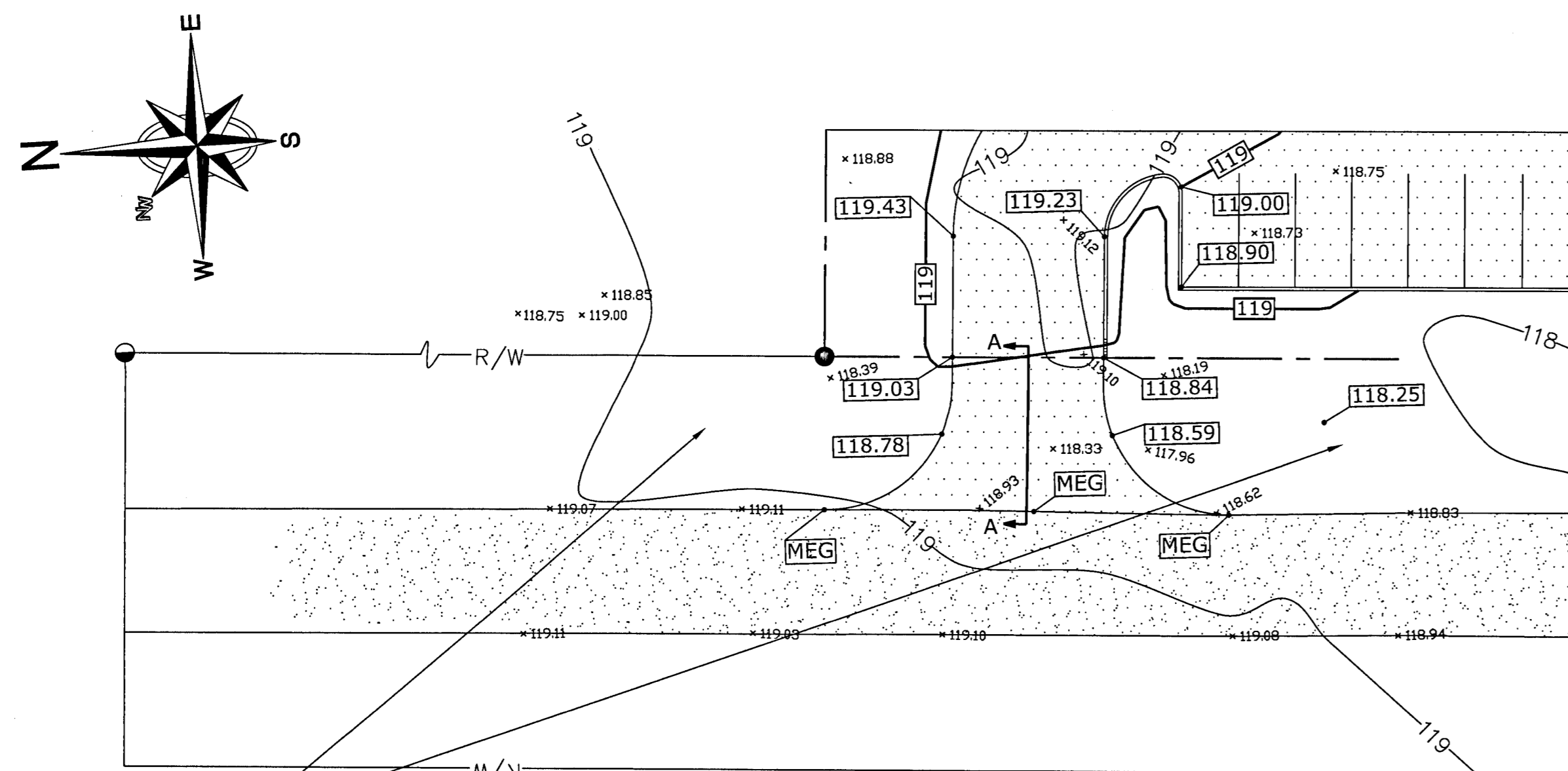
SHEET TITLE:
STAKING PLAN

DATE: 09-03-19
 SCALE: 1"=20'
 SHEET NUMBER:
C9
 SHEET 10 OF 14





CONNECTION SITE PLAN-FOWLER AVENUE
1"=20'

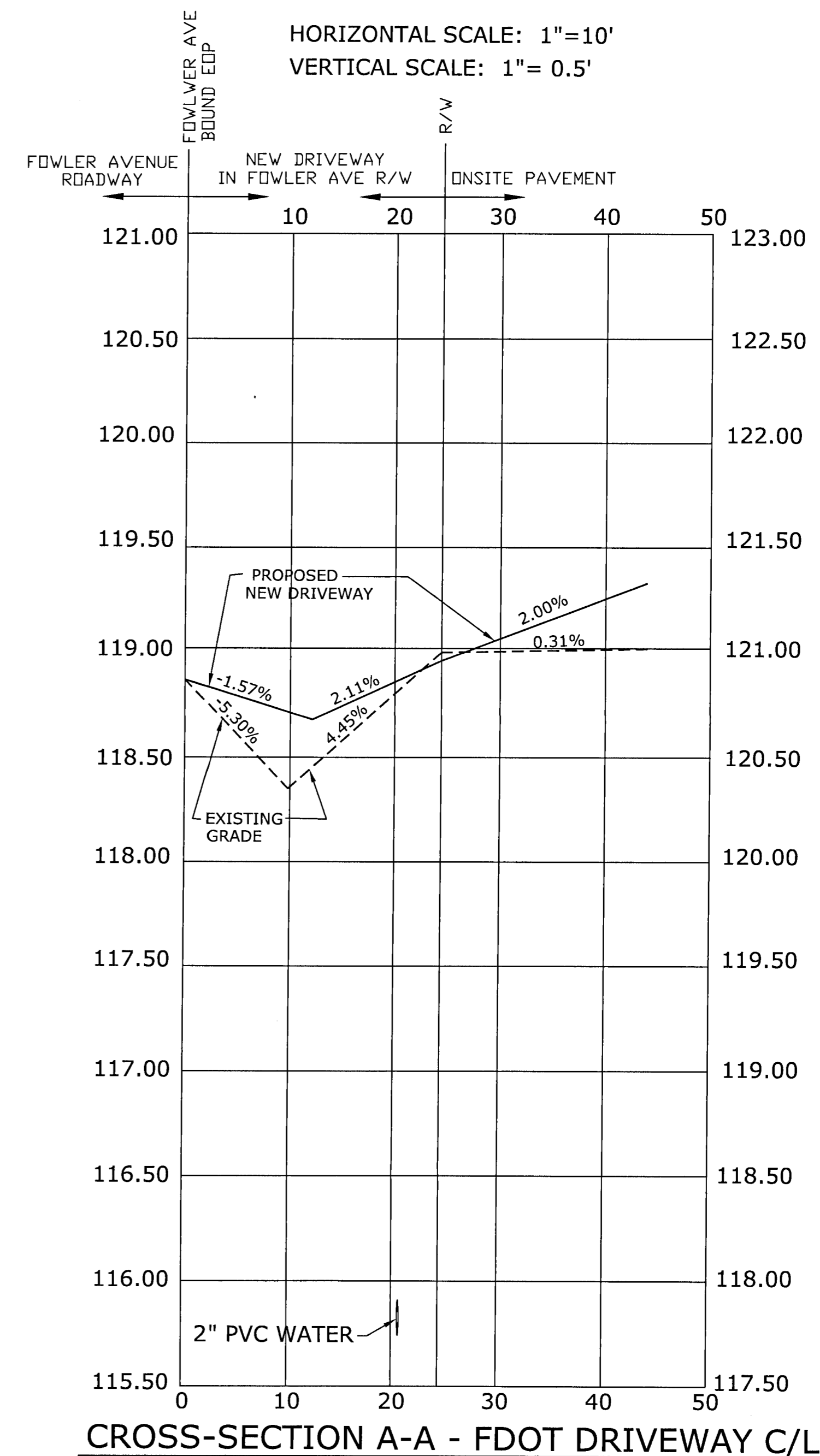


CONNECTION GRADING PLAN-FOWLER AVENUE
1"=20'

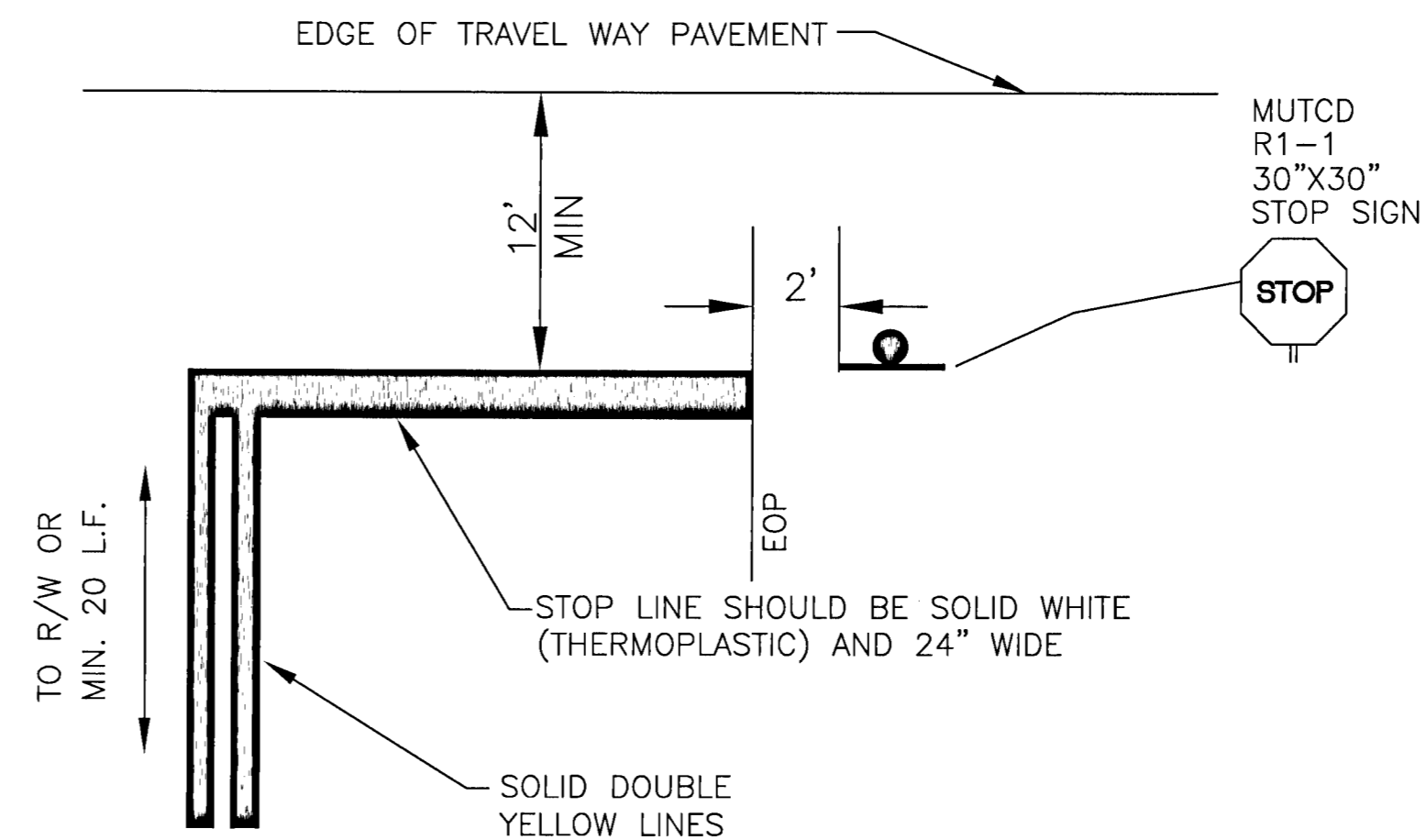
PROPOSED WORK IN FOWLER AVENUE R/W MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR OR RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

CONNECTION NOTES:

1. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE FDOT FY2019-2020 STANDARD PLANS FOR ROAD CONSTRUCTION, THE 2019 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
2. ALL PAVEMENT MARKINGS AND STRIPING TO BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT FY2019-2020 STANDARD PLANS FOR ROAD CONSTRUCTION, STANDARD INDEX #711-001.
3. CONTACTOR IS RESPONSIBLE FOR INSTALLATION OF EROSION CONTROL DURING CONSTRUCTION.
4. A MINIMUM OF 30" BAHIA SODD MUST BE LAID BESIDE ALL NEW PAVEMENT. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED AND MULCHED. ALL SLOPES GREATER THAN 3:1 REQUIRE PINNED SODD.
5. ALL SODDED AND SEEDED AREAS MUST BE WATERED UNTIL GRASS IS ESTABLISHED.
6. INSTALL THERMOPLASTIC 24" STOP BAR AND 24" STOP SIGN (R1-1) AS SHOWN ON DETAIL THIS SHEET AND AS REFERENCED IN THE FDOT FY2019-2020 STANDARD PLANS FOR ROAD CONSTRUCTION, STANDARD INDEX NUMBERS 711-001 AND 700-010; AND THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



CROSS-SECTION A-A - FDOT DRIVEWAY C/L



TYPICAL INGRESS/EGRESS
N.T.S.

NOTE: ALL ACCESS STRIPING AND LANE STRIPING IN FDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC. NO PREMANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.

LEGEND:

- SWL SOLID WHITE LINE
- MEG MATCH EXISTING GRADE
- 26.50 PROPOSED SPOT ELEV.
- X27.22 EXISTING SPOT ELEV.
- 27 PROPOSED ELEV. CONTOUR
- 28 EXISTING ELEV. CONTOUR
- PROPERTY LINE
- NEW FDOT ASPHALT

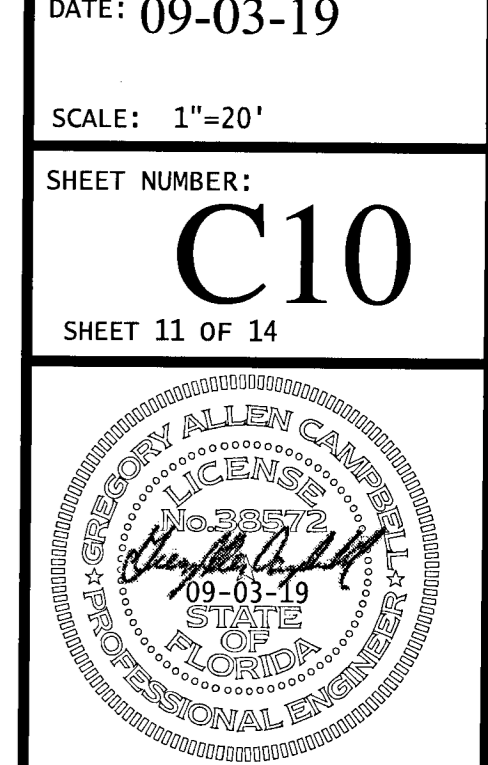
NO.	REVISIONS	BY	DATE

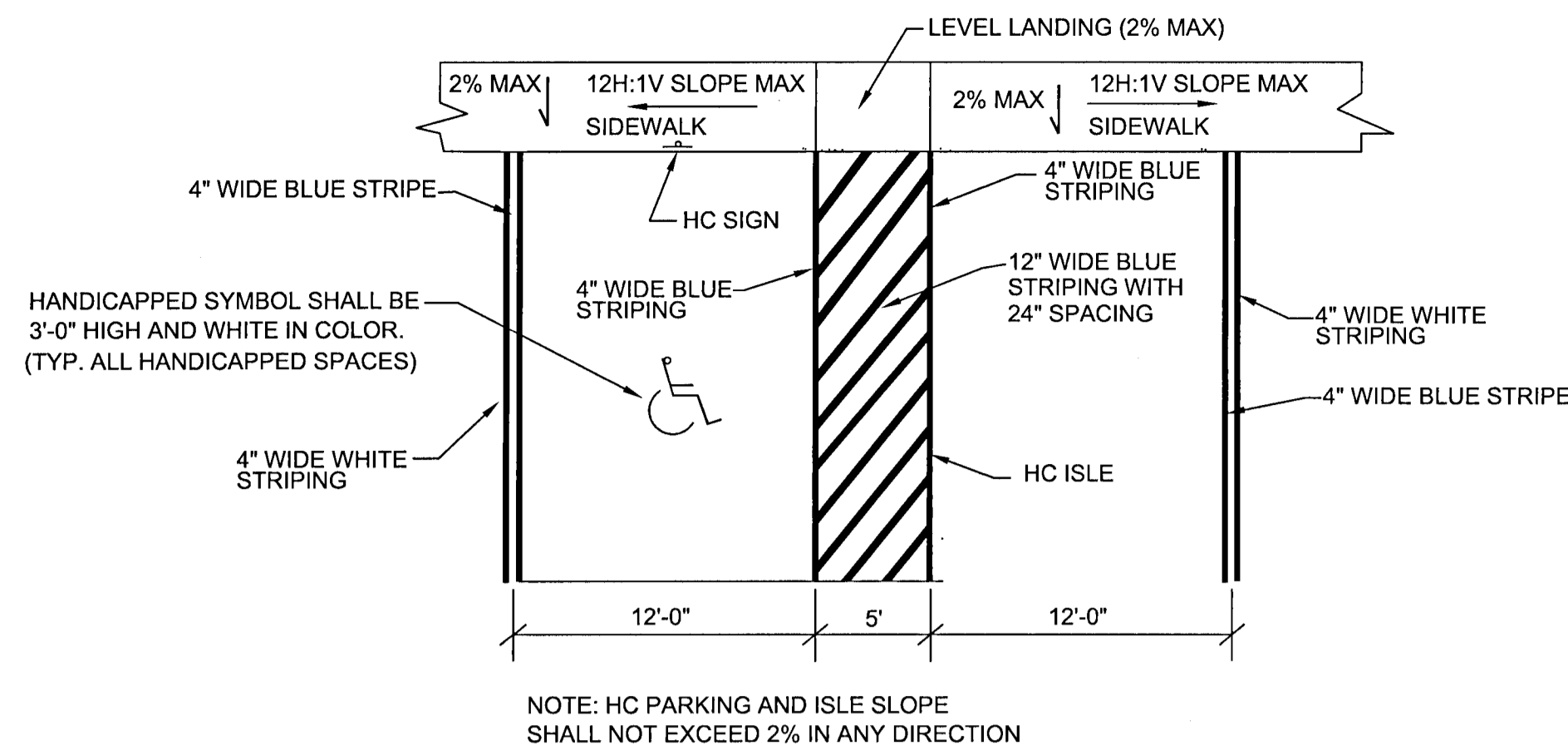
PROJECT TITLE:
PINE MEADOW VETERINARY CLINIC
610 WEST NINE MILE ROAD
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FLORIDA PE LICENSE #: 38572

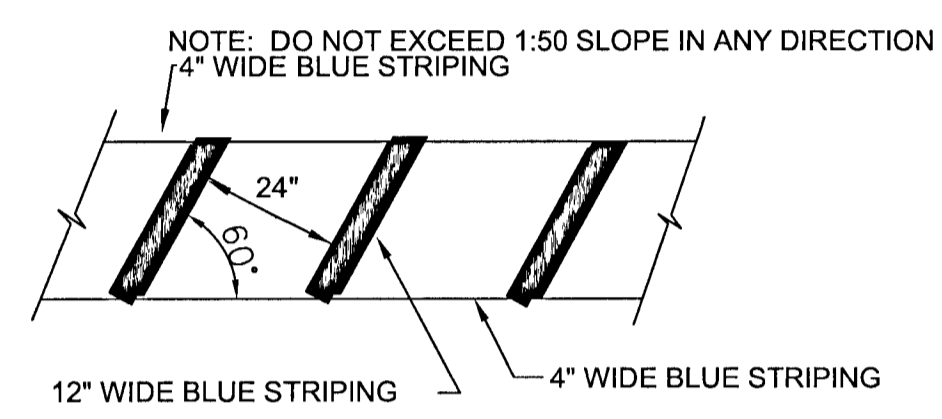
SHEET TITLE:
CONNECTION PLAN - FOWLER AVENUE

DATE: 09-03-19
SCALE: 1"=20'
SHEET NUMBER:
C10
SHEET 11 OF 14

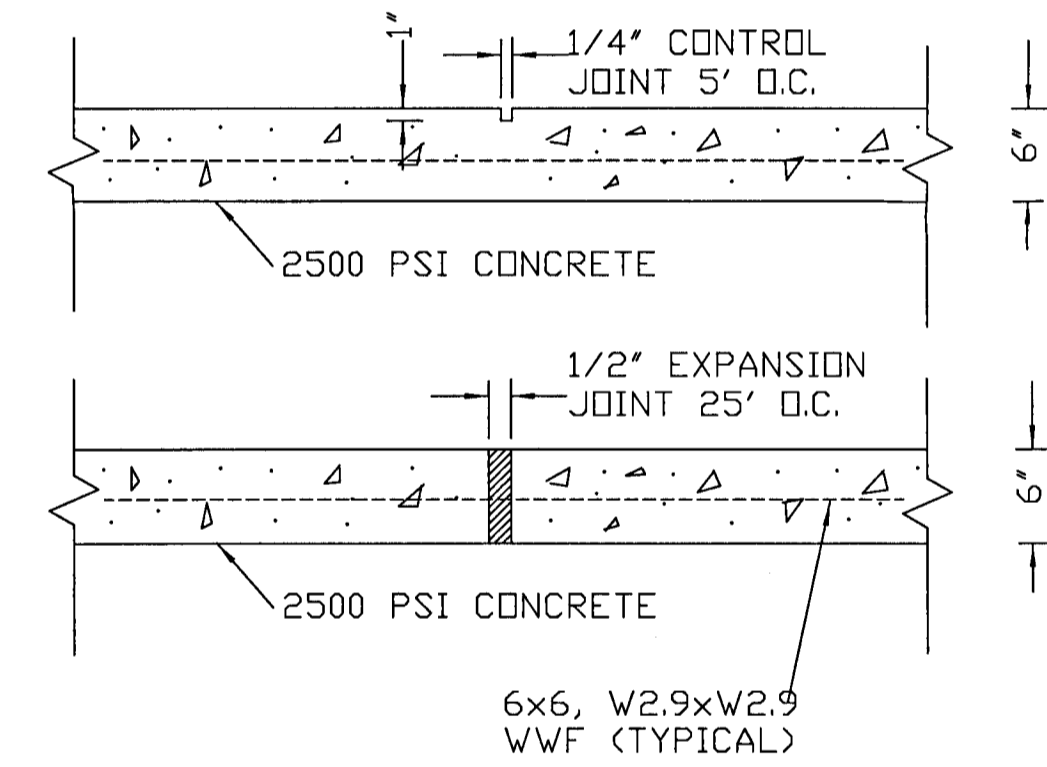




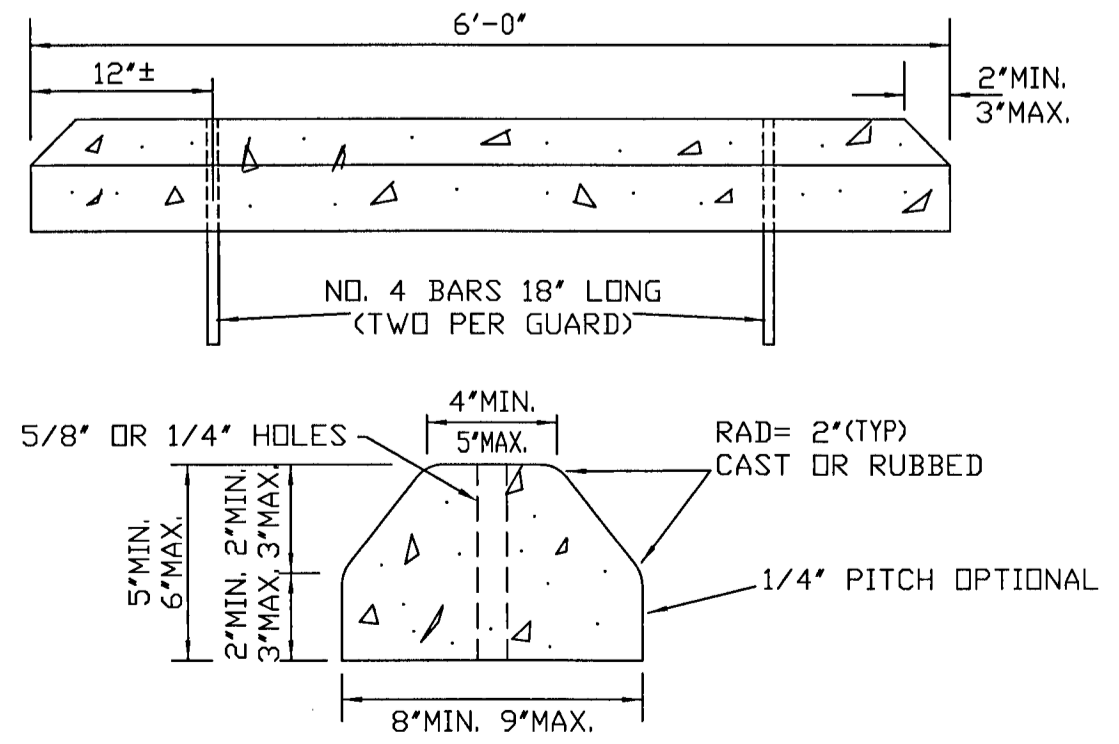
HANDICAPPED STRIPING AND RAMP DETAIL
N.T.S.



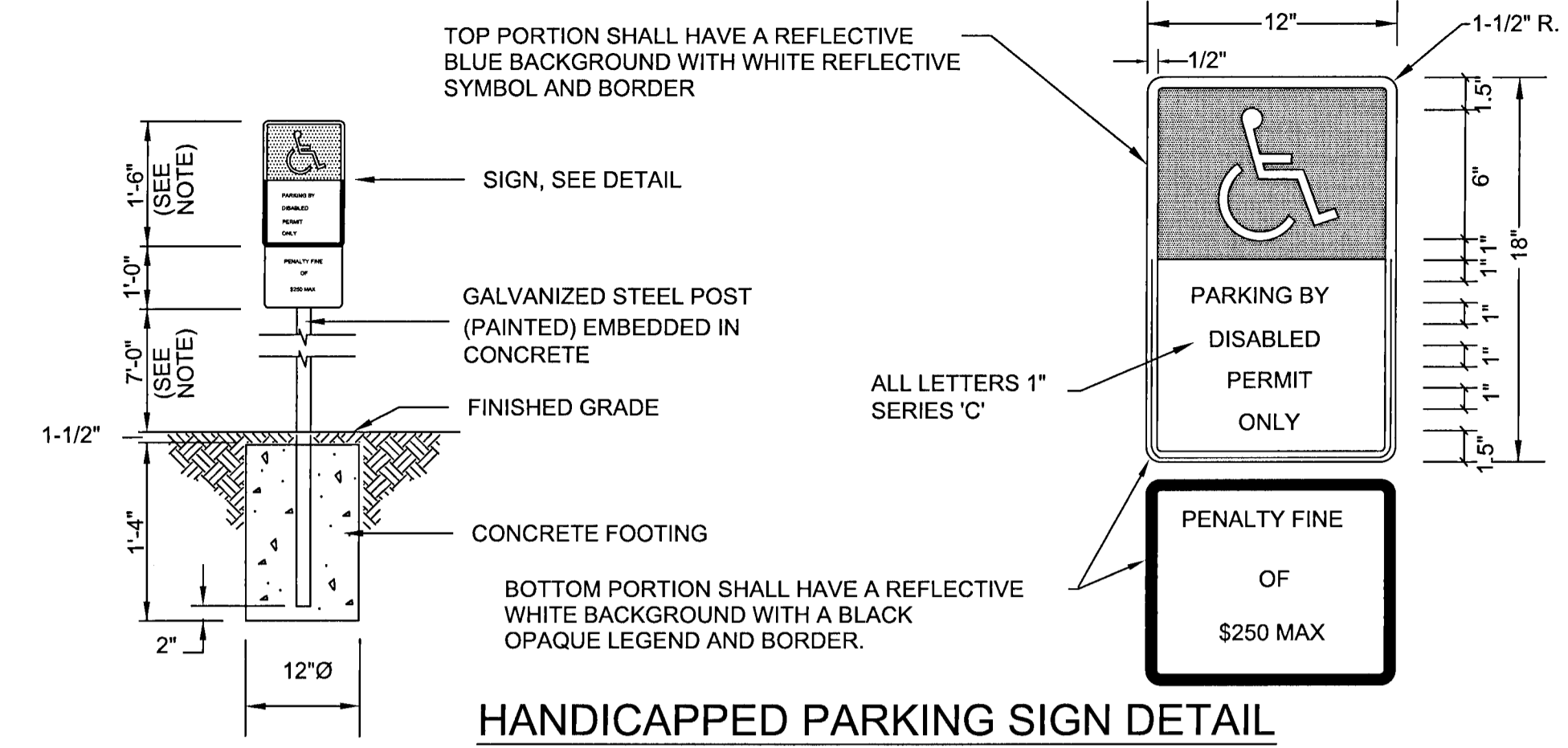
HC RAMP STRIPING DETAIL
N.T.S.



SIDEWALK DETAIL
N.T.S.

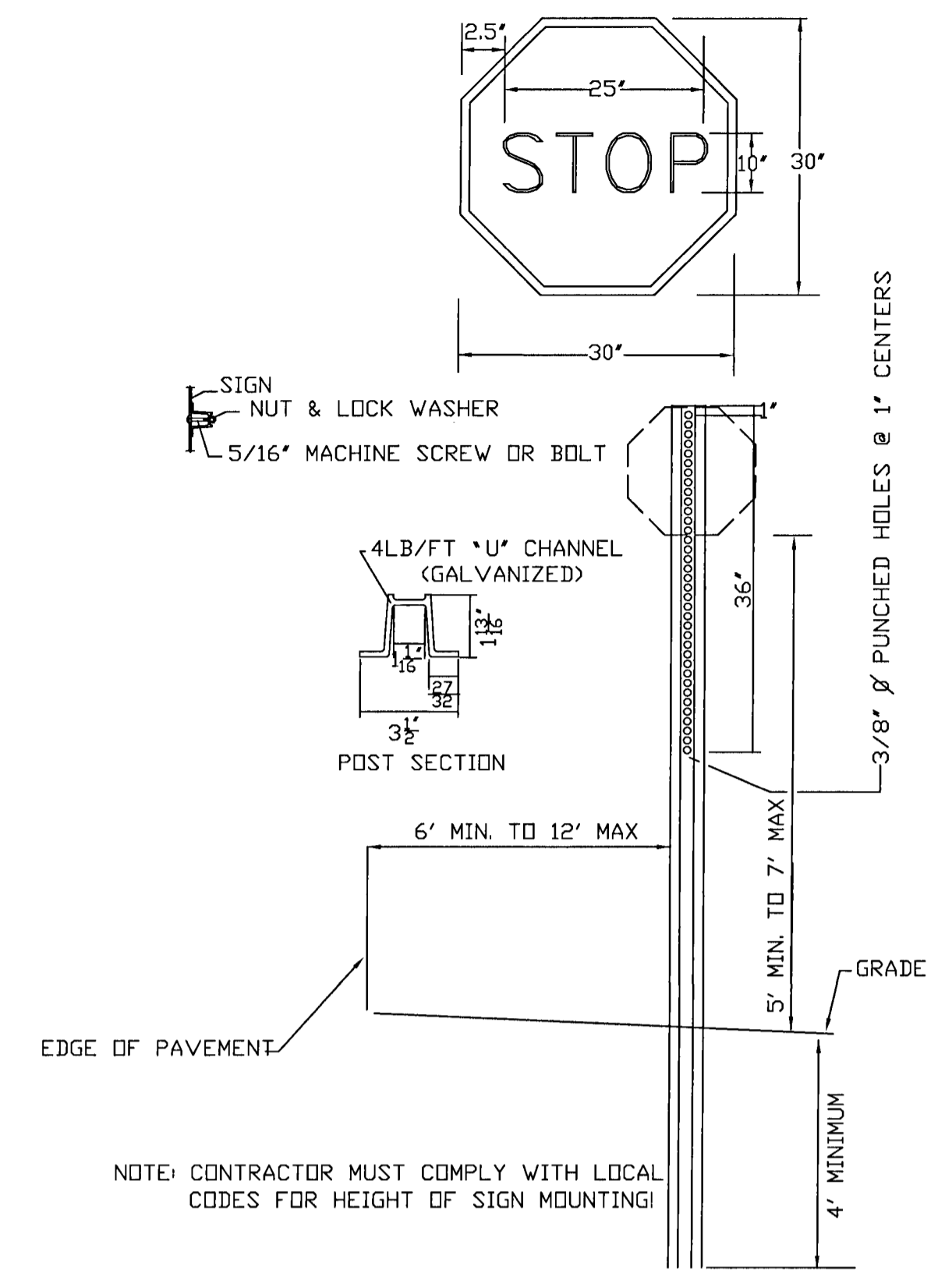


CONCRETE BUMPER GUARD
N.T.S.



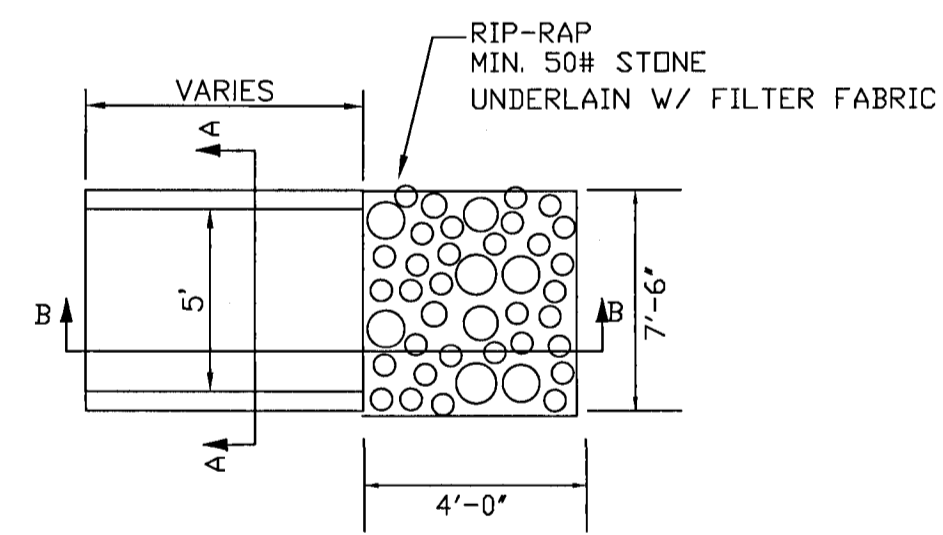
HANDICAPPED PARKING SIGN DETAIL
N.T.S.

NOTE: SIGN MUST CONFORM WITH F.D.O.T. FTP-25 AS SHOWN IN TRAFFIC DESIGN STANDARDS INDEX NO. 17355, SHEET 3 OF 8.
NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES CONCERNING HEIGHT OF SIGN ABOVE GRADE!

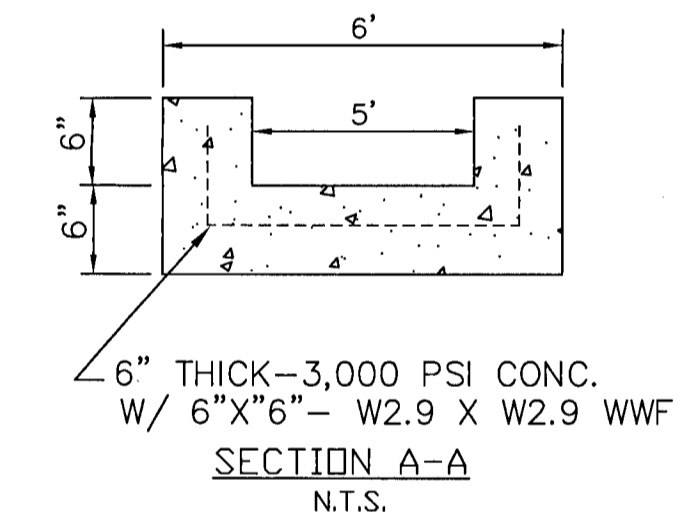


STOP SIGN DETAIL
N.T.S.

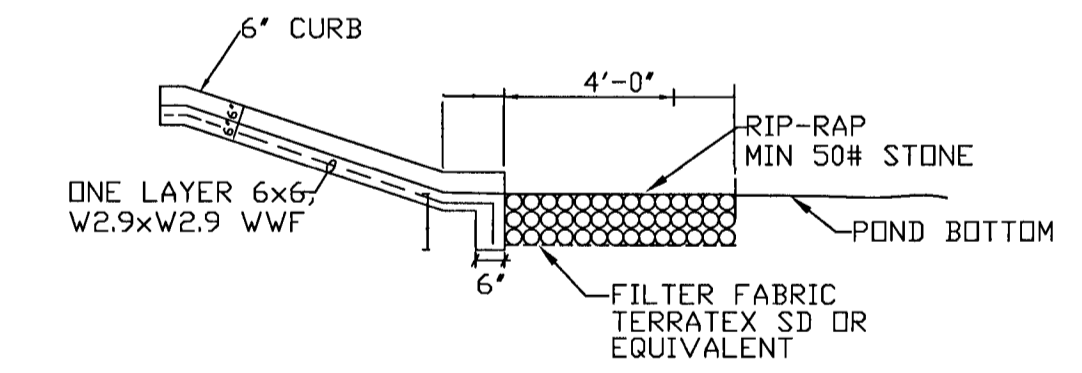
NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES FOR HEIGHT OF SIGN MOUNTING!



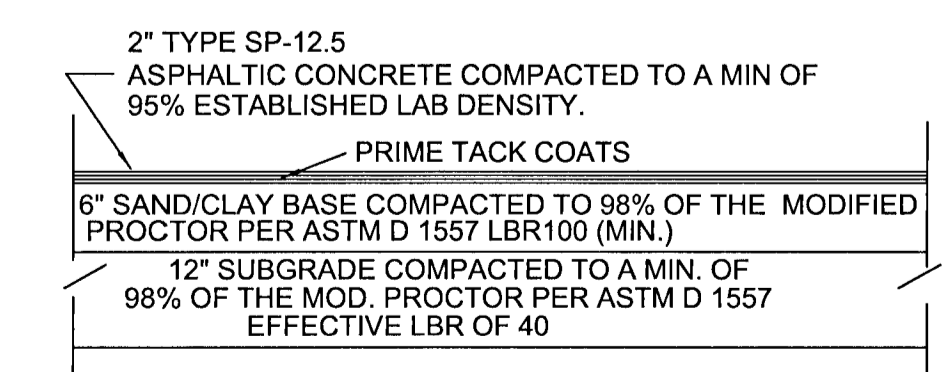
CONCRETE FLUME PLAN
N.T.S.



SECTION A-A
N.T.S.

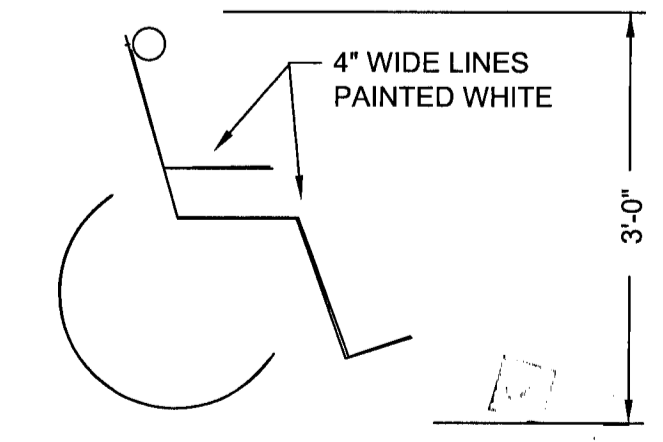


SECTION B-B
N.T.S.



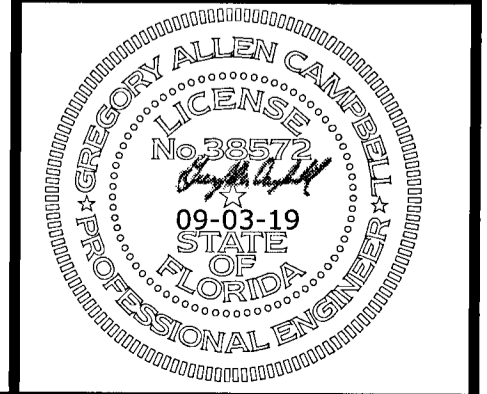
ASPHALT PAVING SECTION

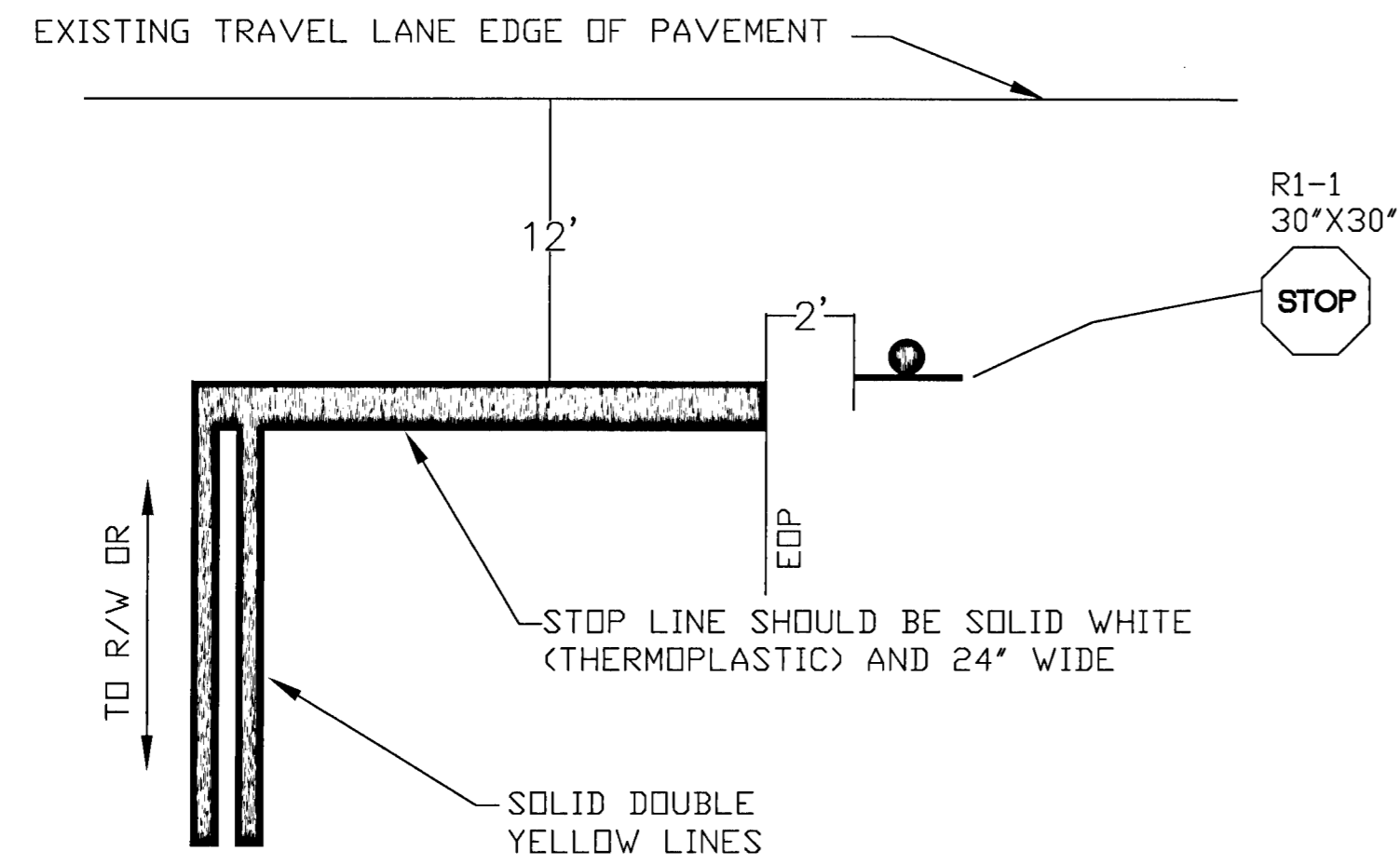
NOTE: CONTRACTOR MAY USE 6\"/>



HANDICAPPED PARKING SYMBOL
N.T.S.
SYMBOL SHALL COMPLY WITH LOCAL CODES!

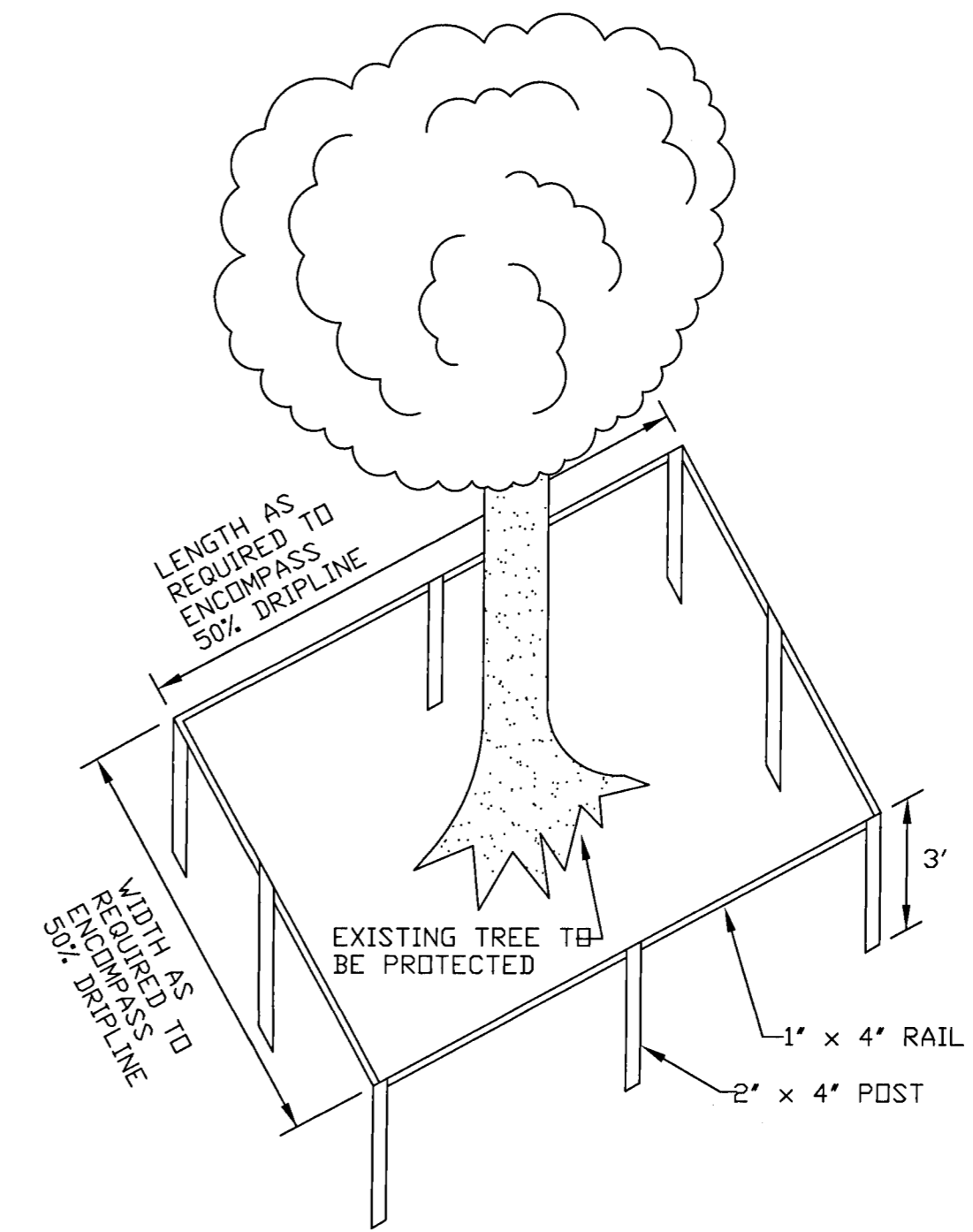
PROJECT TITLE: PINE MEADOW VETERINARY CLINIC 610 WEST NINE MILE ROAD PENSACOLA, FLORIDA ESCAMBIA COUNTY	SHEET TITLE: CONSTRUCTION DETAILS	DATE: 09-03-19	SCALE: 1=20'	SHEET NUMBER: C11	SHEET 12 OF 14
		DATE: 09-03-19			
PROJECT NUMBER: 1	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14
PER ESCAMBIA COUNTY COMMENTS DATED 09-26-19	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14
ENVIRONMENTAL ENGINEERING SERVICES CERTIFICATE OF AUTHORIZATION #: 6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FL PE LICENSE #: 38572	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14
REVISIONS	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14
BY	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14
DATE	PROJECT TITLE:	DATE:	SCALE:	SHEET NUMBER:	SHEET 12 OF 14





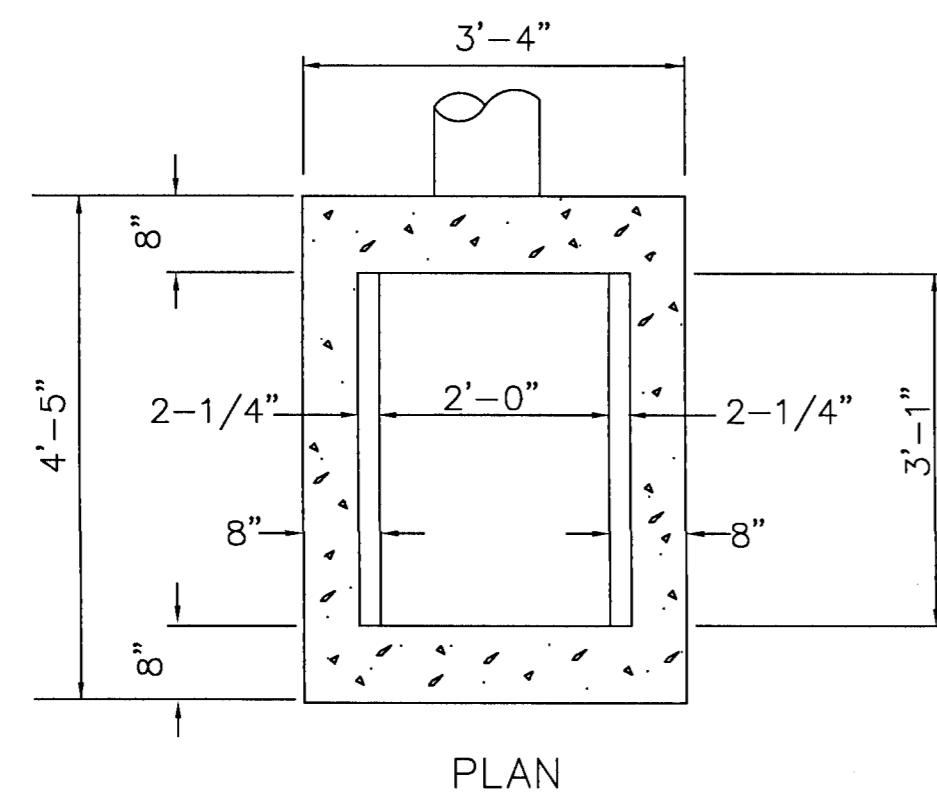
TYPICAL INGRESS/EGRESS
N.T.S.

NOTE: ALL ACCESS STRIPING AND LANE STRIPING IN FDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC. NO PREMANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.

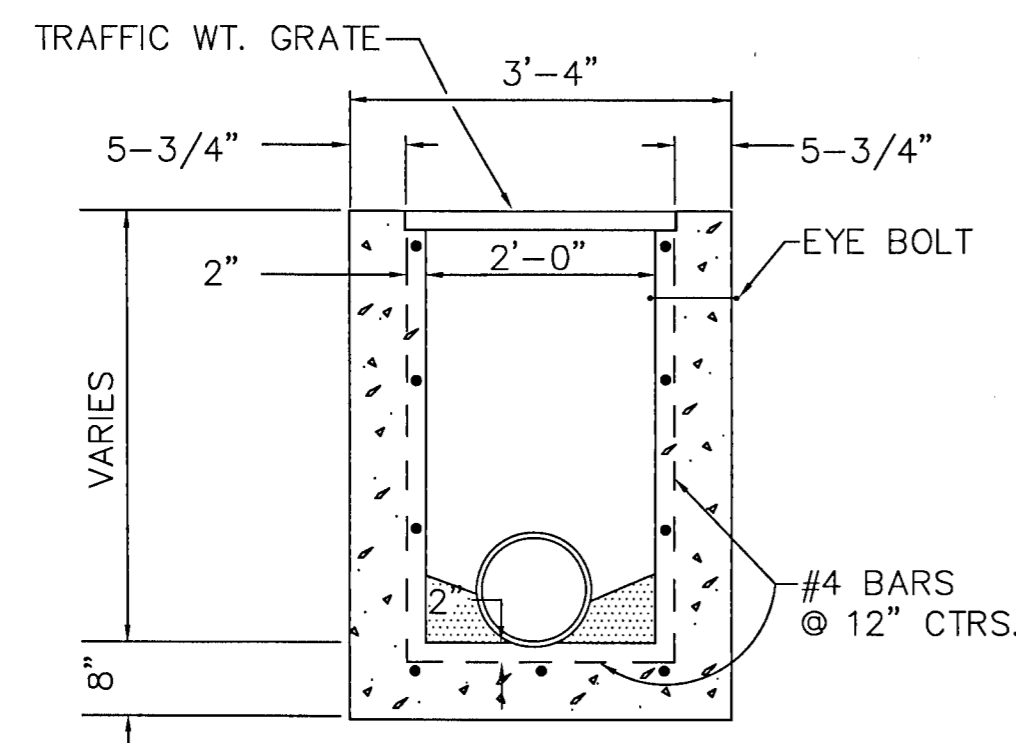


NOTE: ALL TREES NOT DESIGNATED TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES. EQUIPMENT OPERATORS SHOULD USE EXTREME CAUTION WHEN WORKING AROUND TREES SO AS NOT TO DAMAGE OR SCAR ANY TREES OR ROOTS.

TREE PROTECTION DETAIL
N.T.S.

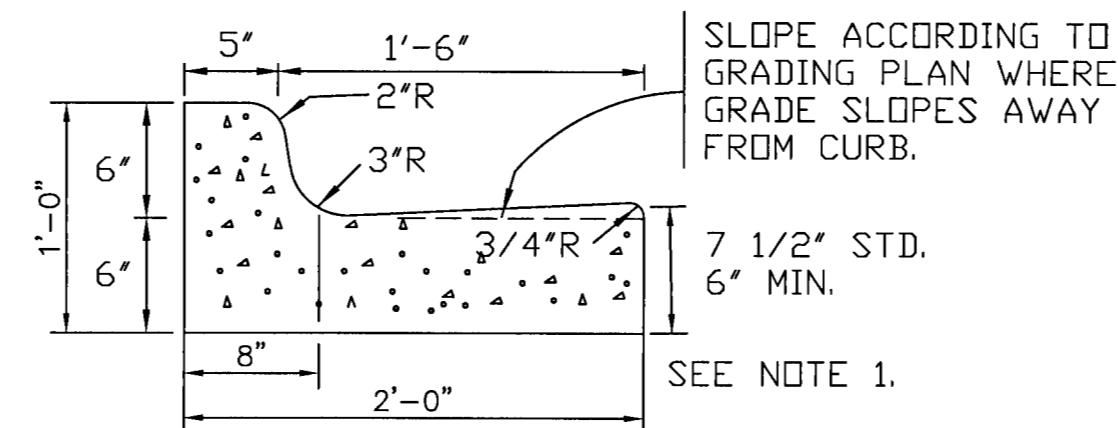


PLAN



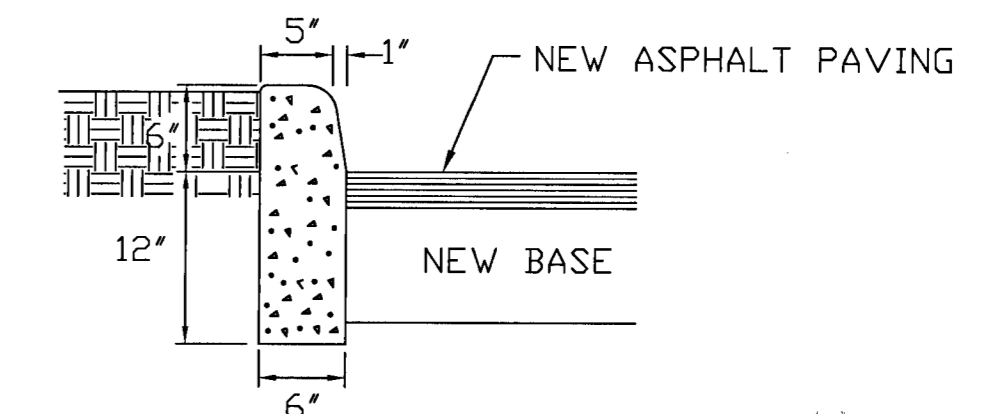
SECTION

TYPE 'C' INLET
N.T.S.



NOTE 1:
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" UNLESS OTHERWISE SHOWN ON PLANS.

FDOT "F" TYPE CURB & GUTTER
N.T.S.



RAISED CURB DETAIL
N.T.S.

NO.	REVISIONS	BY	DATE

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION #: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
PINE MEADOW VETERINARY
CLINIC
610 WEST NINE MILE ROAD
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
CONSTRUCTION DETAILS

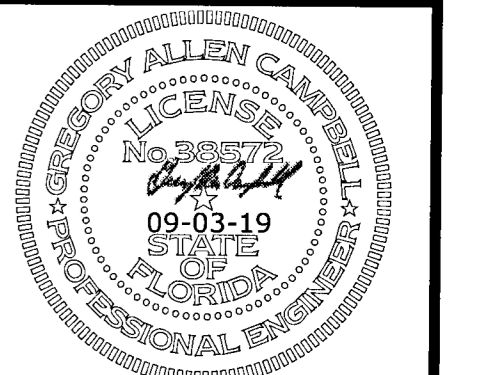
DATE: 09-03-19

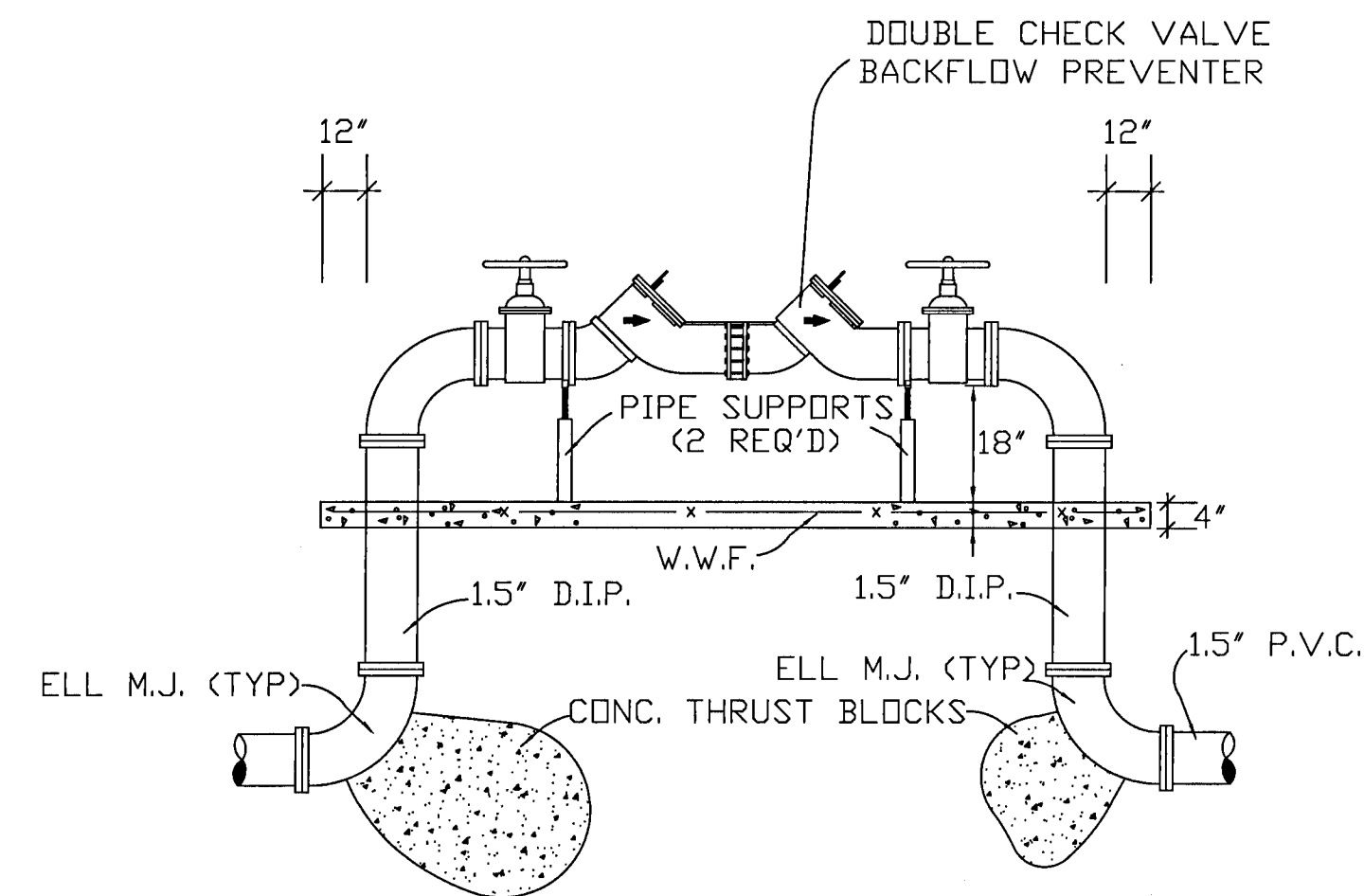
SCALE: 1=20'

SHEET NUMBER:

C12

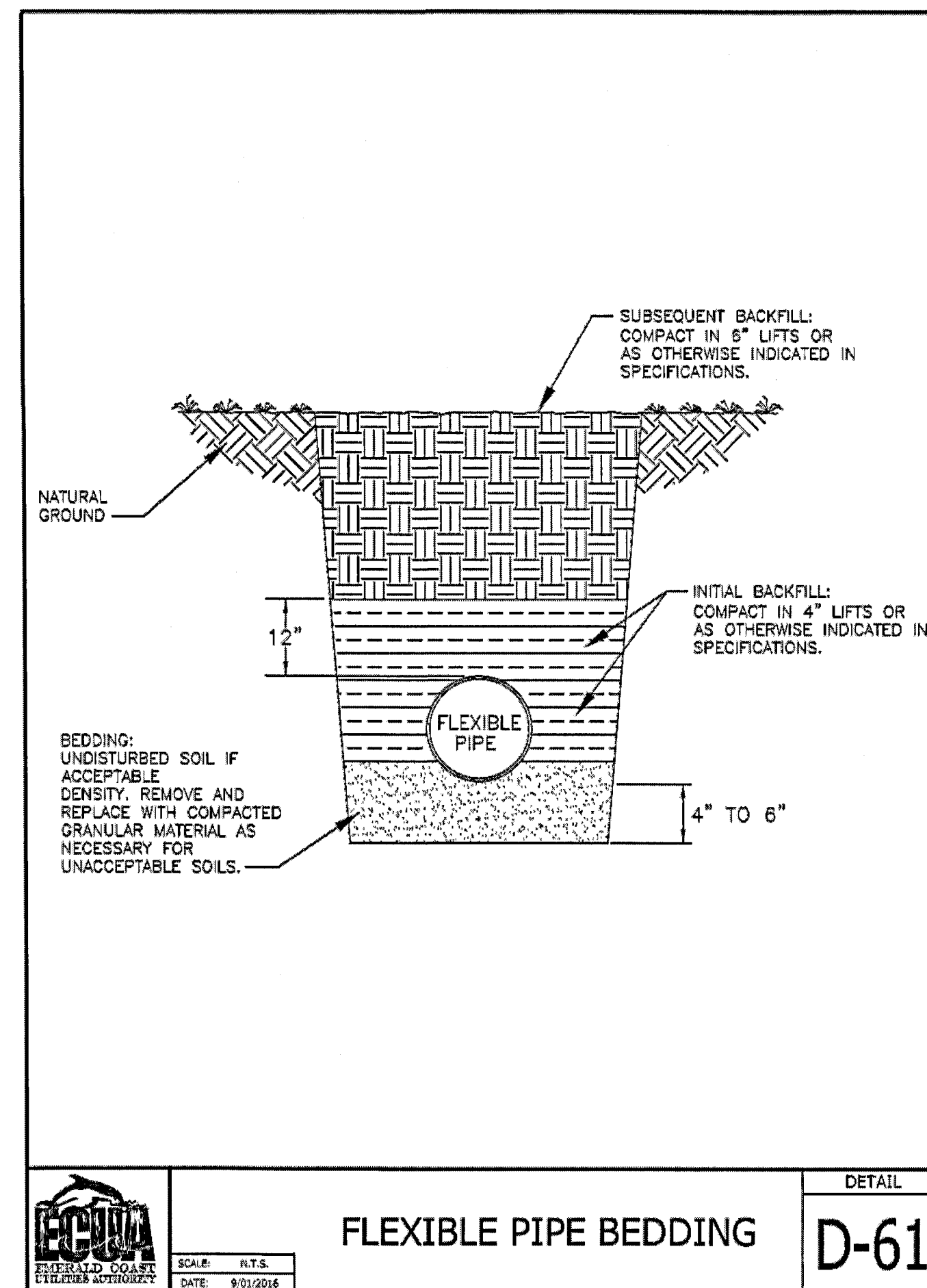
SHEET 13 OF 14





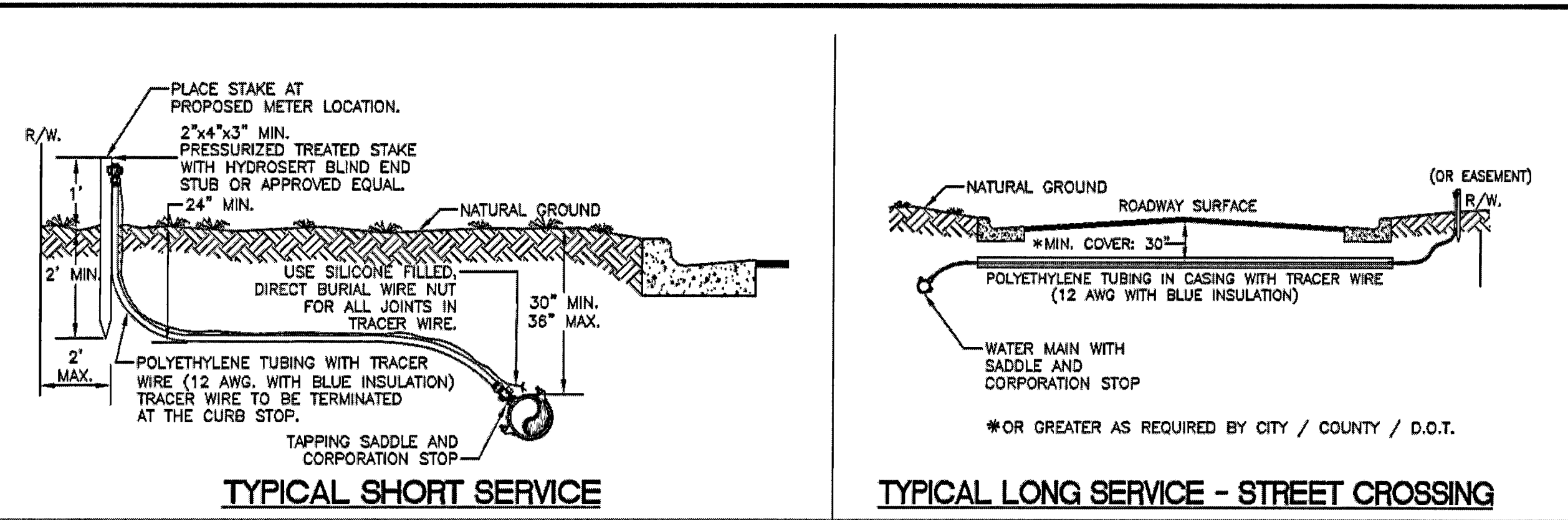
NOTE:
ABOVE GROUND PIPING,
VALVES, & BACKFLOW PREVENTER
TO BE INSULATED AND HAVE A FIBERGLASS "JACKET".

BACKFLOW PREVENTER DETAIL
N.T.S.



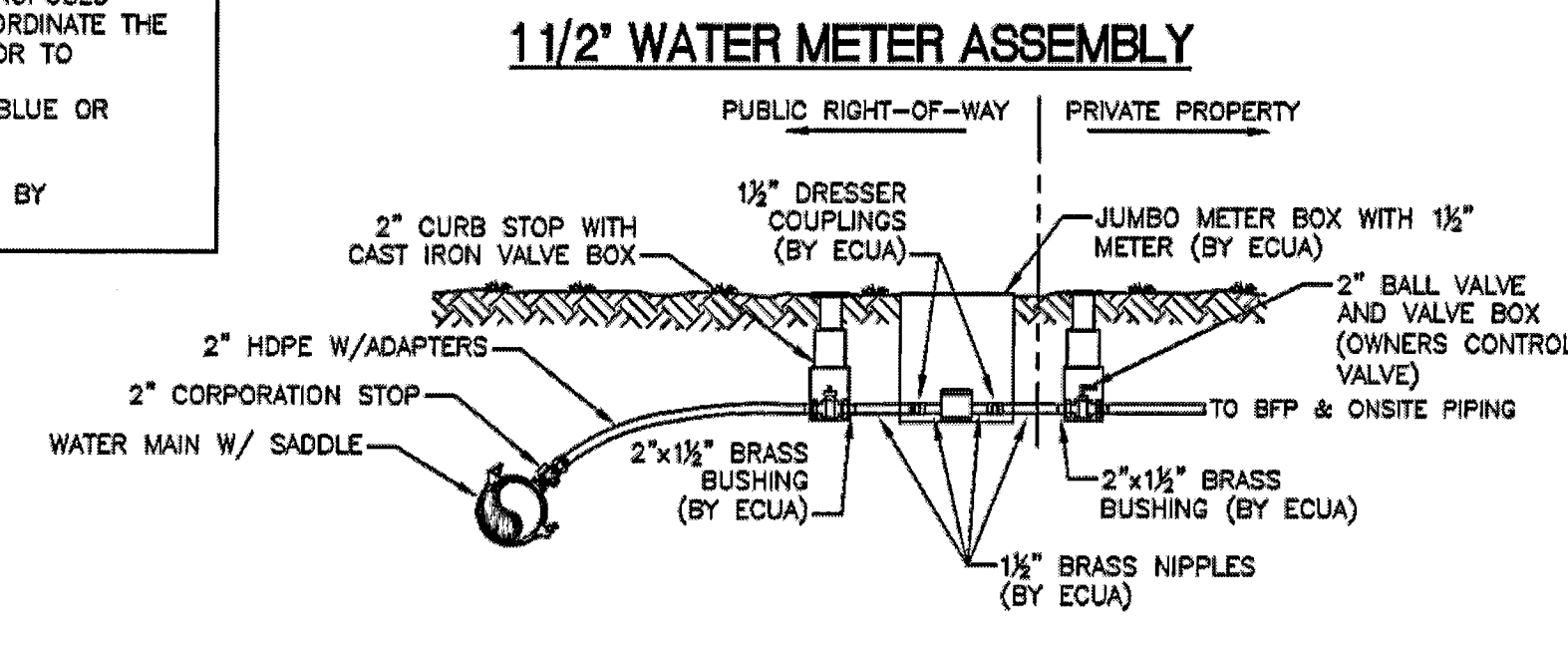
FLEXIBLE PIPE BEDDING

DETAIL
D-61



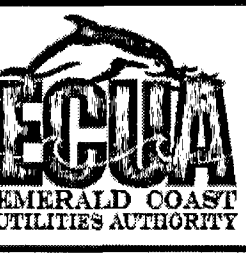
GENERAL NOTES:
- SERVICE LINES TO BE TERMINATED WITHIN 2 FEET OF THE R/W LINE BUT NOT UNDER ANY TYPE OF PAVEMENT.
- ALL WATER SERVICES SHALL BE INSTALLED 1 FOOT OFF THE COMMON PROPERTY LINE, ON THE OPPOSITE PROPERTY LINE FROM THE PROPOSED ELECTRICAL TRANSFORMERS. THE OWNER/DEVELOPER SHALL COORDINATE THE LOCATION OF THE WATER METER WITH THE POWER COMPANY PRIOR TO INSTALLATION.
- CASING SHALL BE PVC OR HDPE AND SHALL BE COLOR CODED BLUE OR BLACK WITH BLUE STRIPING.
- ALL METER BOXES AND PLUMBING SHALL BE INSTALLED BY THE OWNER/DEVELOPER. ALL METERS SHALL BE INSTALLED BY ECUA BY CONNECTING METER TO CURB-STOP.

RECOMMENDED TUBING SIZES FOR WATER SERVICES			
SIZE OF METER	DESIGN FLOW (GPM)	MAX. LENGTH OF TUBING FOR SIZE INDICATED	
		1"	2"
5/8"	20	92	2679
1"	50	17	492
1 1/2"	100		136
SIZE OF CASING (LONG SERVICE ONLY)		2"	4"



WATER SERVICE FOR
5/8", 1", & 1 1/2" METERS

DETAIL
D-40



SCALE: N.T.S.
DATE: 9/01/2016

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING • CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	10 FT. PREFERRED 6 FT. MINIMUM (2)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT MINIMUM

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

NOTES:
A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE AND THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

WATER / SEWER
SEPARATION

DETAIL
D-64



SCALE: N.T.S.
DATE: 9/01/2016

NO.	REVISIONS	BY	DATE

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION #: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
PINE MEADOW VETERINARY
CLINIC
610 WEST NINE MILE ROAD
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
UTILITY DETAILS

DATE: 09-03-19
SCALE: 1"=20'
SHEET NUMBER:
C13
SHEET 14 OF 14

