

**LEGEND**

---	PROPERTY LINE	□	ELECTRIC METER
- - -	1' CONTOURS	□	ELECTRIC BOX
- - -	5' CONTOURS	○	POWER POLE
○	C.R.F. CAPPED REBAR FOUND	⊕	LIGHT POLE
○	R.B.F. REBAR FOUND	⊕	GUY WIRE
■	C.M.F. CONCRETE MONUMENT FOUND	⊕	WATER METER
○	C.R.S. CAPPED REBAR SET	⊕	WATER VALVE
○	M.A.S. MAG NAIL SET	⊕	SIGN
⊕	DRAINAGE MANHOLE	⊕	GAS VALVE
⊕	SANITARY SEWER MANHOLE	⊕	UNDERGROUND SEWER LINE
⊕	GREASE TRAP	⊕	OVER HEAD POWER LINE
⊕	SSCO SEWER CLEAN OUT		

**GENERAL SURVEYORS NOTES:**

- SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PREVIOUS SURVEYS BY THIS FIRM, SURVEYS BY OTHER FIRMS AND INFORMATION FURNISHED BY CLIENT. NO TITLE SEARCH, TITLE OPINION OR ABSTRACT WAS PERFORMED BY THIS FIRM. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT TIME OF SURVEY.
- ALL BEARINGS ARE BASED ON THE GRID NORTH AS DETERMINED BY RTK GPS AND REFERENCED TO NAD83, FLORIDA NORTH STATE PLANE COORDINATES.
- I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION MAP, COMMUNITY PANEL NO. 12033C0280G, EFFECTIVE SEPTEMBER 29, 2006, AND HAVE FOUND THAT THE DESCRIBED PROPERTY IS LOCATED IN ZONE "X" (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- FIELD WORK FOR THIS SURVEY WAS PERFORMED DECEMBER 2018.
- ANY FLOOD ZONES GIVEN OR SHOWN ON THE FACE OF THIS DRAWING ARE SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAPS (SCALED ONLY).
- ONE FOOT CONTOURS ARE REFERENCED TO NAVD83.

**RECORD DESCRIPTION:**  
 COMMENCE AT THE NORTHEAST CORNER OF SECTION 14, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, THENCE GO SOUTH 02 DEGREES 35 MINUTES 09 SECONDS WEST ALONG THE EAST LINE OF THE AFORESAID SECTION 14 A DISTANCE OF 191.84 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 02 DEGREES 35 MINUTES 09 SECONDS WEST ALONG THE AFORESAID LINE A DISTANCE OF 82.16 FEET; THENCE GO SOUTH 23 DEGREES 27 MINUTES 56 SECONDS WEST A DISTANCE OF 28.05 FEET; THENCE GO SOUTH 02 DEGREES 35 MINUTES 09 SECONDS WEST A DISTANCE OF 30.00 FEET; THENCE GO NORTH 88 DEGREES 36 MINUTES 51 SECONDS WEST A DISTANCE OF 140.50 FEET; THENCE GO SOUTH 88 DEGREES 02 MINUTES 11 SECONDS EAST A DISTANCE OF 91.00 FEET; THENCE GO SOUTH 01 DEGREES 57 MINUTES 49 SECONDS WEST A DISTANCE OF 5.00 FEET; THENCE GO SOUTH 88 DEGREES 02 MINUTES 11 SECONDS EAST A DISTANCE OF 52.00 FEET; THENCE GO NORTH 01 DEGREES 57 MINUTES 49 SECONDS EAST A DISTANCE OF 5.00 FEET; THENCE GO SOUTH 88 DEGREES 02 MINUTES 11 SECONDS EAST A DISTANCE OF 88.96 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL OF LAND IS SITUATED IN SECTION 14, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA.

PER THE FLORIDA STANDARDS OF PRACTICE FOR LAND SURVEYING:  
 I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

ERLIL E. GODWIN, PLS.  
 FLORIDA LICENSE NUMBER 6528  
 DATE: 01/07/19

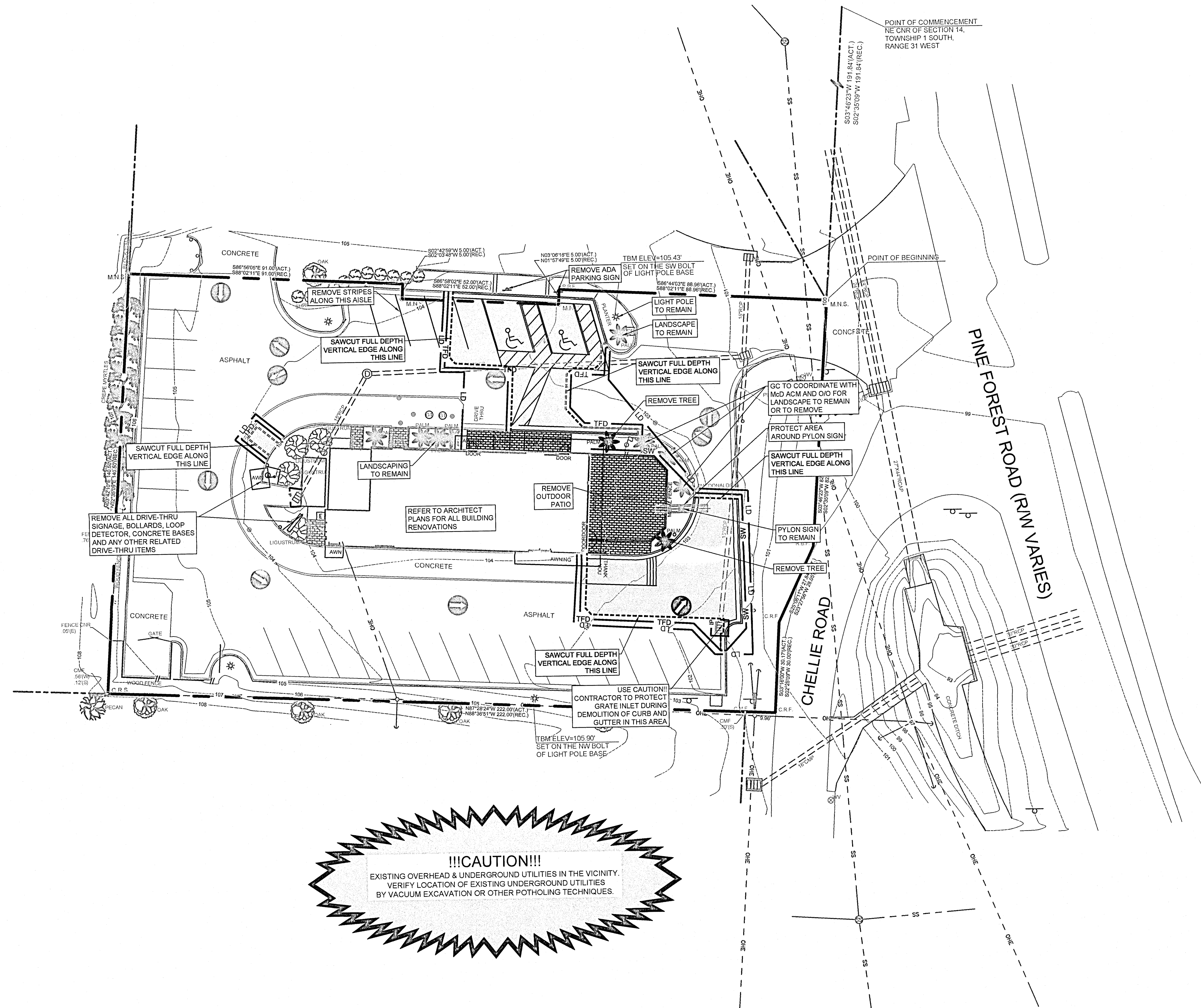
BOUNDARY/TOPOGRAPHIC SURVEY  
 7941 PINE FOREST RD., PENSACOLA, FL  
 ADAMS ENGINEERING

SCALE:	1"=20'
DATE:	JANUARY 4, 2019
DRAWN BY:	QM
CHECKED BY:	EG
SHEET:	1 OF 1

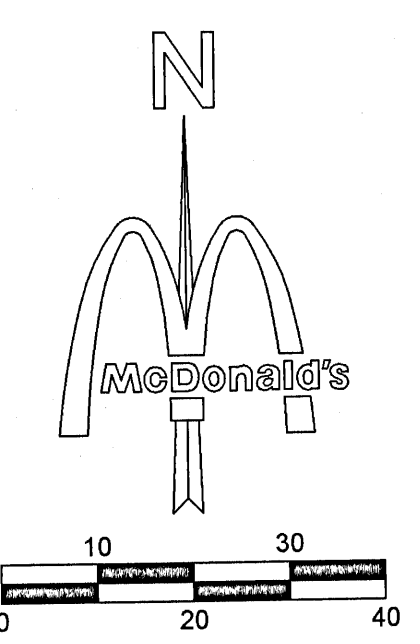
NUMBER:	REVISION:	DATE:

**Sawgrass**  
 CONSULTING, LLC  
 ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT  
 11143 Old Highway 31 Spanish Fort, AL 36527 Phone: (251) 544-7900  
 818 N. McKenzie Street Foley, AL 36535 Phone: (251) 970-7900

FILENAME: C:\DESIGN\EROSION CONTROL PLAN.dwg PLOTTED BY: Margaret Graham PLOT DATE: Tuesday, May 21, 2019 PLOT TIME: 11:02:18 AM PLOTTER: JND5 50x60 pc3 FULL PATH: I:\Projects\1012018\2018 McDonalds - Pensacola - FL (RM) Pine Forest Rd\Drawings\Production\MCD\EROSION CONTROL PLAN.dwg



**!!!CAUTION!!!**  
 EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY.  
 VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES  
 BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

**DEVELOPER INFORMATION**  
 MCDONALD'S USA, LLC  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 1801 WEST END AVE, SUITE 1000  
 NASHVILLE, TN 37203  
 P: (228) 369-0028  
 F: (901) 339-0670  
 CONTACT: MIKE CROWLEY

**DEMOLITION LEGEND**

AREA OF REMOVAL (PAVEMENT, BUILDINGS, UNDERGROUND UTILITIES, CURBS, SIGNS, LIGHT POLES, LIGHT FIXTURES, ETC. UNLESS OTHERWISE NOTED.)

SAWCUT LINE

**EROSION CONTROL LEGEND**

--- XXX --- EXISTING CONTOUR

--->--- EXISTING DRAINAGE FLOW ARROW

--- LD --- LIMITS OF DISTURBANCE

--- TP --- TREE PROTECTION

--- TFD --- TRIANGULAR FILTER DIKE

--- IP --- INLET PROTECTION

**\*\*\*NOTE TO CONTRACTOR\*\*\***

THE CONTRACTOR SHALL NOTE ON SITE PLAN THE LOCATION OF ALL MATERIAL STORAGE AREAS, EQUIPMENT STORAGE AREAS, PETROLEUM TANKS, SOLID WASTE RECEPTACLES, SANITARY FACILITIES, CONCRETE WASHOUT AREAS, ANY ON-SITE OR OFF-SITE BORROW OR STOCKPILE AREA, ANY ON-SITE OR OFF-SITE SUPPORT ACTIVITIES (SUCH AS ASPHALT OR CONCRETE PLANTS). CONTRACTOR SHALL ALSO PREPARE, KEEP ON SITE, AND MAINTAIN CURRENT A LIST OF MATERIALS WITH APPROXIMATE QUANTITIES, WHICH ARE STORED ON SITE.

**\*\*\*CAUTION - NOTICE TO CONTRACTOR\*\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORD OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, ACTUAL MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED HEREON IS NOT TO BE TAKEN AS EXACT OR FULLY COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN.

**\*\*NOTE\*\***

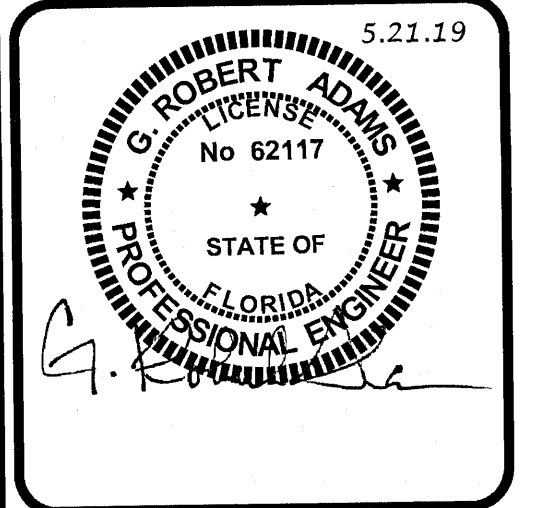
MINIMAL BEST MANAGEMENT PRACTICES FOR EROSION CONTROL HAVE BEEN SHOWN ON THIS PLAN. DISTURBANCE IS LESS THAN 1 ACRE THEREFORE NO SWPPP WILL BE PREPARED FOR THIS PROJECT. ADAMS ENGINEERING RECOGNIZES STATE REQUIREMENTS FOR STORM WATER POLLUTION CONTROL AND HAS SPECIFIED BEST MANAGEMENT PRACTICES FOR CONSTRUCTION; HOWEVER, ADAMS ASSUMES NO RESPONSIBILITY FOR A SWPPP ON THIS PROJECT.



BY	MEG	DESCRIPTION
ISSUE FOR PERMIT	MEG	
ISSUE FOR CONSTRUCTION		
REV	DATE	
04/23/2019		
05/17/2019		

ADAMS JOB NO.: 2018.235  
 Certificate of Authorization: #27614

**Adams**  
 891 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (817) 328-3300



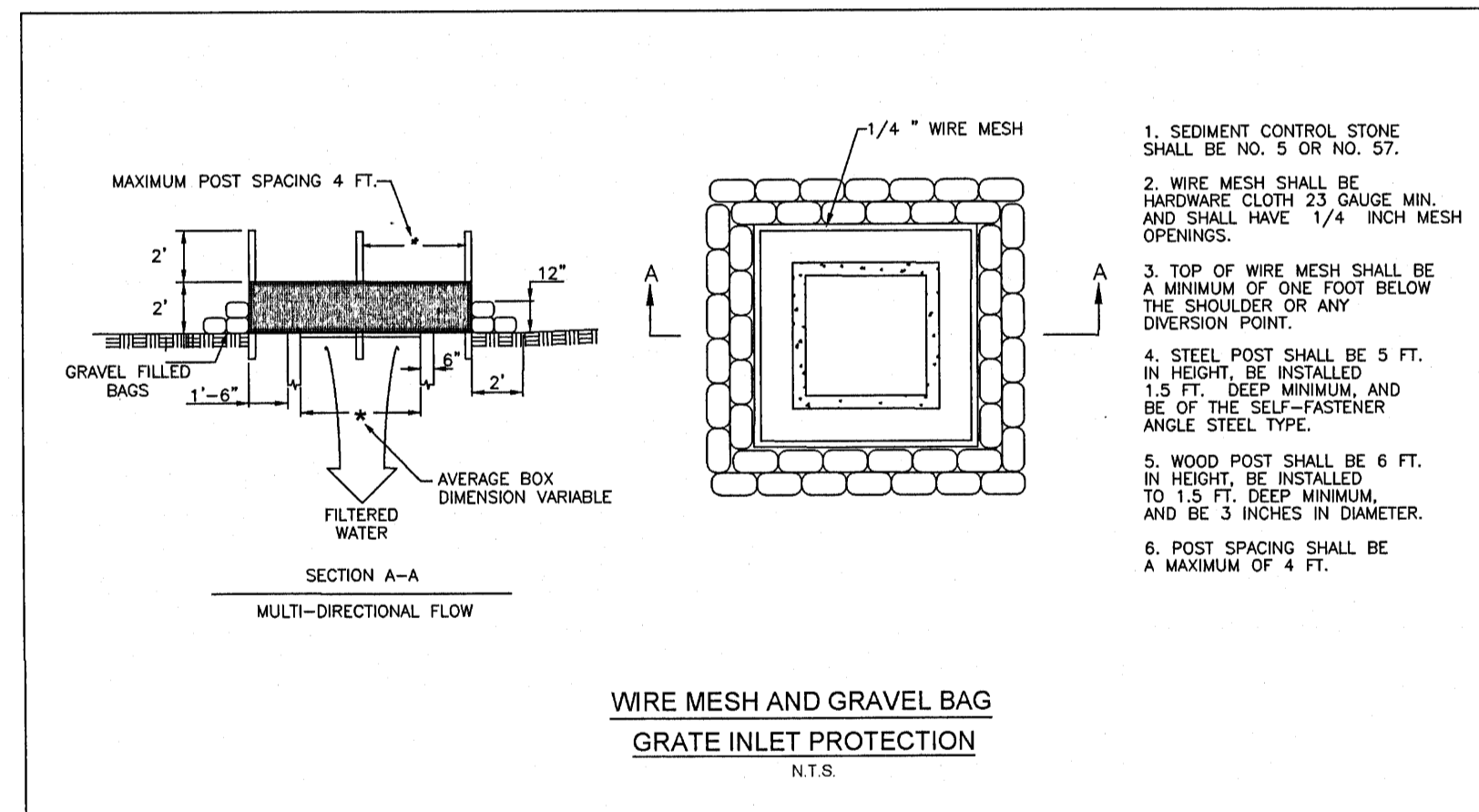
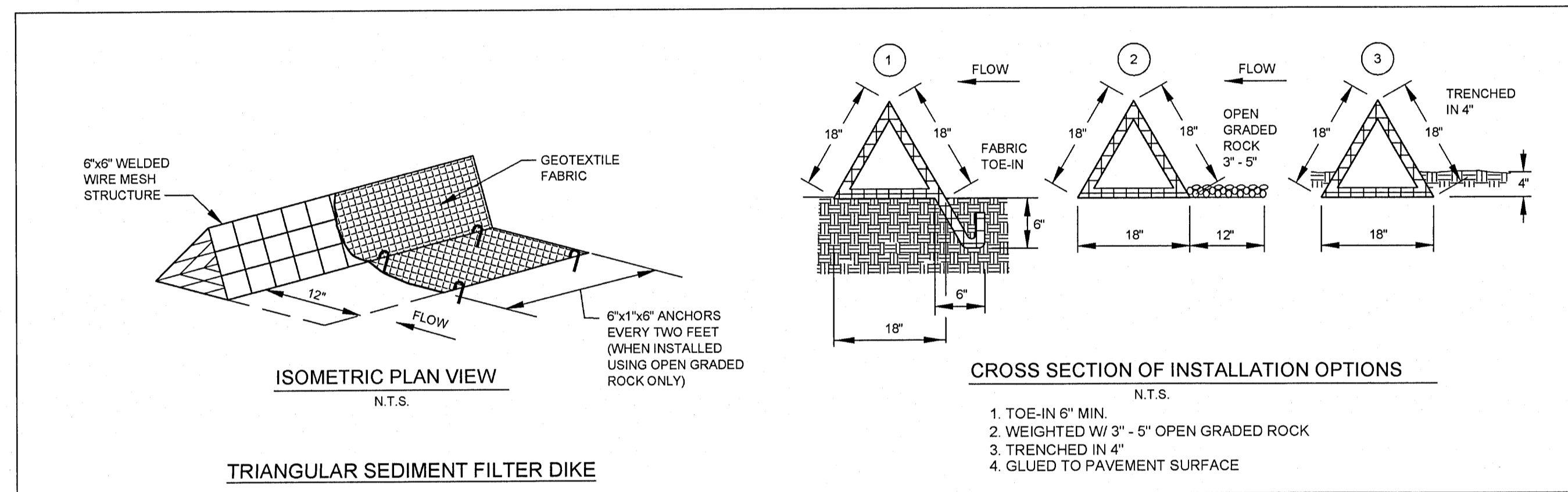
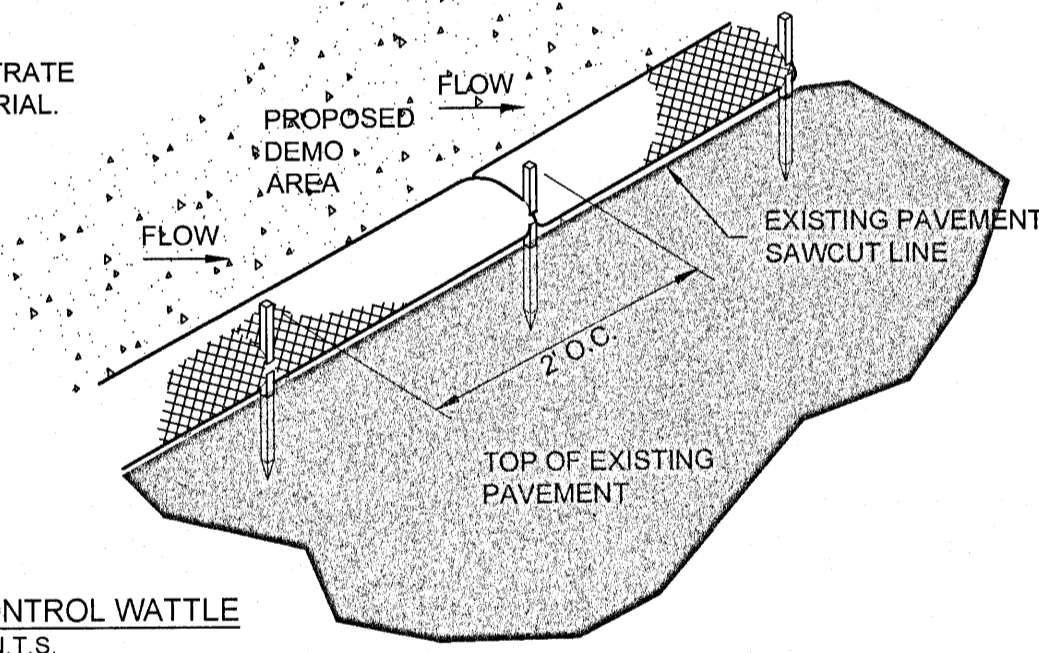
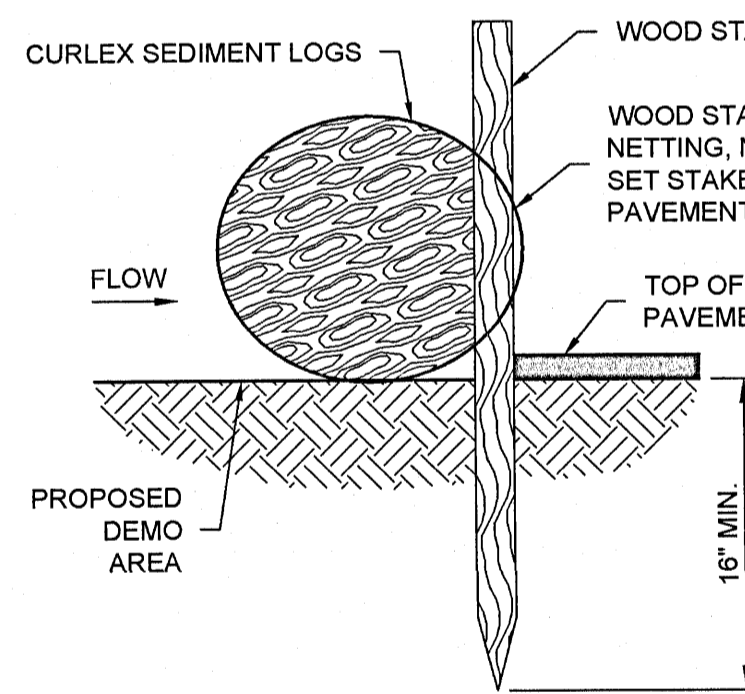
McDonald's USA, LLC  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 KRCC DRIVE - OAK BROOK, ILLINOIS 60521

McDonald's USA, LLC  
 7941 PINE FOREST ROAD  
 PENSACOLA, FLORIDA

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

DESIGNED	APR 2019	MEG
DRAWN	APR 2019	MEG
CHECKED	APR 2019	DWL
AS-BUILT		
DEMO & EROSION CONTROL PLAN		
C2.0		

FILENAME: C2.1 EROSION CONTROL DETAILS.dwg | PLOT DATE: Tuesday, May 21, 2019 | PLOT TIME: 11:00:23 AM | PLOTTED BY: Margaret Chisom | PLOTTER: DWG TO PDF.pc3 | FULL PATH: L:\Projects\0178218\_258\_McDonalds - Pensacola, FL (784) Pine Forest Rd\DWG\03 Production\ACD\Sheet\CD\Production\CD\Sheet\2.1 EROSION CONTROL DETAILS



REV	DATE	DESCRIPTION	BY
04/23/2019	05/17/2019	ISSUE FOR PERMIT	MEG
		ISSUE FOR CONSTRUCTION	MEG

ADAMS JOB NO.: 2018.235  
Certificate of Authorization: #27614  
8951 Cypress Waters Blvd., Suite 150 • Dallas, Texas 75019 • (817) 338-5200

**Professional Engineer**  
G. ROBERT ADAMS  
No 62117  
STATE OF FLORIDA

**McDonald's USA, LLC**  
South Central Field Execution Team  
KROC Drive - Oak Brook, Illinois 60521  
McDonald's LLC 009-1117

7941 PINE FOREST ROAD  
PENSACOLA, FLORIDA

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
CO-SIGN SIGNATURES		

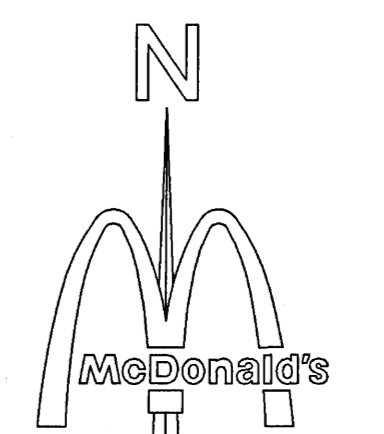
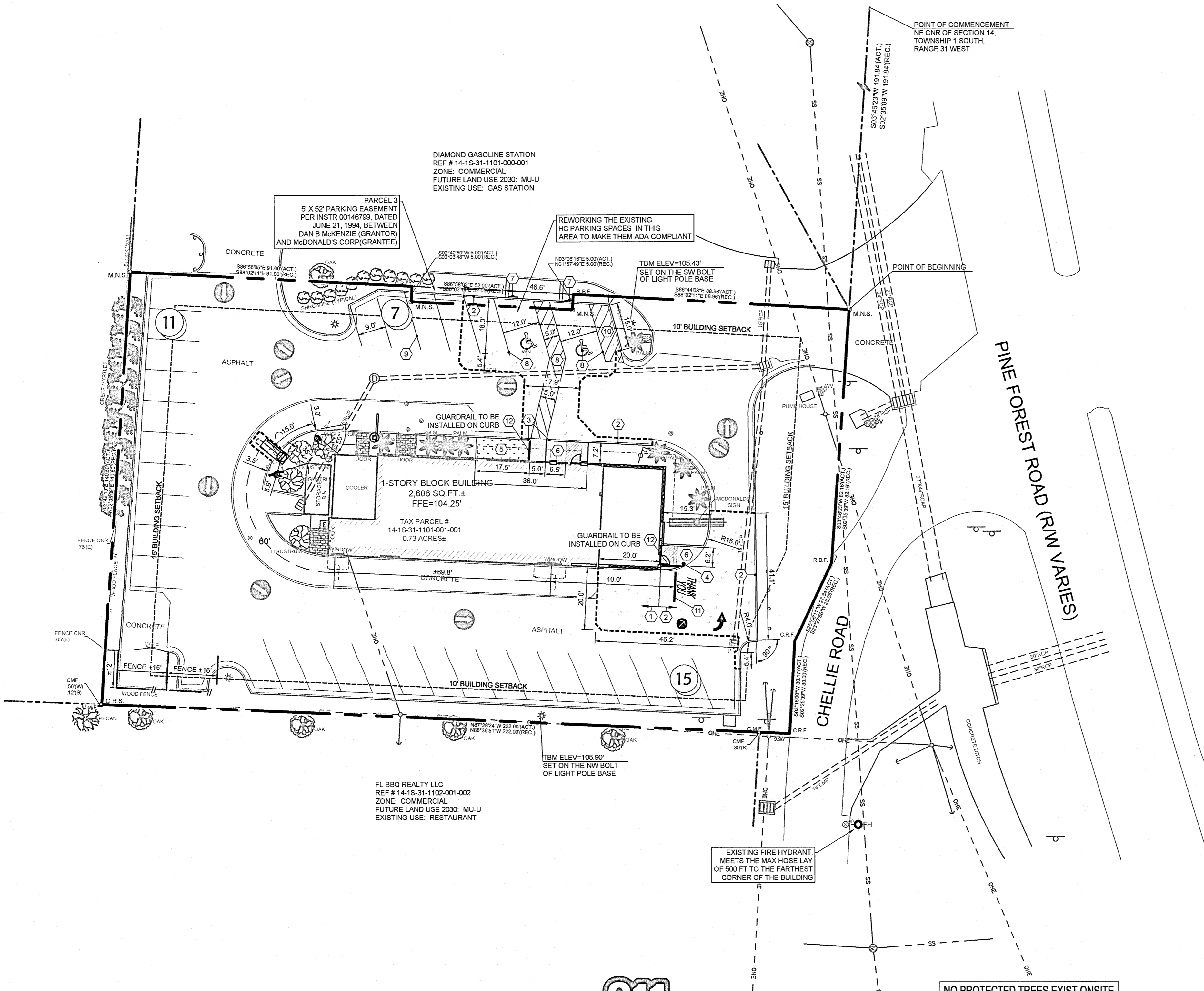
REGIONAL MGR.  
CONTR. MGR.  
OPERATIONS DEPT.  
REAL ESTATE DEPT.  
CONTRACTOR  
OWNER

	DATE	BY
DESIGNED	APR 2019	MEG
DRAWN	APR 2019	MEG
CHECKED	APR 2019	DWL
AS-BUILT		

**EROSION CONTROL DETAILS**  
**C2.1**

Stamp/Markings

SHREE KAPIL HOSPITALITY LLC  
 REF # 14-15-31-1101-000-002  
 ZONE: COMMERCIAL  
 FUTURE LAND USE 2030: MU-U  
 EXISTING USE: MOTEL/HOTEL



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

**DEVELOPER INFORMATION**  
 MCDONALD'S USA, LLC  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 1801 WEST END AVE, SUITE 1000  
 NASHVILLE, TN 37203  
 P: (228) 369-0028  
 F: (901) 339-0670  
 CONTACT: MIKE CROWLEY

**HERE WE GROW AGAIN SIGN**  
 THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH ALTRUA GLOBAL SOLUTIONS. CONTACT: KRISTY FIALLO - PH#: 1-800-443-6939

**LEGEND**

EXISTING POLE SIGN	
MCDONALD'S DIGITAL MENU BOARD	
MCDONALD'S ORDER HERE CANOPY	
MCDONALD'S DIGITAL PRE-BROWSE BOARD	
MCDONALD'S SINGLE GATEWAY	
DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) (RE: C6.0 STANDARD DETAILS)	
"THANK YOU" AT END OF PATH - COLOR: YELLOW	

**SITE INFORMATION**

LAND AREA:	31,626.67 SF (0.726 AC)
CURRENT ZONING:	C-1 COMMERCIAL
EXISTING USE:	RESTAURANT W/DRIVE-THRU
PROPOSED USE:	RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	14,080 SF
PARKING REQUIRED:	1 SPACE PER 2.5 SEATS OR 10 PER 1,000 SF
EXISTING PARKING CALCULATION:	37 SEATS / 2.5 = 15 SPACES
EXISTING PROVIDED:	33
PROPOSED PARKING CALCULATION:	50 SEATS / 2.5 SF = 20 SPACES
PARKING PROVIDED:	33
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
EXISTING IMPERVIOUS:	25,721.14 SF
PROPOSED IMPERVIOUS:	25,343.69 SF
EXISTING PERVIOUS:	6,077.66 SF
PROPOSED PERVIOUS:	6,282.98 SF

**PAVING LEGEND**

	REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
	HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU
	SAWCUT LINE

**KEY NOTE LEGEND**

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C6.2 STANDARD DETAILS)
2	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C6.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C6.3 STANDARD DETAILS)
4	BOLLARD (RE: C6.1 STANDARD DETAILS)
5	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
6	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS)
7	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C6.1 STANDARD DETAILS)
8	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (PER STATE/CITY REQUIREMENTS)
9	4" PARKING STALL STRIPING - COLOR: WHITE (TYP)
10	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR: WHITE
11	8" OOSP STRIPING - COLOR: YELLOW
12	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS)

**FLORIDA STANDARD ACCESSIBILITY REQUIREMENTS**

**STANDARD ACCESSIBILITY REQUIREMENTS**

**PARKING:**  
 ACCESSIBLE PARKING SPACES SHALL BE A MIN. 12' WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)  
 EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 64" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT. TEXT MUST READ "PARKING BY DISABLED PERMIT ONLY" AND CONFORM TO FLORIDA DOT SECTION 11-4-30.7 HANDICAP PARKING SIGN SHALL INCLUDE PENALTY SIGN FOR ILLEGAL USE OF THE SPACE (SEE DETAIL C10.1)  
 ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.

**CURB RAMPS:**  
 RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.  
 IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO ADJACENT SURFACES - (OR PAINT STRIPE)  
 BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.  
 RAMPS SHALL NOT EXCEED A 1:12 SLOPE

**SIDEWALKS AND ACCESSIBLE ROUTES:**  
 SIDEWALKS MUST BE AT LEAST 36" WIDE  
 SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)  
 LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

**811**  
 Know what's below.  
 Call before you dig.

**PAVING SPECIFICATION**

VERIFY W/ MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>

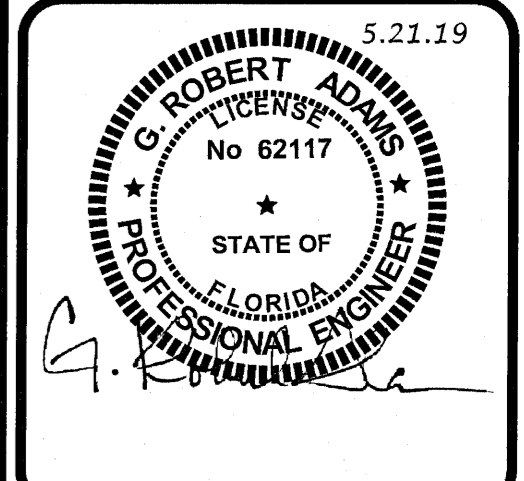
**CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID**

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	NA	7"
COMPACTED SUBGRADE	NA	7"

**PAVEMENT NOTES:**  
 1. MCDONALD'S HAS ELECTED NOT TO HAVE A GEOTECHNICAL REPORT FOR THIS PROJECT  
 2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 7 INCHES BELOW THE SURFACE.  
 3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.  
 5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH. REFER TO C6.1 FOR CONCRETE JOINT SPECIFICATIONS.  
 6. THE CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W.  
 7. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W.

REV	DATE	DESCRIPTION
04/15/2019	MEG	ISSUE FOR BRAND REVIEW
04/23/2019	MEG	ISSUE FOR PERMIT
05/17/2019	MEG	REVISED PER COUNTY / ISSUE FOR CONSTRUCTION

ADAMS JOB NO.: 2018.235  
 Certificate of Authorization: #27614



**McDonald's USA, LLC**  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 ADDRESS: KROG DRIVE - OAK BROOK, ILLINOIS 60521  
 7941 PINE FOREST ROAD  
 PENSACOLA, FLORIDA

**PLAN APPROVALS**

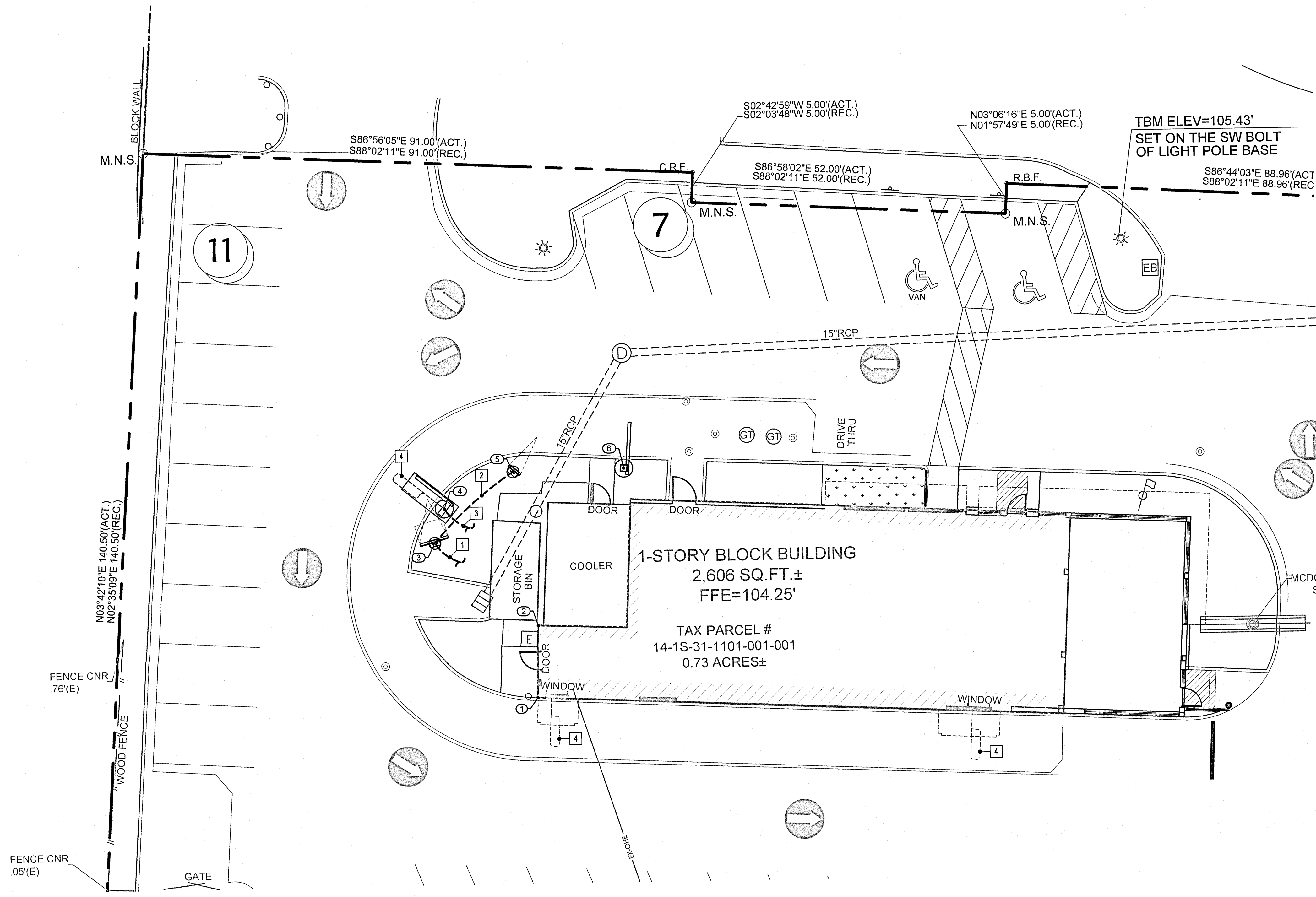
REGIONAL MGR.	DATE	BY
DESIGNED	APR 2019	MEG
DRAWN	APR 2019	MEG
CHECKED	APR 2019	DWL

**CO-SIGN SIGNATURES**

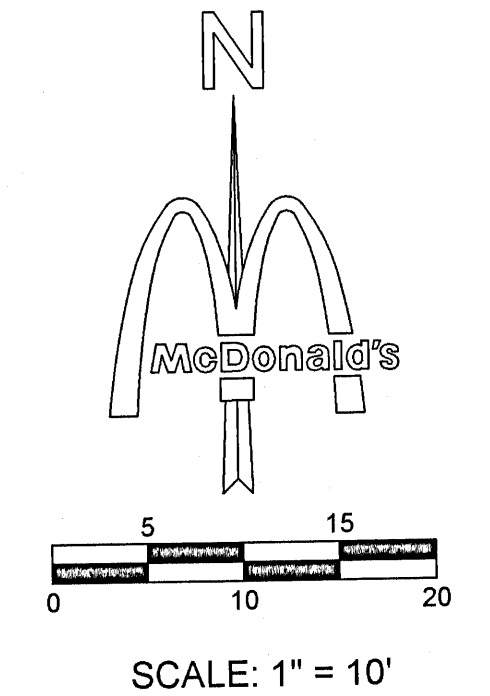
CONTRACTOR	OWNER

**SITE & PAVING PLAN**  
**C3.0**

FILENAME: C40 SWIC:RHO COORDINATE & UTILITY PLAN.dwg  
 PLOTTED BY: Margaret O'Keefe  
 PLOT DATE: Tuesday, May 21, 2019  
 PLOT TIME: 11:09:46 AM  
 PLOTTER: \_DWS To PDF.pc3  
 FULL PATH: L:\Projects\2018\14-1S-31-1101-001-001\Drawings\3D\Production\MCD\8883\40 SWIC:RHO COORDINATE & UTILITY PLAN.dwg (Plot Time: 11:09:46 AM)



COORDINATE CONTROL TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
1	563319.44	1082483.82	BUILDING CORNER
2	563331.51	1082484.03	BUILDING CORNER
3	563345.55	1082467.16	PRIMARY DIGITAL MENU BOARD
4	563351.22	1082468.79	PRIMARY ORDER HERE CANOPY
5	563357.17	1082480.23	PRE-BROWSE DIGITAL MENU BOARD
6	563357.42	1082498.58	SINGLE GATEWAY



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**DEVELOPER INFORMATION**  
 MCDONALD'S USA, LLC  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 1801 WEST END AVE, SUITE 1000  
 NASHVILLE, TN 37203  
 P: (228) 369-0028  
 F: (901) 339-0670  
 CONTACT: MIKE CROWLEY

**BENCHMARK**  
 SITE TEMPORARY BENCHMARKS:  
 1. BOLT SET ON SW SIDE OF THE LIGHT POLE AT THE NORTHEAST DRIVE  
 Elevation = 105.43' (NAVD88)  
 2. BOLT SET ON THE NW SIDE OF THE LIGHT POLE ON THE SOUTH SIDE OF THE PROPERTY  
 Elevation = 105.90' (NAVD88)

**NOTICE TO CONTRACTOR**  
 1. COORDINATES SHOWN ARE AT BACK OF CURB OR CENTERLINE OF FOUNDATION OR STRIPE.  
 2. VERIFY LOCATION OF CORDS AND MENU BOARDS WITH ACM PRIOR TO POURING FOUNDATIONS.  
 3. COORDINATES BASED OFF OF GEODETIC NORTH AS PROVIDED BY SURVEYOR.  
 4. IT IS REQUIRED BY MCDONALD'S THAT ALL DRIVE THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS IN THE DRIVE THRU AREA BE FIELD LOCATED AND STAKED BY A PROFESSIONAL SURVEYOR.

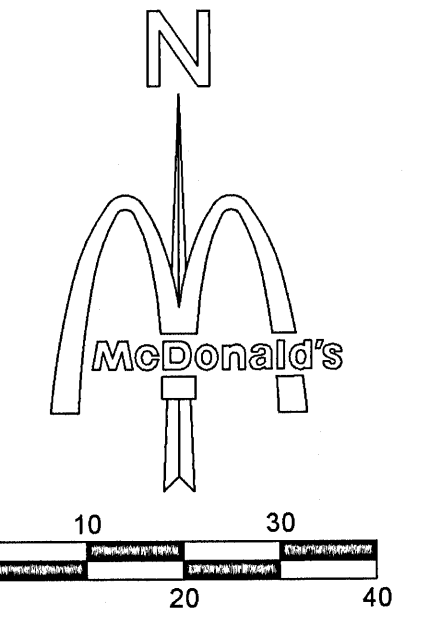
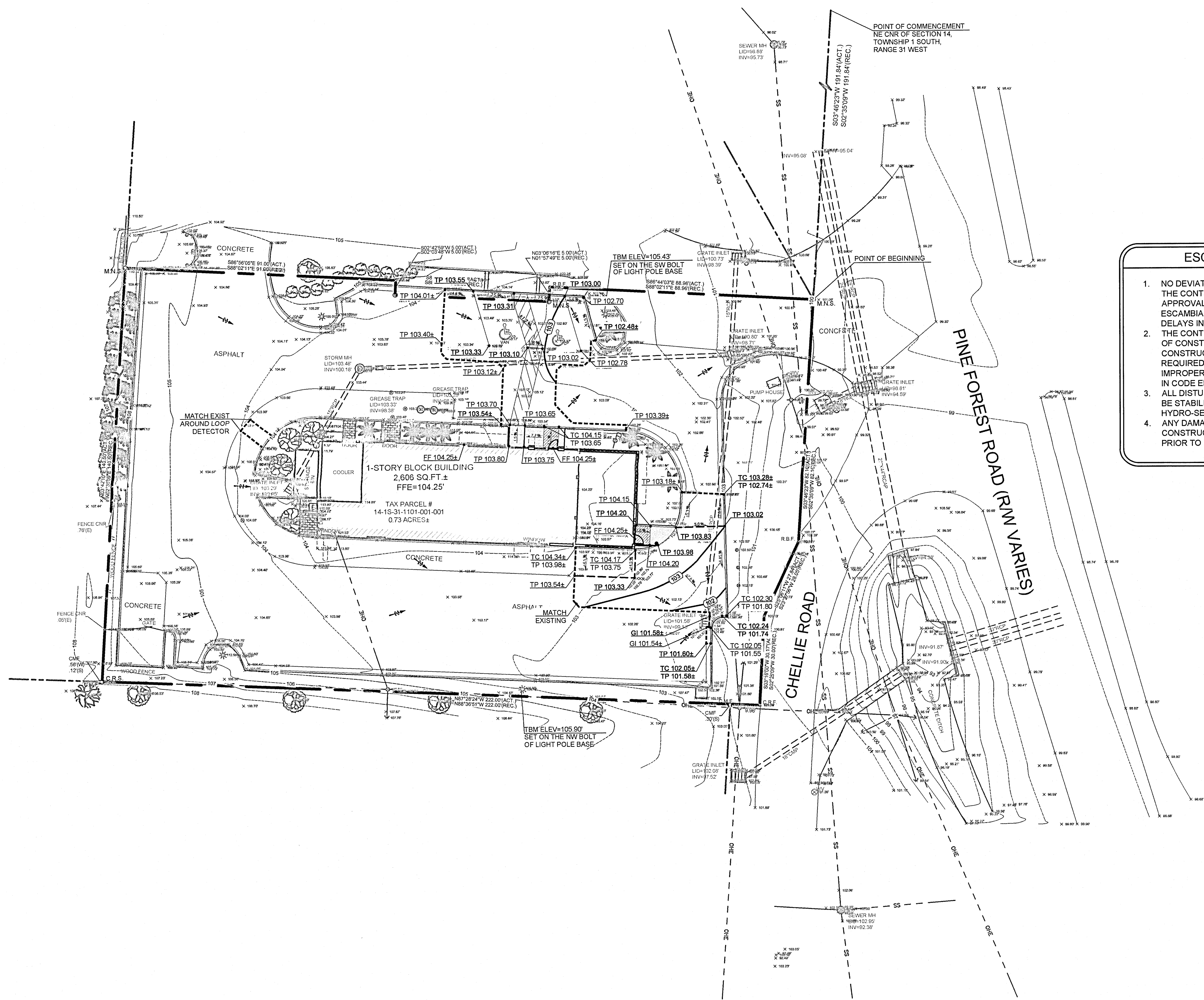
**UTILITY LEGEND**

MARK	MARK DESCRIPTION
1	(1) 2" PVC CONDUIT (FOR CAT6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM PANEL CP TO MENU BOARD #1
2	(1) 1" PVC CONDUIT (FOR CAT 6 DATA CABLES FROM BUILDING) AND (1) 3/4" PVC CONDUIT FROM MENU BOARD #1 TO PRE-BROWSE BOARD #1
3	(2) 1-1/2" PVC CONDUITS (ONE EACH FOR COD1 DATA AND LOOP DETECTOR), AND (1) 1/2" STEEL CONDUIT (FROM PANEL CP AND PANEL LP TO COD1)
4	1-1/2" SLEEVE FOR VEHICLE LOOP DETECTOR

ADAMS 8981 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (817) 328-3200	
ADAMS JOB NO.: 2018.235 Certificate of Authorization: #27614	REV DATE DESCRIPTION MEG MEG MEG
G. ROBERT ADAMS No 62117 STATE OF FLORIDA PROFESSIONAL ENGINEER 5.21.19	
MCDONALD'S USA, LLC 7941 PINE FOREST ROAD PENSACOLA, FLORIDA	
SOUTH CENTRAL FIELD EXECUTION TEAM OFFICE ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521 MCDONALD'S LIC: 009-117	
PLAN APPROVALS SIGNATURE (2 REQUIRED) DATE REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.	CO-SIGN SIGNATURES CONTRACTOR OWNER
DESIGNED: APR 2019 DRAWN: APR 2019 CHECKED: APR 2019 AS-BUILT	DATE: APR 2019 BY: MEG MEG DWL
DRIVE-THRU COORDINATE & UTILITY PLAN <b>C4.0</b>	



FULL PATH: I:\Projects\2018\228 McDONALD'S - PINEFOREST, FL (Pine Forest Rd)\Drawings\3-Production\MCD 880000 GRADING PLAN  
 PLOT DATE: 11/01/19 AM  
 PLOT TIME: 11:01:19 AM  
 PLOT BY: Margaret Coleman  
 FILENAME: CS-9 GRADING PLAN.dwg



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

**DEVELOPER INFORMATION**

MCDONALD'S USA, LLC  
 SOUTH CENTRAL FIELD EXECUTION TEAM  
 1801 WEST END AVE, SUITE 1000  
 NASHVILLE, TN 37203  
 P: (228) 369-0028  
 F: (801) 339-0670  
 CONTACT: MIKE CROWLEY

**ESCAMBIA COUNTY NOTES**

- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDRO-SEED AND/OR SOD.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL COUNTY'S ACCEPTANCE.

**BENCHMARK**

**SITE TEMPORARY BENCHMARKS:**

- BOLT SET ON SW SIDE OF THE LIGHT POLE AT THE NORTHEAST DRIVE  
Elevation = 105.43' (NAVD88)
- BOLT SET ON THE NW SIDE OF THE LIGHT POLE ON THE SOUTH SIDE OF THE PROPERTY  
Elevation = 105.90' (NAVD88)

**LEGEND**

TC = TOP OF CURB  
 TP = TOP OF PAVEMENT  
 FF = FINISHED FLOOR  
 ± = MATCH EXISTING GRADE

--- XXX --- EXISTING CONTOUR  
 - - - - - PROPOSED CONTOUR  
 - - - - - GRADE BREAK  
 - - - - - SAWCUT  
 ▨ LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION



**FLORIDA STANDARD ACCESSIBILITY REQUIREMENTS**

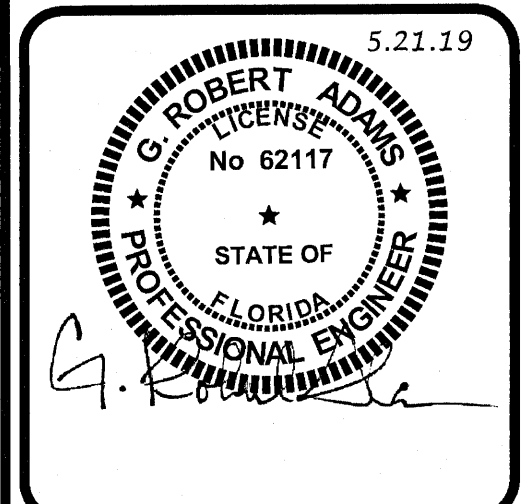
**STANDARD ACCESSIBILITY REQUIREMENTS**

**PARKING:**  
 ACCESSIBLE PARKING SPACES SHALL BE A MIN. 12' WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS).  
 EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 84" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT. TEXT MUST READ "PARKING BY DISABLED PERMIT ONLY" AND CONFORM TO FLORIDA DOT SECTION 11-4.30-7 HANDICAP PARKING SIGN SHALL INCLUDE PENALTY SIGN FOR ILLEGAL USE OF THE SPACE (SEE DETAIL C10.1).  
 ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.

**CURB RAMPS:**  
 RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.  
 IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)  
 BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.  
 RAMPS SHALL NOT EXCEED A 1:12 SLOPE

**SIDEWALKS AND ACCESSIBLE ROUTES:**  
 SIDEWALKS MUST BE AT LEAST 36" WIDE  
 SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)  
 LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

BY	MEG
DESCRIPTION	ISSUE FOR PERMIT
REV	DATE
1	04/23/2019
2	05/17/2019
3	
4	
5	
ADAMS JOB NO.:	2018.235
Certificate Of Authorization:	#27614



MCDONALD'S U.S. LLC  
 009-1117  
 OFFICE SOUTH CENTRAL FIELD EXECUTION TEAM  
 ADDRESS KROC DRIVE - OAK BROOK, ILLINOIS 60521  
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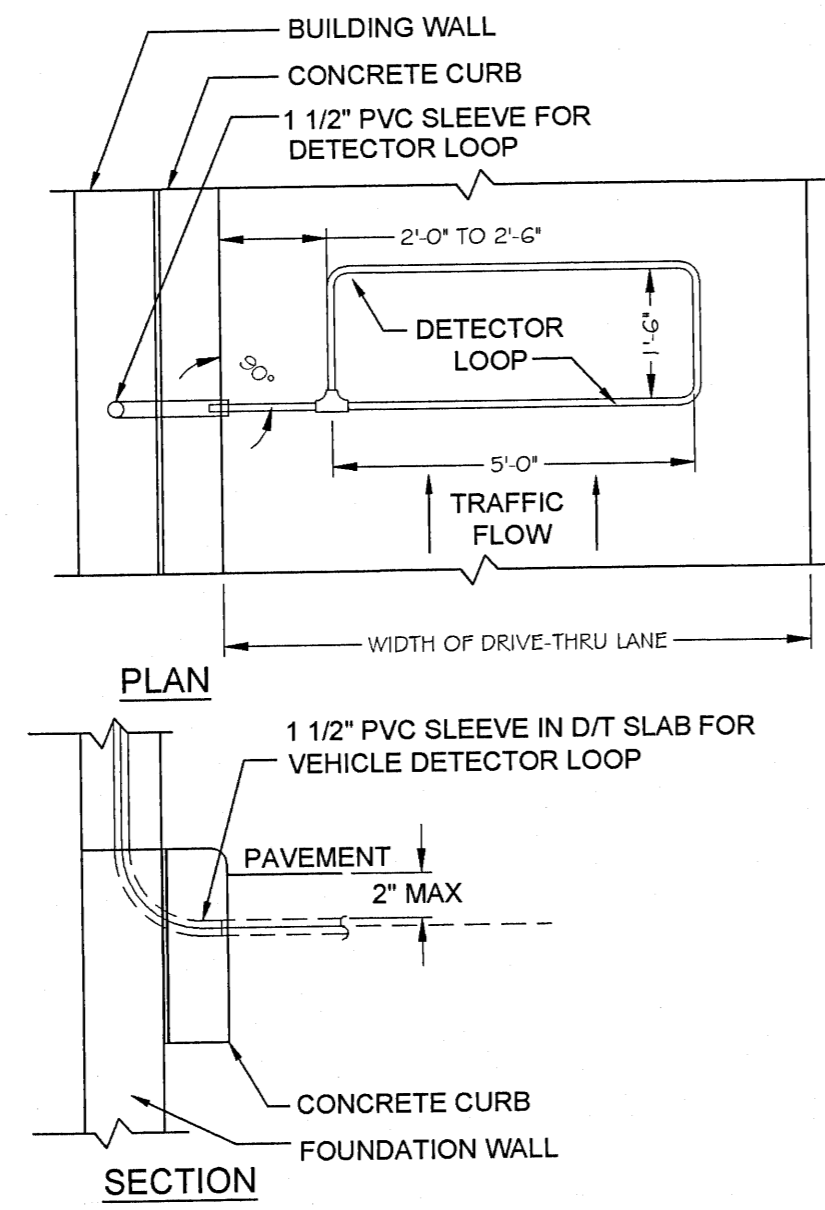
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SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

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CHECKED	APR 2019	DWL
AS-BUILT		
<b>GRADING PLAN</b>		
<b>C5.0</b>		

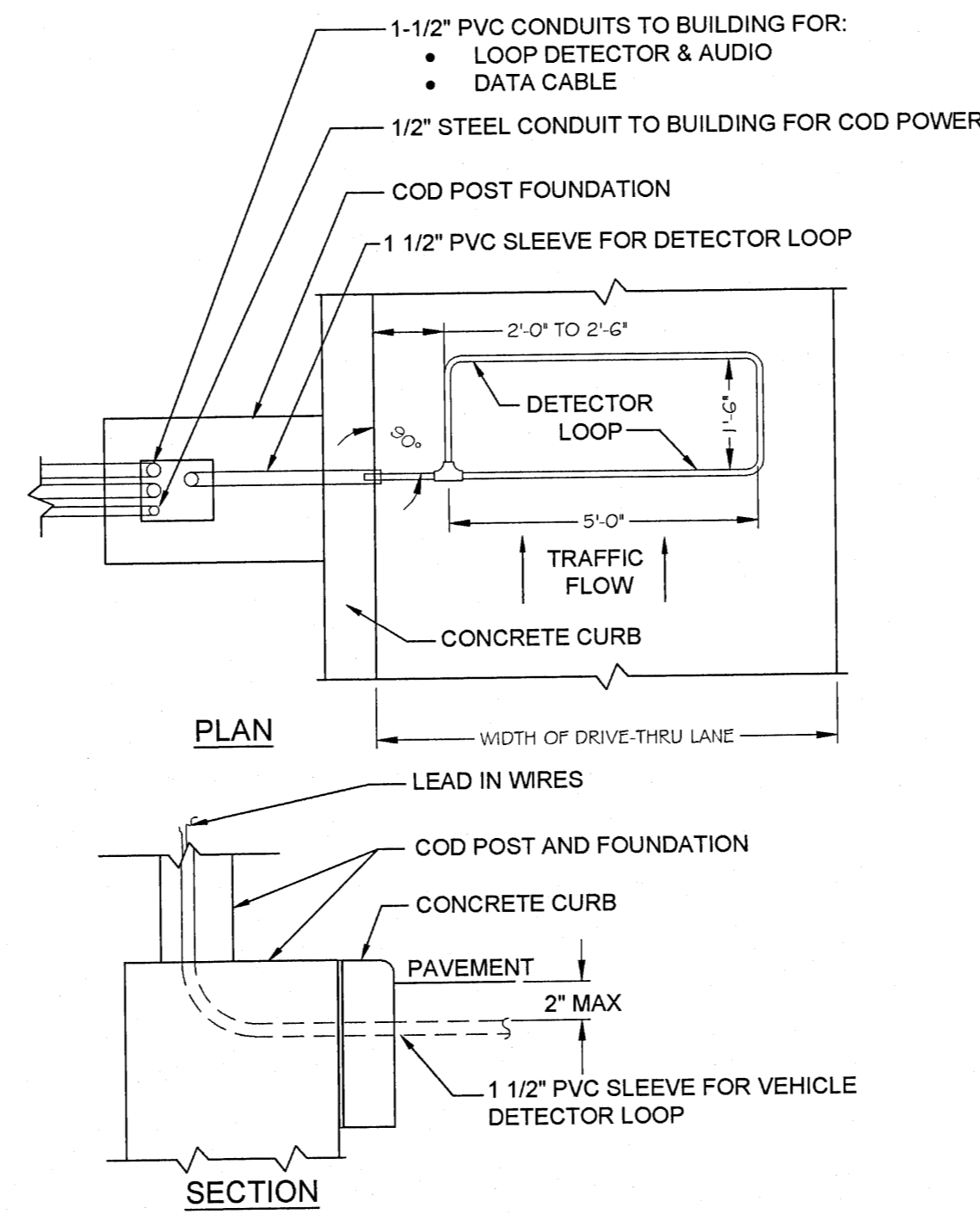


**NOTES:**

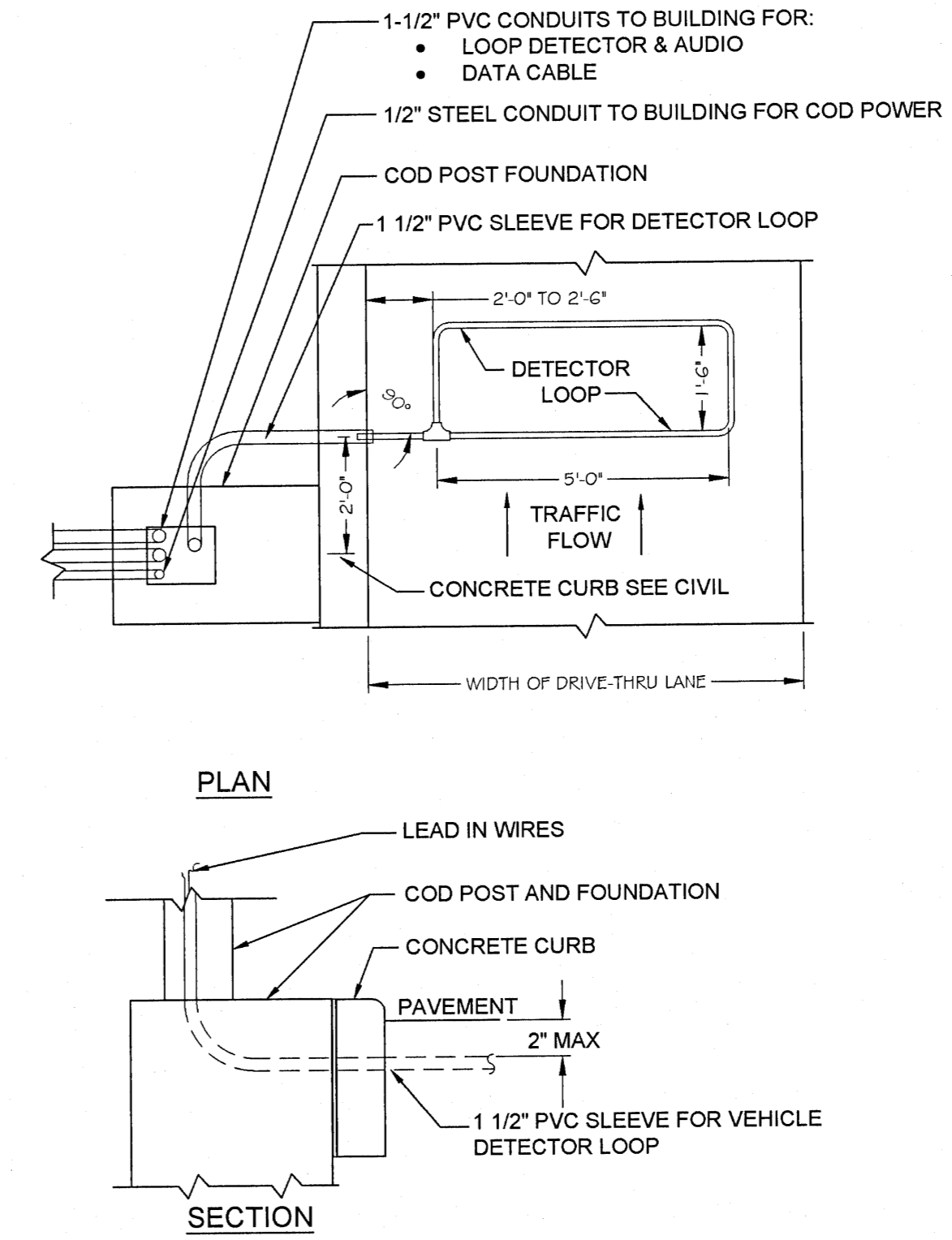
1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.  
SM: 1-800-329-0033  
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



**DETECTOR LOOP DETAIL AT DRIVE-THRU WINDOW**  
NOT TO SCALE



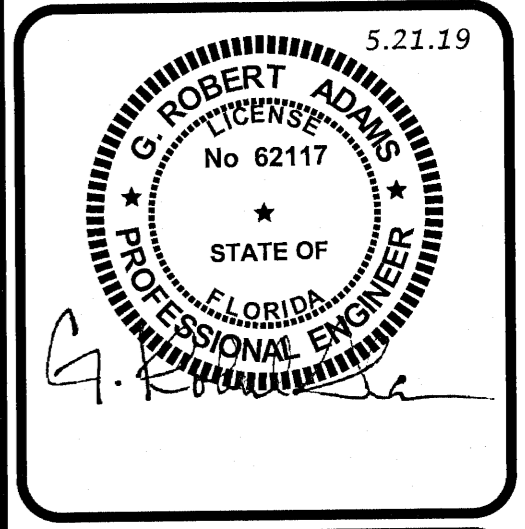
**PRIMARY LANE DETECTOR LOOP DETAIL AT C.O.D.**  
NOT TO SCALE



**SECONDARY LANE DETECTOR LOOP DETAIL AT C.O.D.**  
NOT TO SCALE

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04/23/2019	MEG	ISSUE FOR PERMIT	MEG
05/17/2019	MEG	ISSUE FOR CONSTRUCTION	MEG

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Certificate of Authorization: #27514  
8951 Cypress Woods Blvd, Suite 150 • Dallas, Texas 75019 • (972) 324-3200

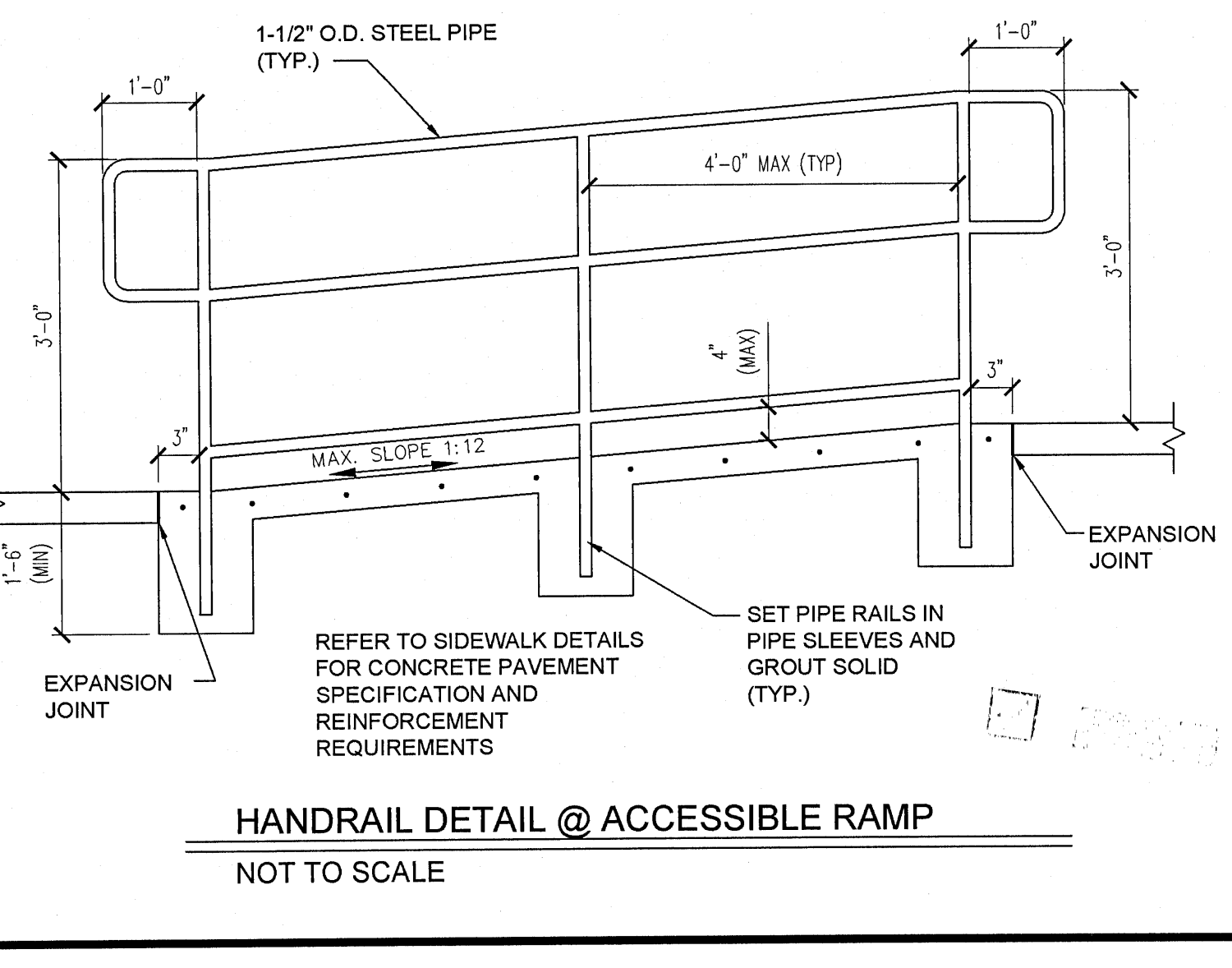
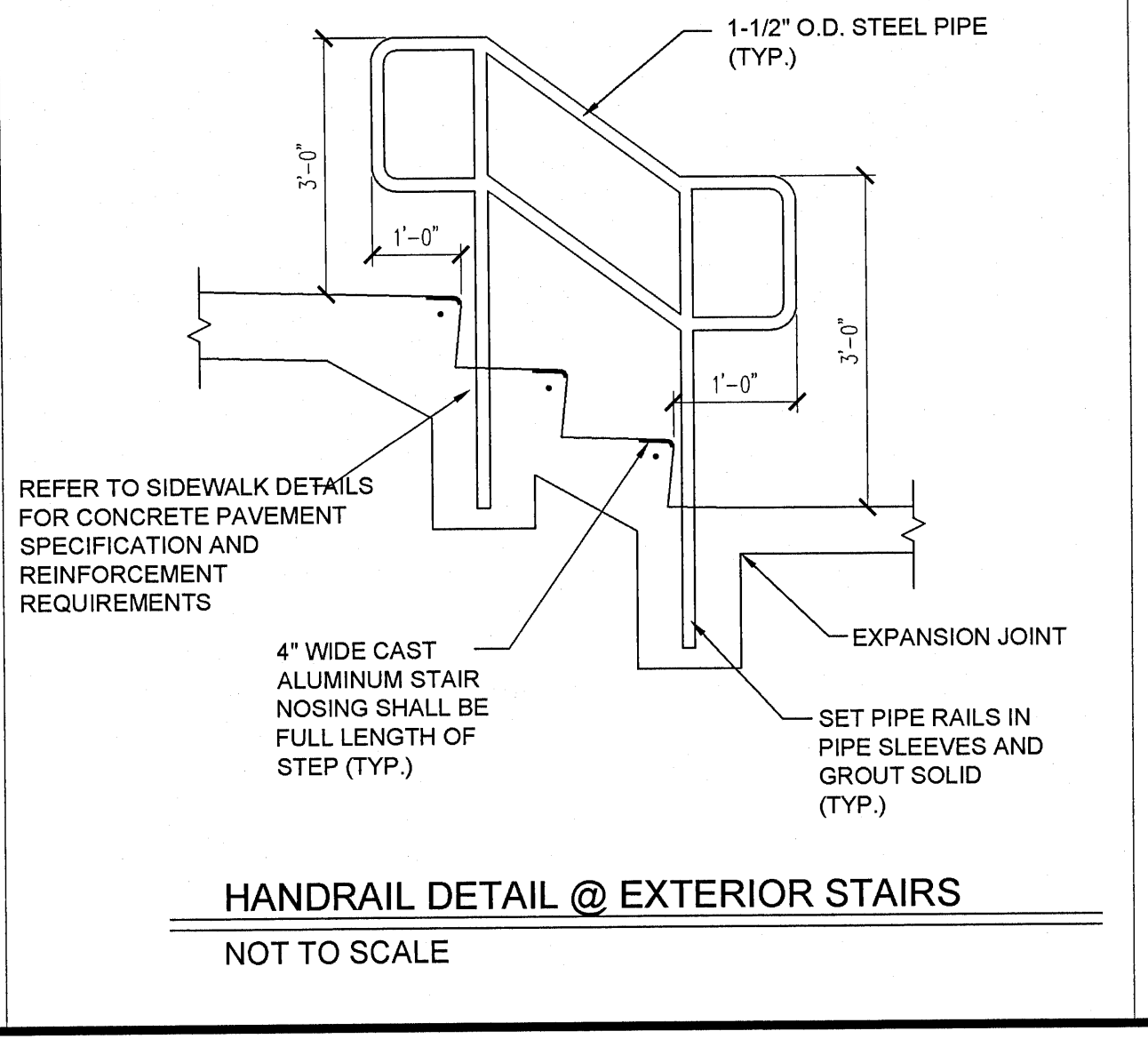
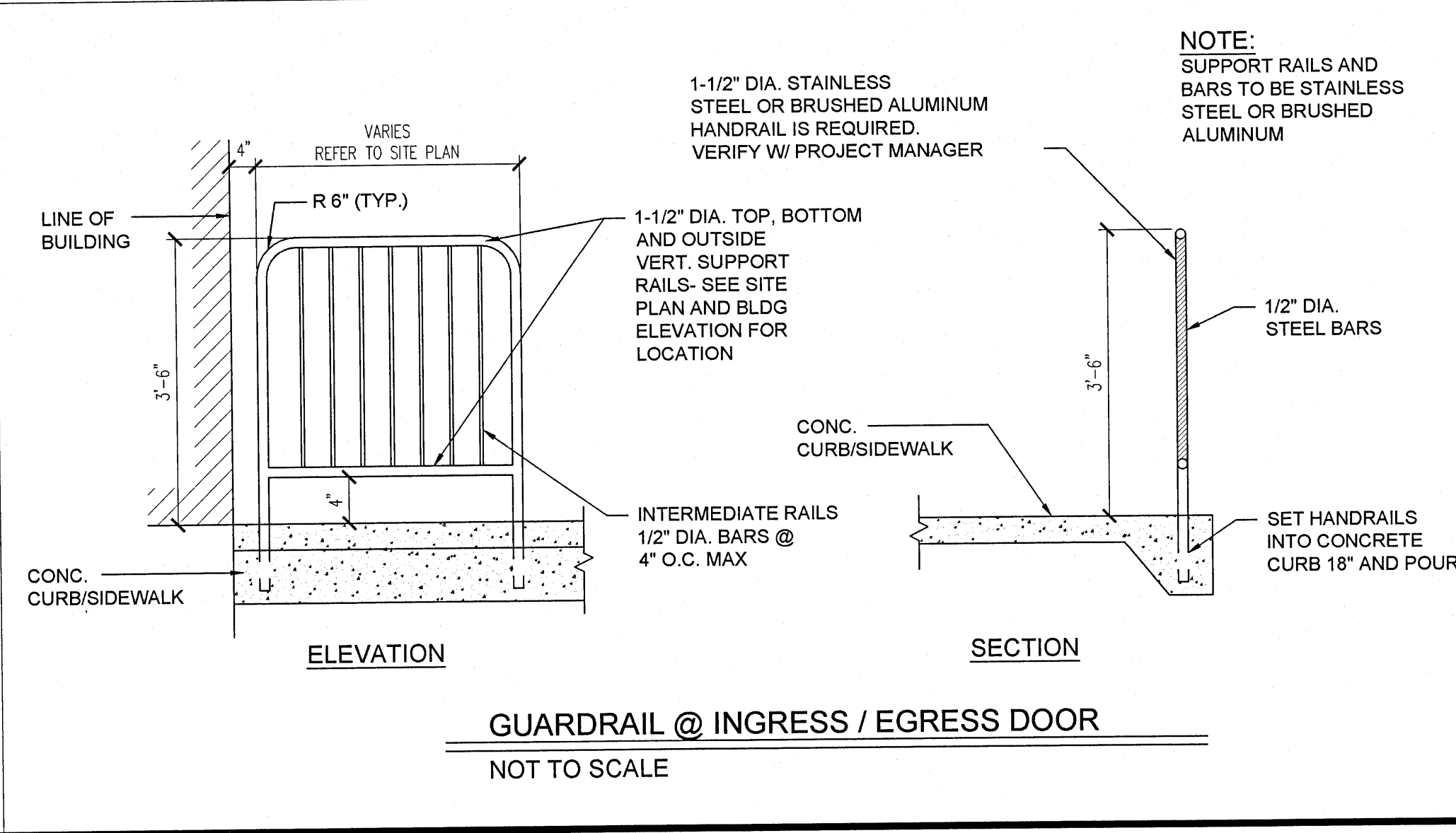
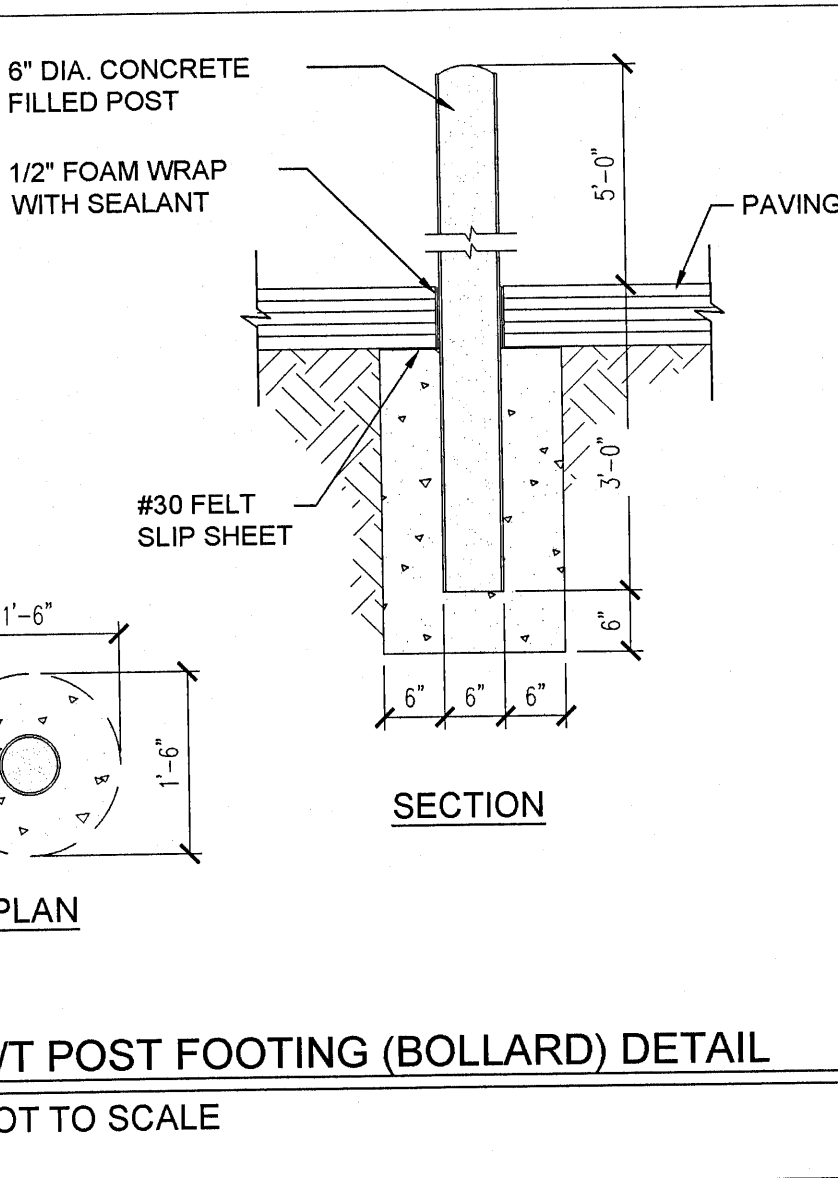
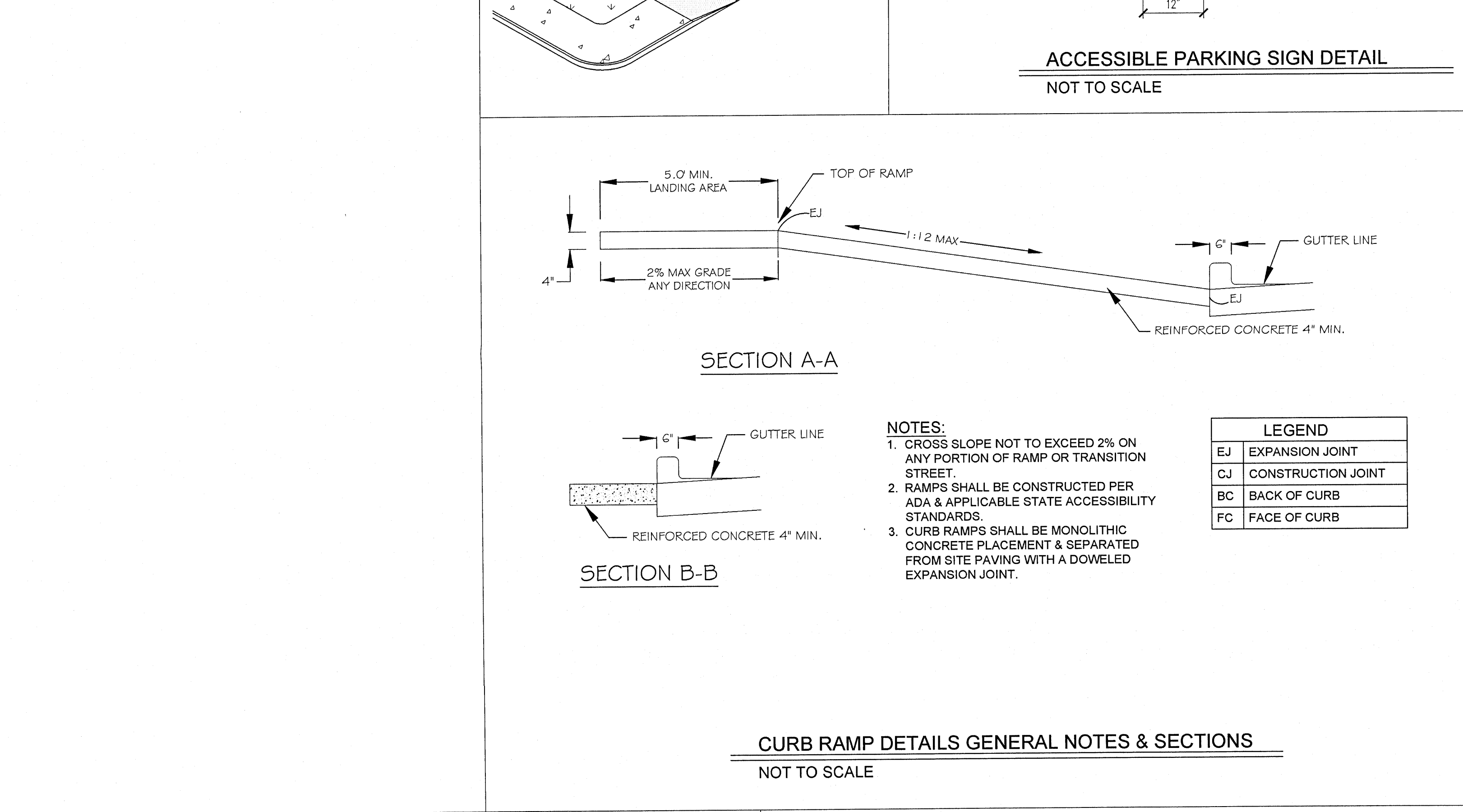
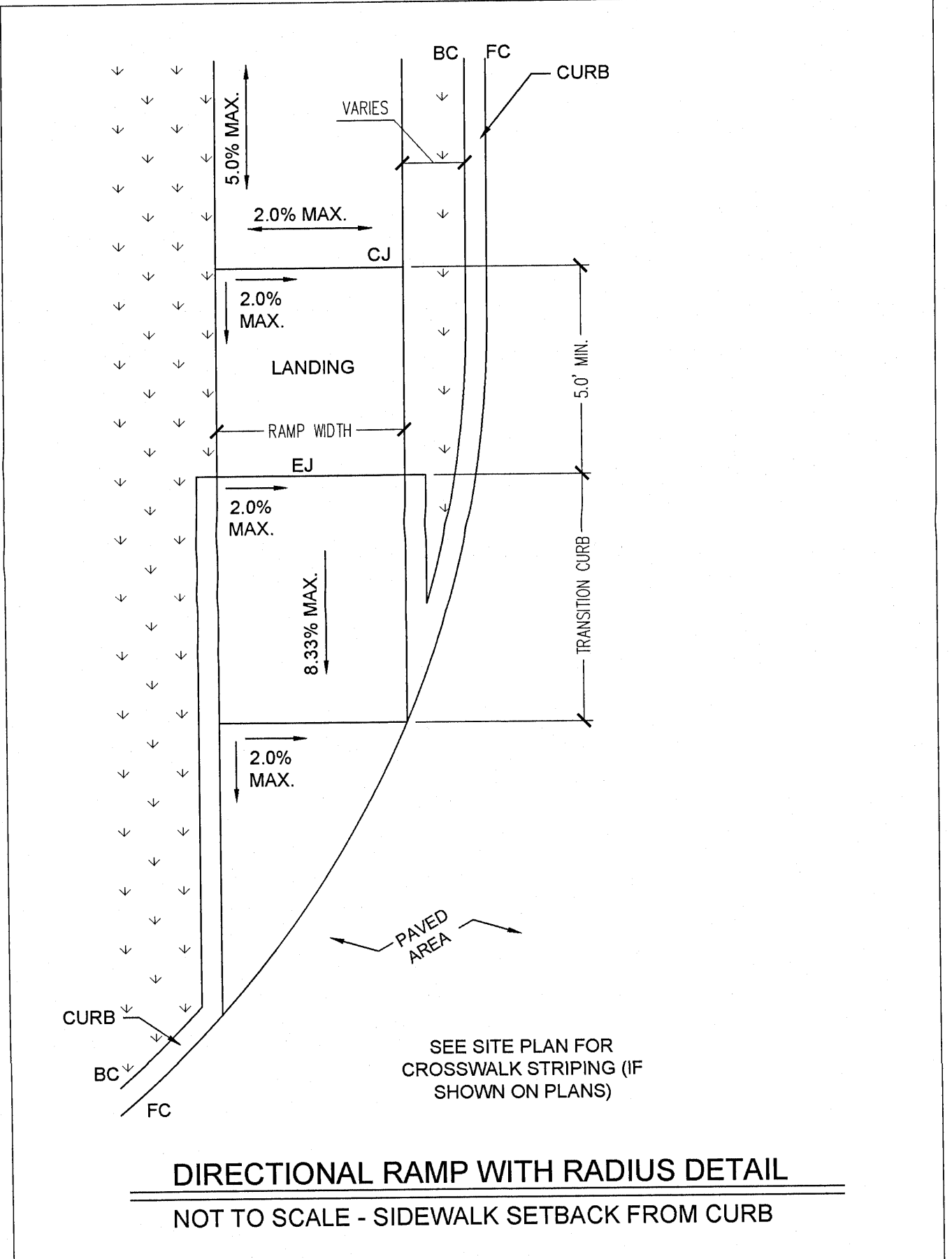
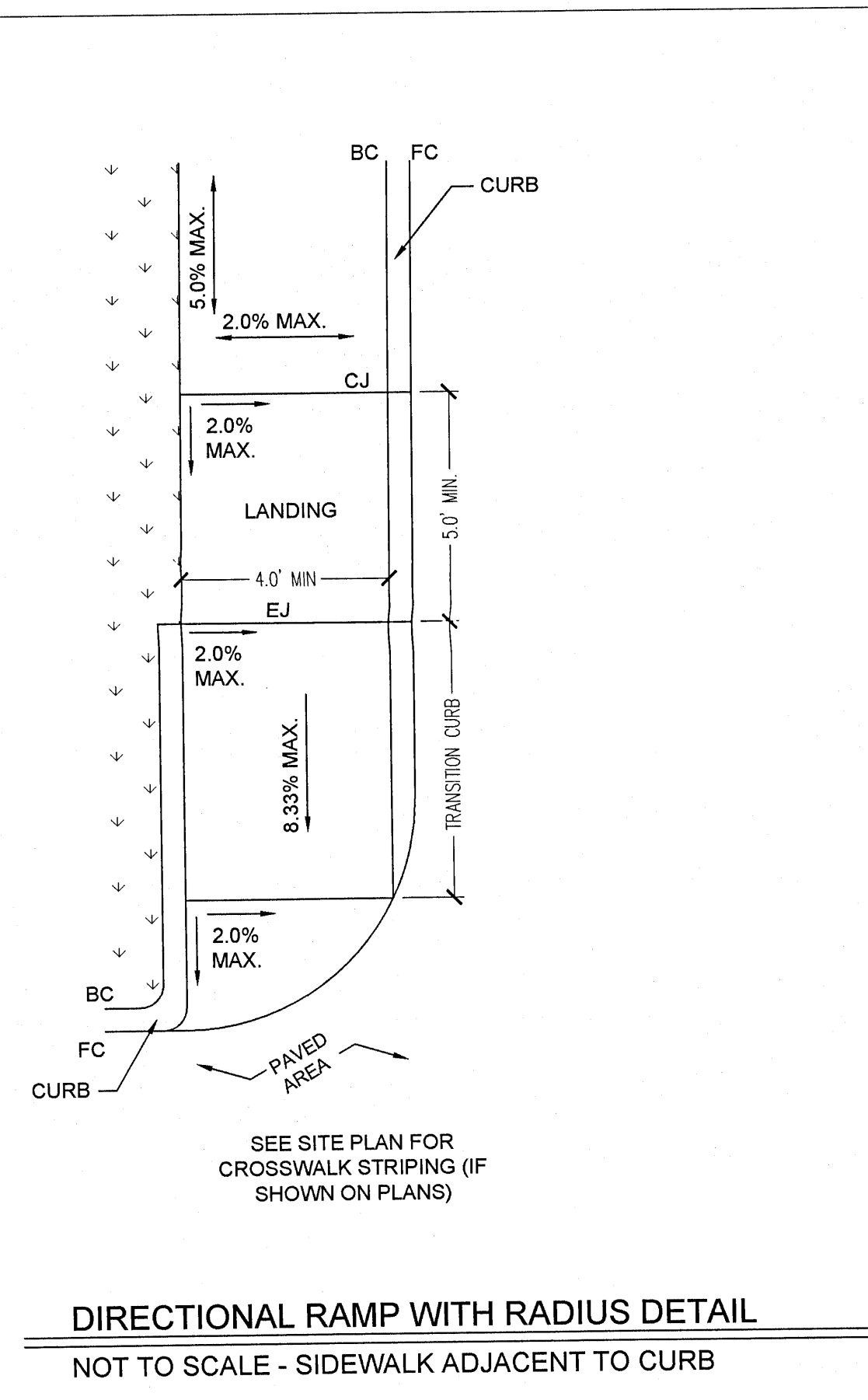
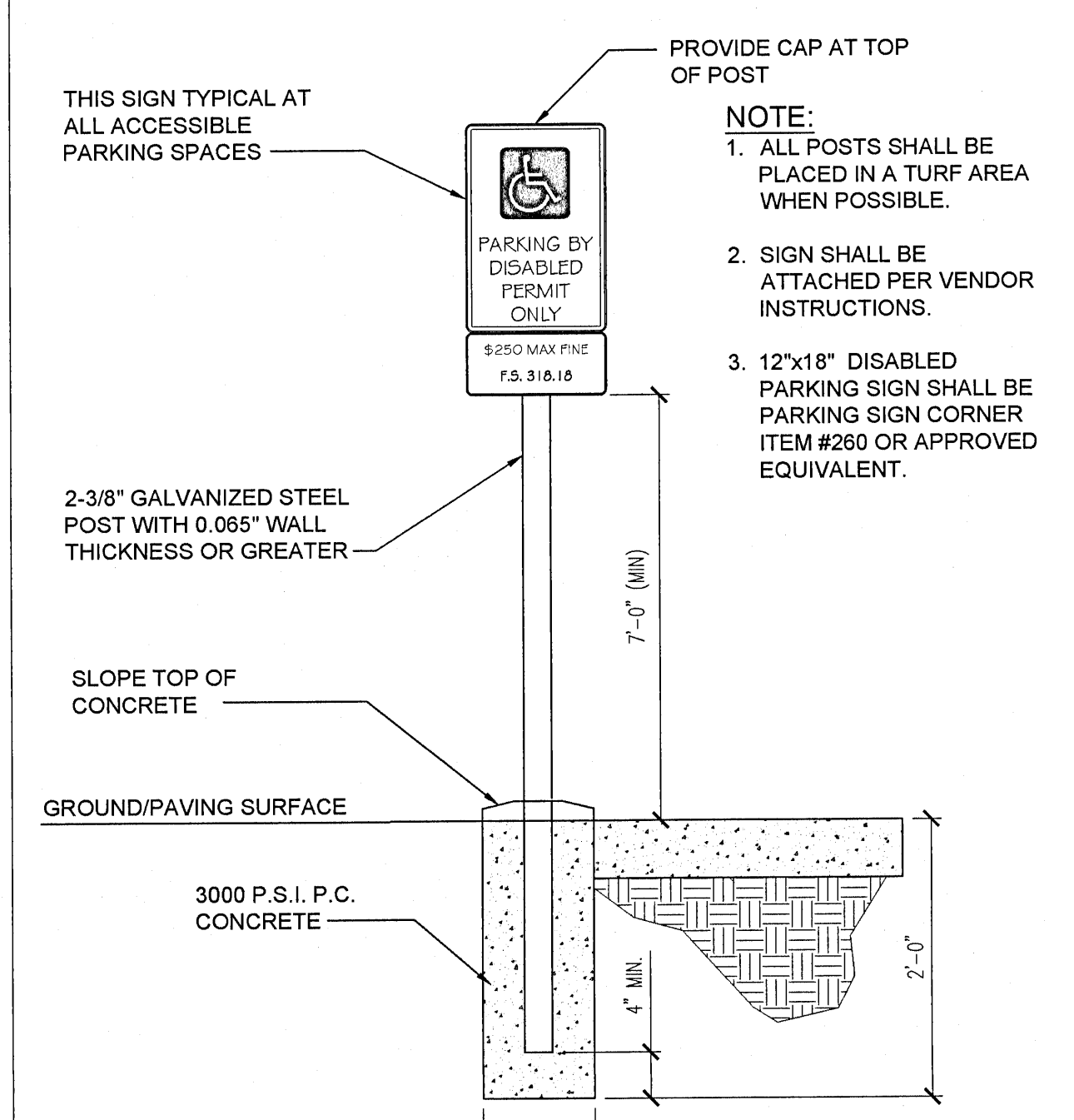
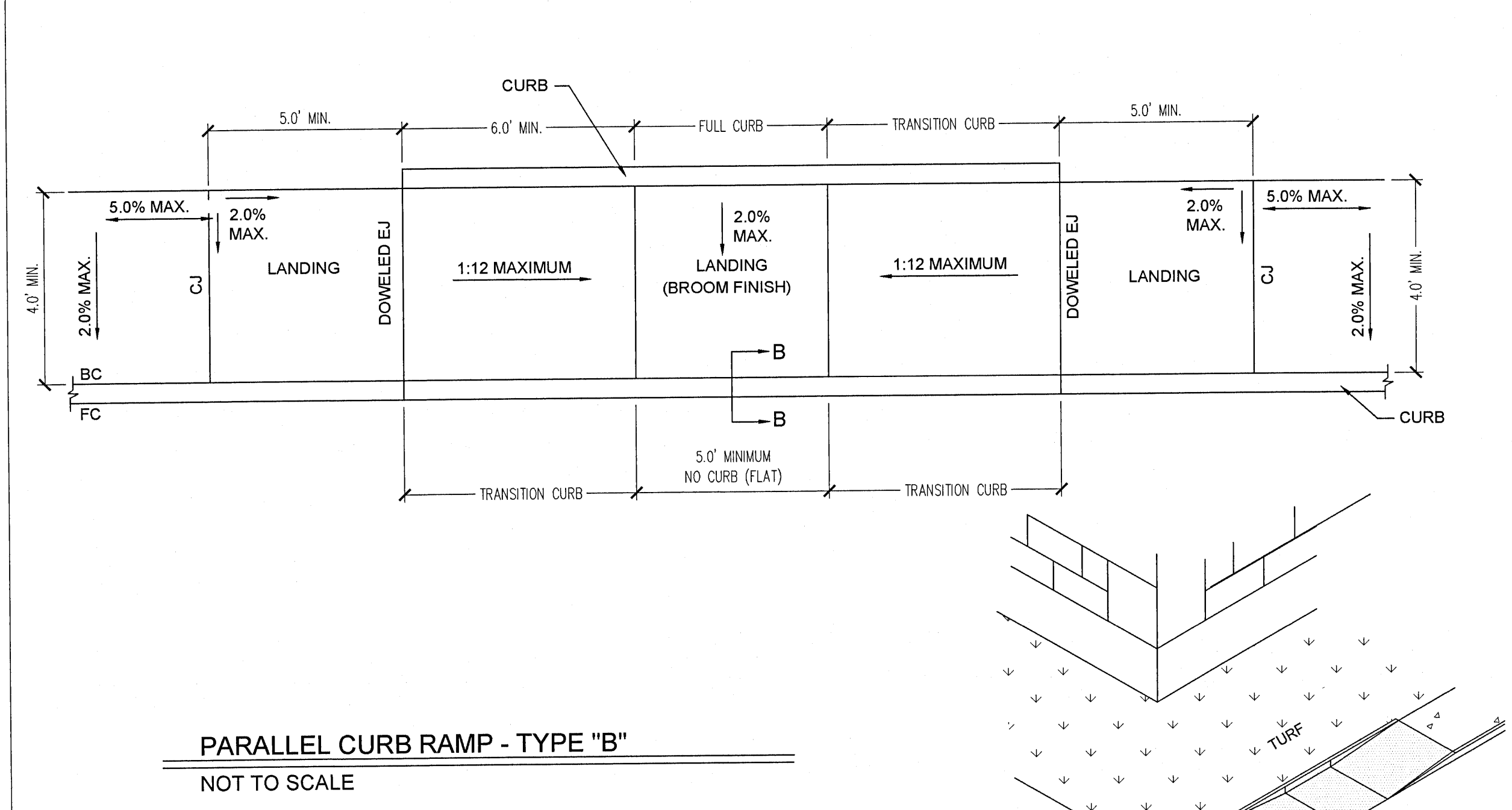
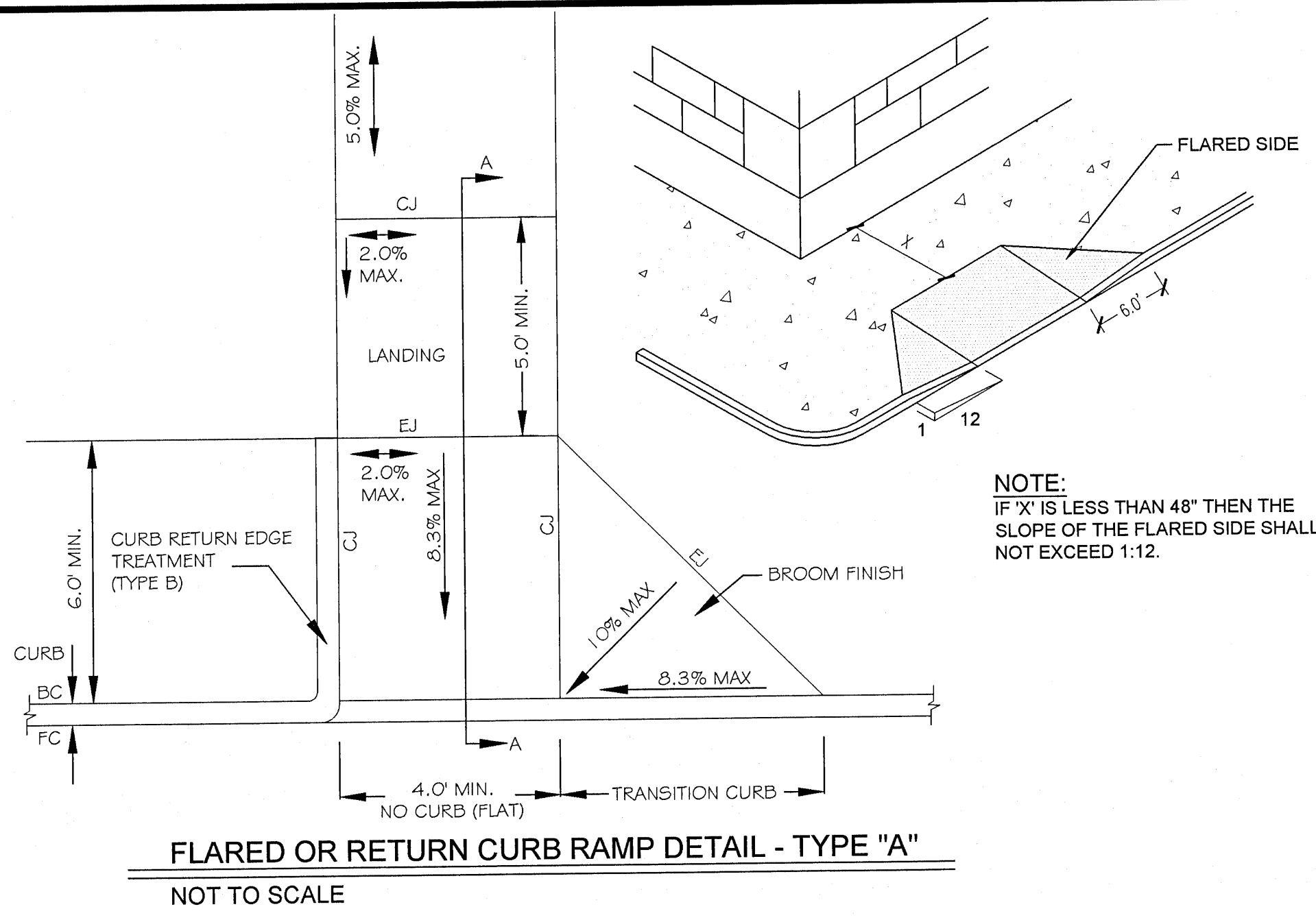


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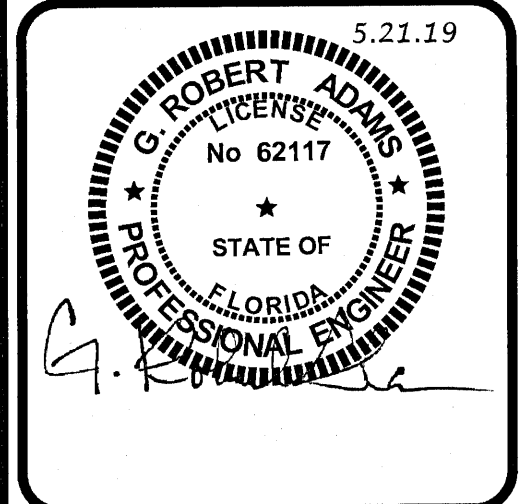
7941 PINE FOREST ROAD  
PENSACOLA, FLORIDA

PLAN APPROVALS		DATE	BY
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

DESIGNED	DATE	BY
APR 2019	MEG	
DRAWN	DATE	BY
APR 2019	MEG	
CHECKED	DATE	BY
APR 2019	DWL	
AS-BUILT		
<b>STANDARD DETAILS</b>		
<b>C6.0</b>		



BY	MEG
ISSUE FOR PERMIT	MEG
REVISED PER COUNTY / ISSUE FOR CONSTRUCTION	
DATE	04/23/2019
DATE	05/17/2019
ADAMS JOB NO.:	2018.235
Certificate of Authorization: #27614	



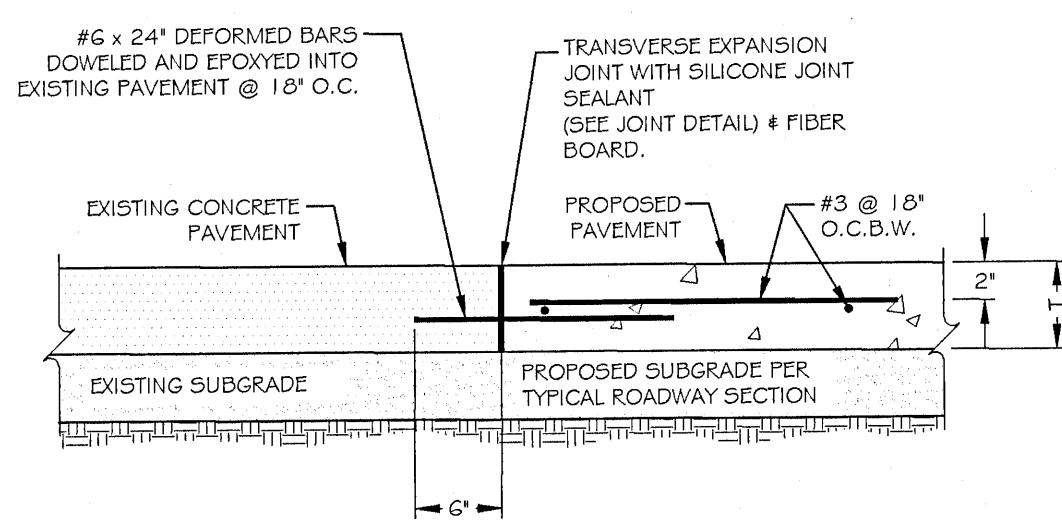
**McDonald's USA, LLC**

7941 PINE FOREST ROAD  
PENSACOLA, FLORIDA

McDONALD'S U.S. 009-1117  
KROC DRIVE - OAK BROOK, ILLINOIS 60521

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CONTRACTOR	
OWNER	

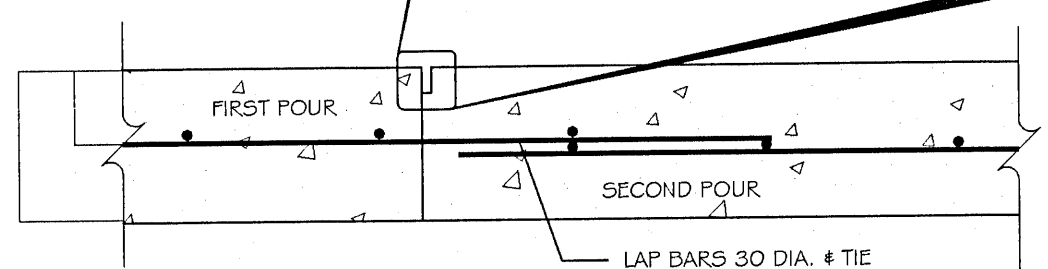
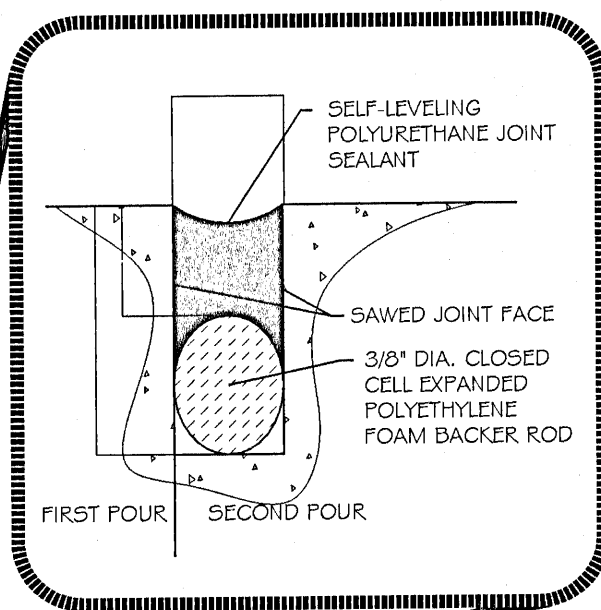
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DRAWN	APR 2019	MEG
CHECKED	APR 2019	DWL
AS-BUILT		
<b>STANDARD DETAILS</b>		
<b>C6.1</b>		



**TRANSVERSE EXPANSION JOINT**

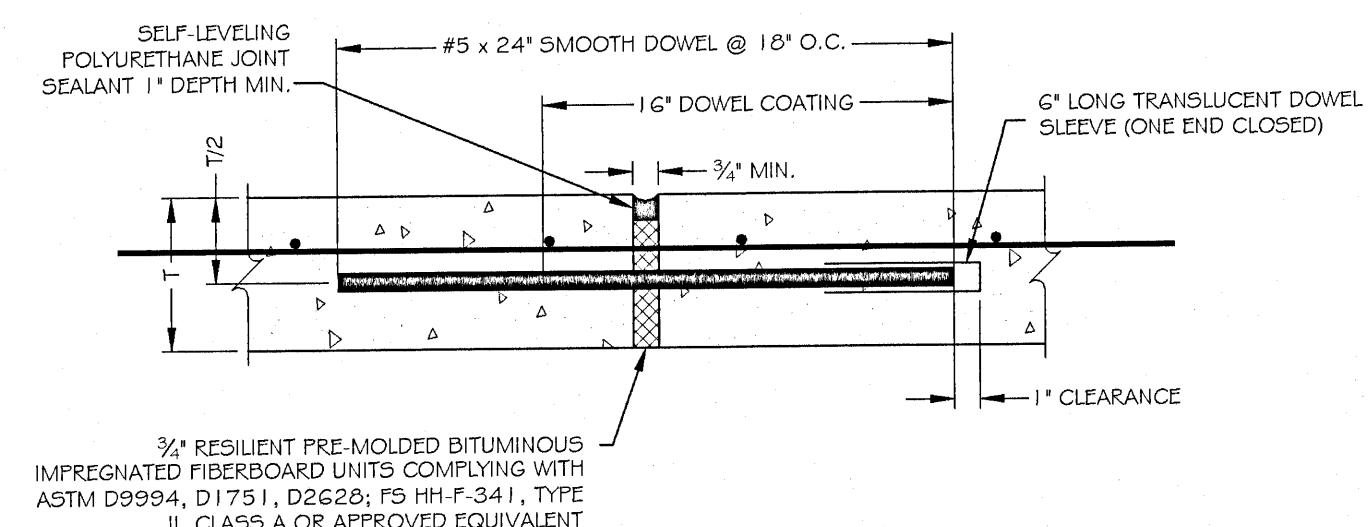
NOT TO SCALE

- NOTES:
- DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.



**CONSTRUCTION BUTT JOINT**

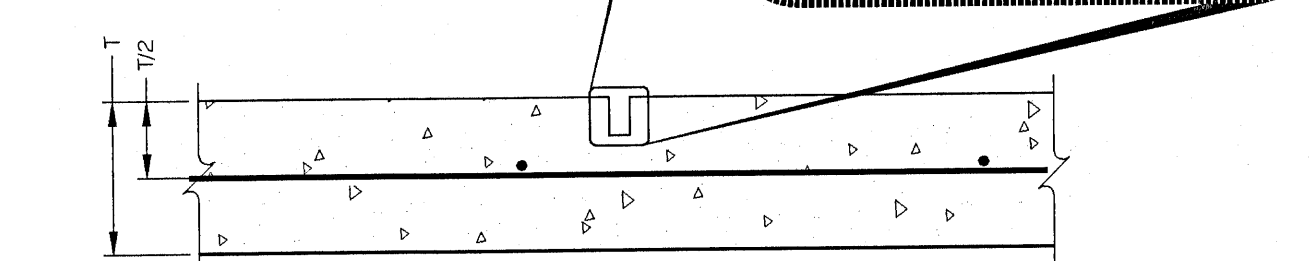
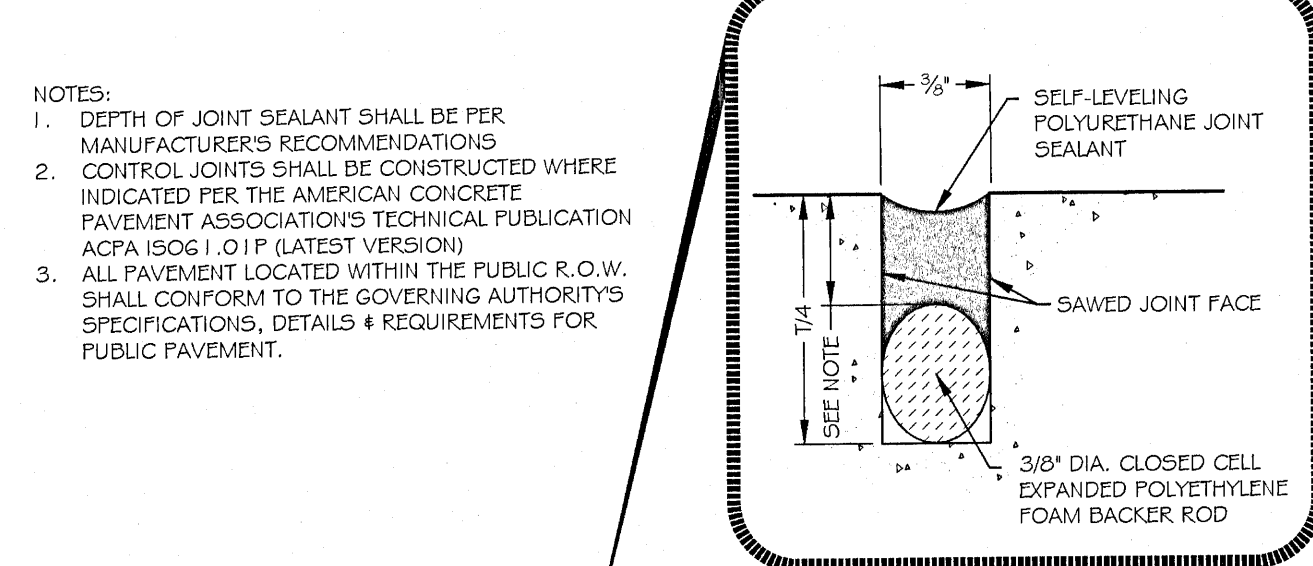
NOT TO SCALE



- NOTES:
- SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/4" GREATER THAN THE DIAMETER OF THE DOWELS.
  - EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA ISOG 1.01P (LATEST VERSION).
  - DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
  - REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
  - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
  - FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".

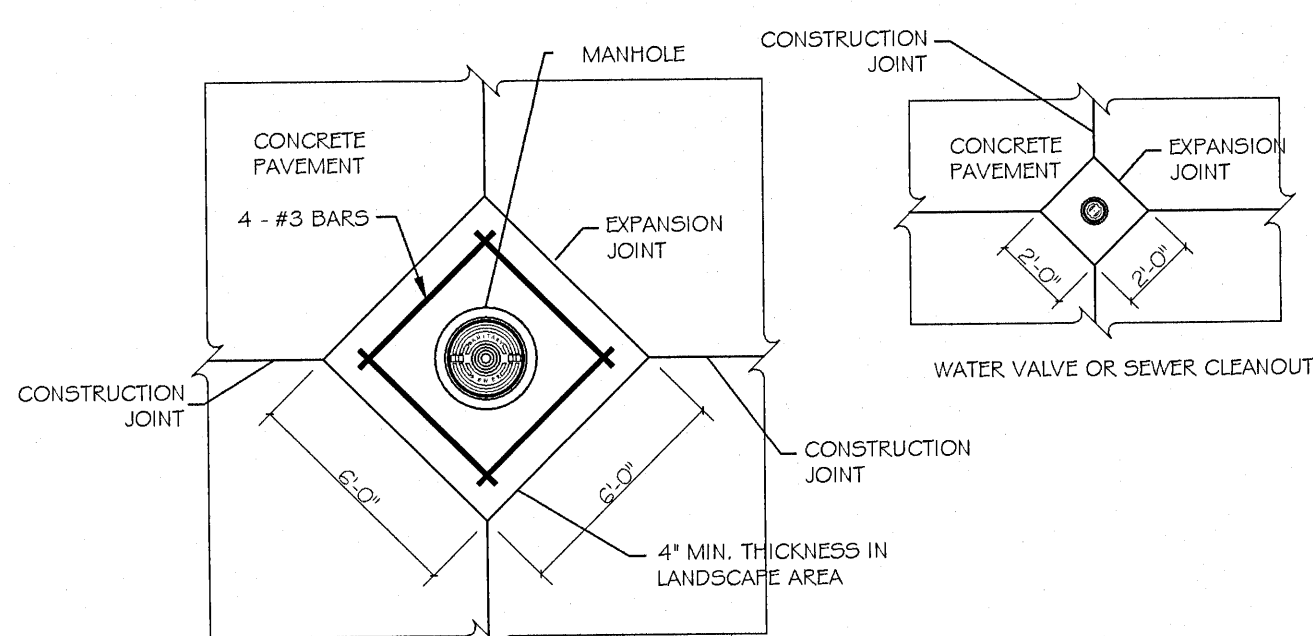
**EXPANSION JOINT (ISOLATION)**

NOT TO SCALE



**CONTROL JOINT (CONTRACTION)**

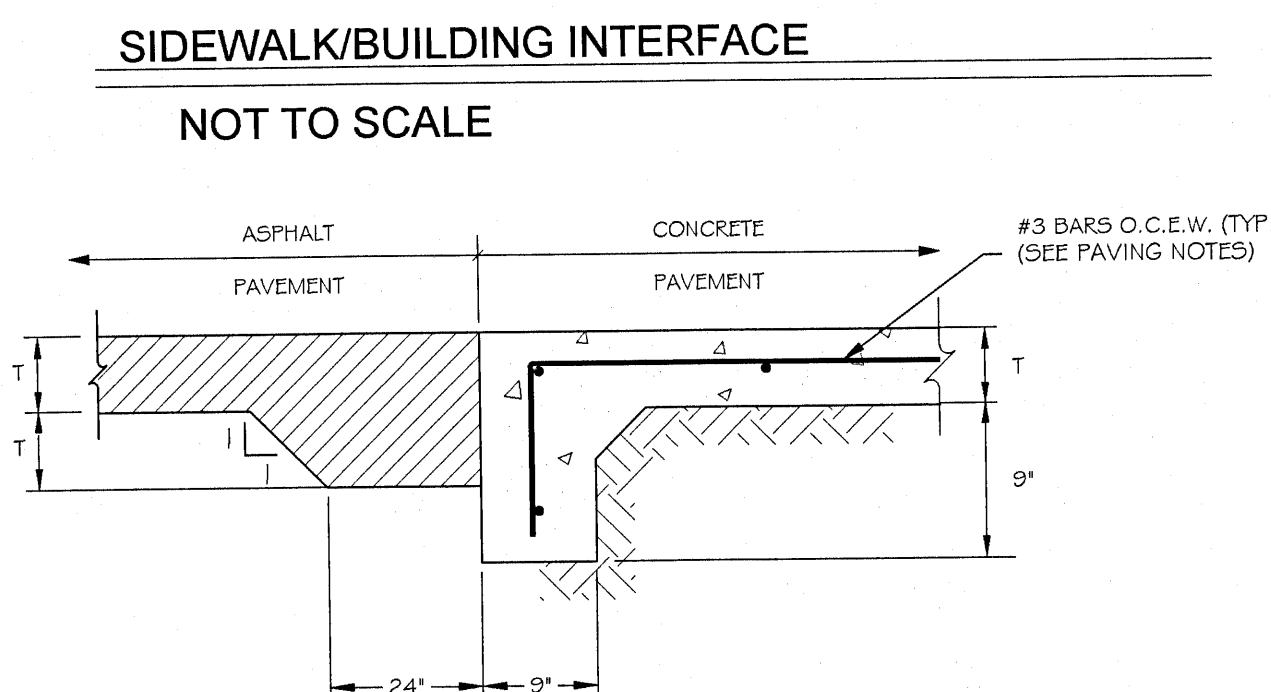
NOT TO SCALE



- NOTES:
- ALL ASPHALT PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES.
  - BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN PCC PAVEMENT.
  - MANHOLE BOXOUT SHALL BE 6'x6' SQUARE AND ALIGNED WITH PAVEMENT JOINTING.
  - WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING.
  - MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4" MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
  - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

**MANHOLE/VALVE/CLEANOUT JOINTING**

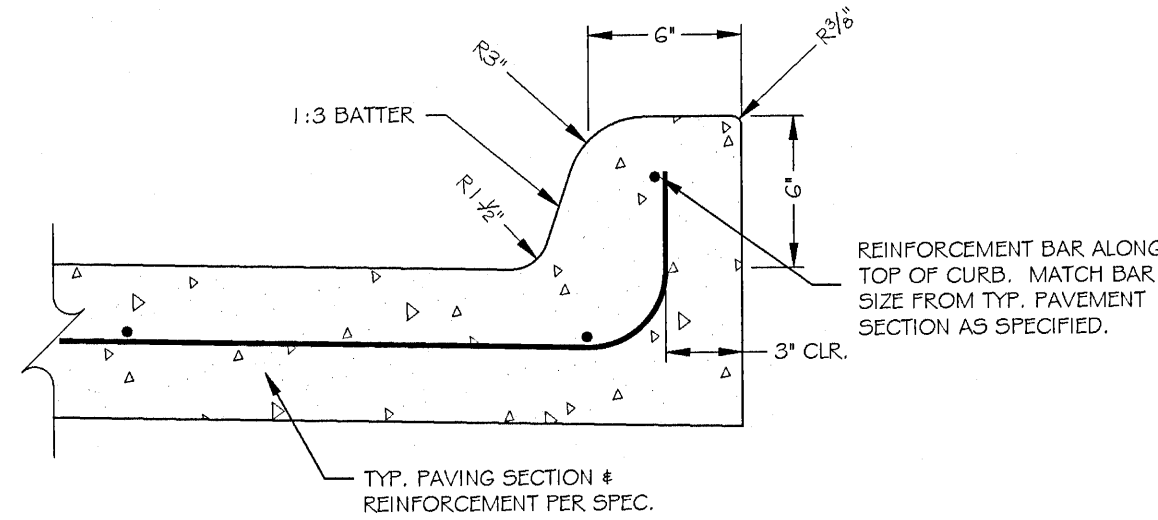
NOT TO SCALE



- NOTES:
- PAVEMENT BARS SHALL BE BENT DOWN INTO HEADER.
  - HEADER AND PAVEMENT SHALL BE MONOLITHIC.
  - REINFORCEMENT STEEL SHALL BE PER PAVEMENT SECTION SPECIFICATIONS.
  - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
  - FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED 1/8".
  - SUBGRADE PREPARATION SHALL BE PER GEOTECHNICAL REPORT SPECIFICATIONS.

**ASPHALT TO CONCRETE HEADER**

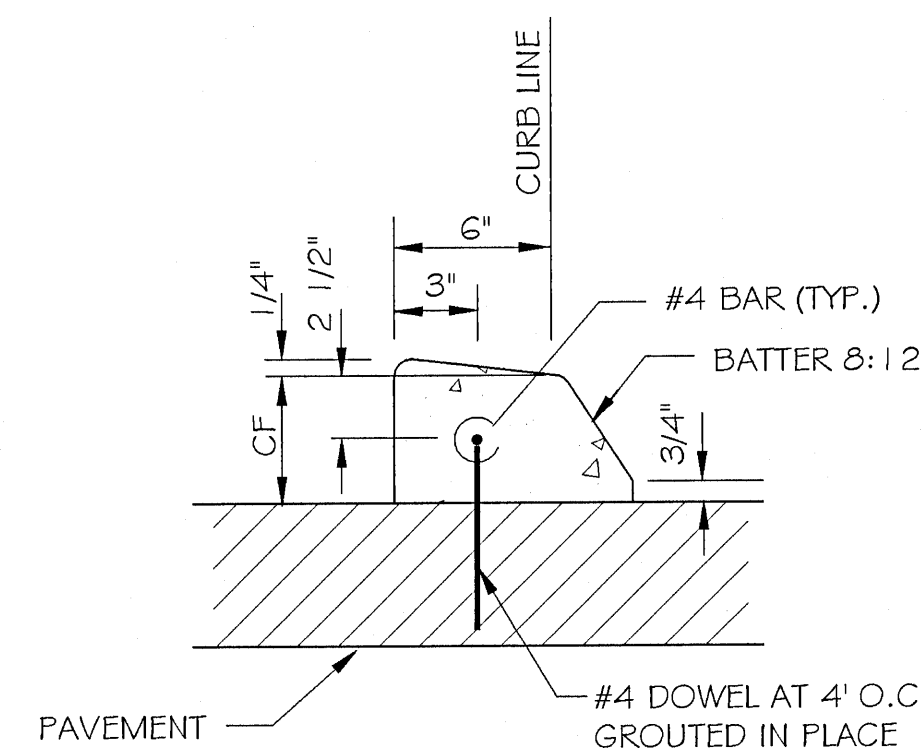
NOT TO SCALE



- NOTES:
- ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
  - GRADES SHALL BE MEASURED AT BACK OF CURB UNLESS OTHERWISE SPECIFIED.
  - ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
  - CONTROL JOINTS THROUGH CURB SHALL BE SEALED IN THE PAVEMENT AND TERMINATE AT THE GUTTER.

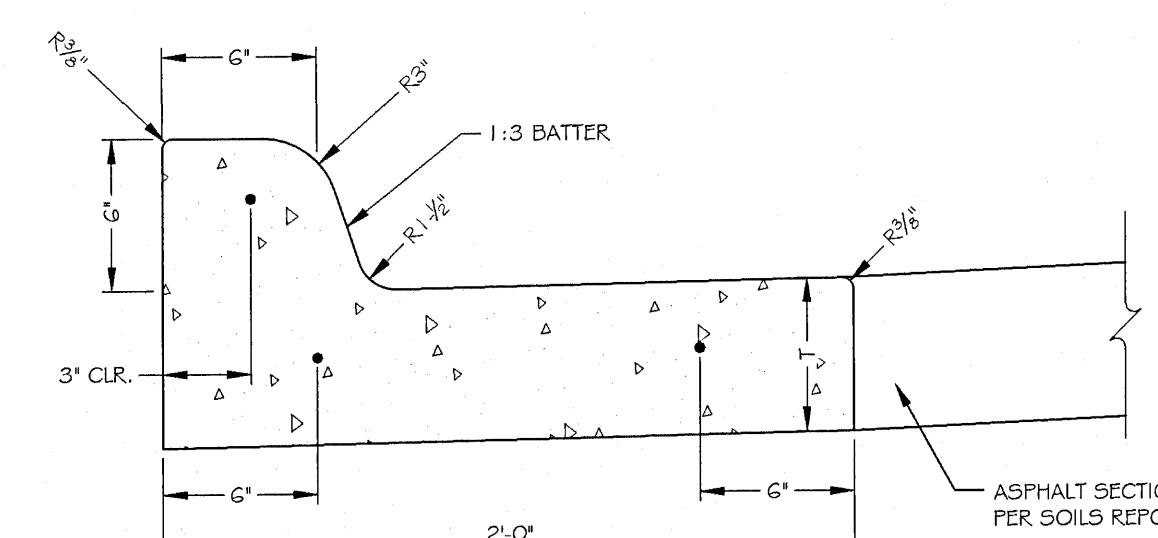
**MONOLITHIC CURB**

NOT TO SCALE



**DOWELED CURB**

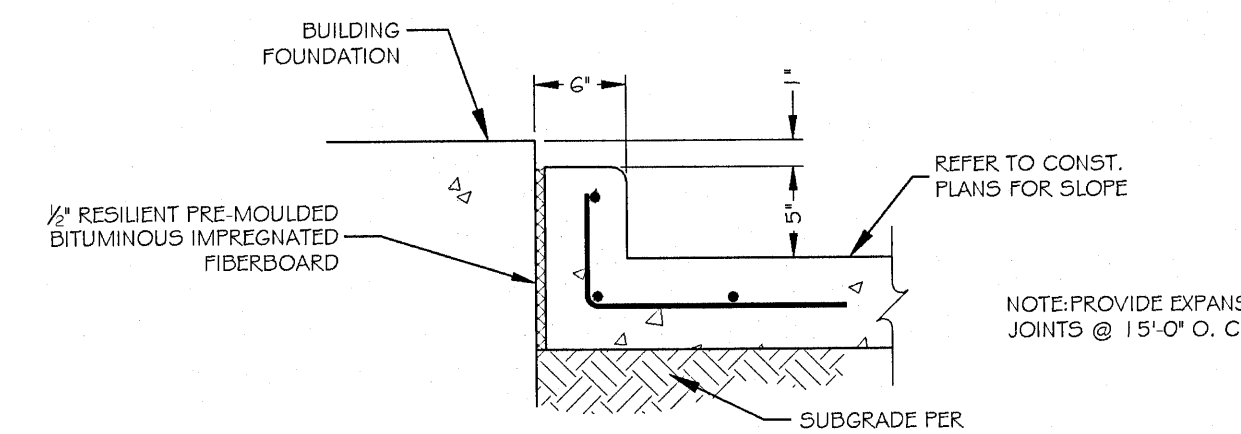
NOT TO SCALE



- NOTES:
- REINFORCEMENT SHALL BE NO. 4 BARS.
  - REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS.

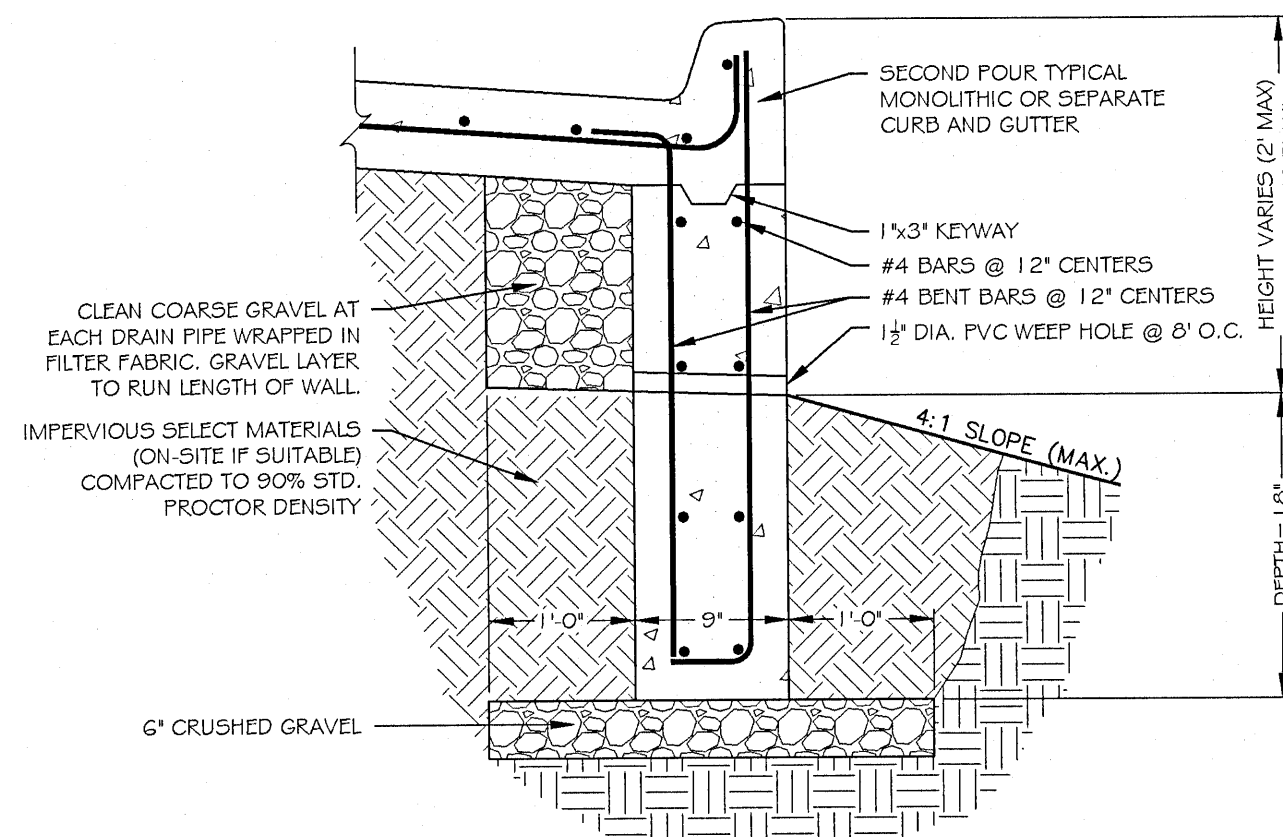
**SEPARATE CURB & GUTTER**

NOT TO SCALE



**VERTICAL CURB @ DRIVE THRU**

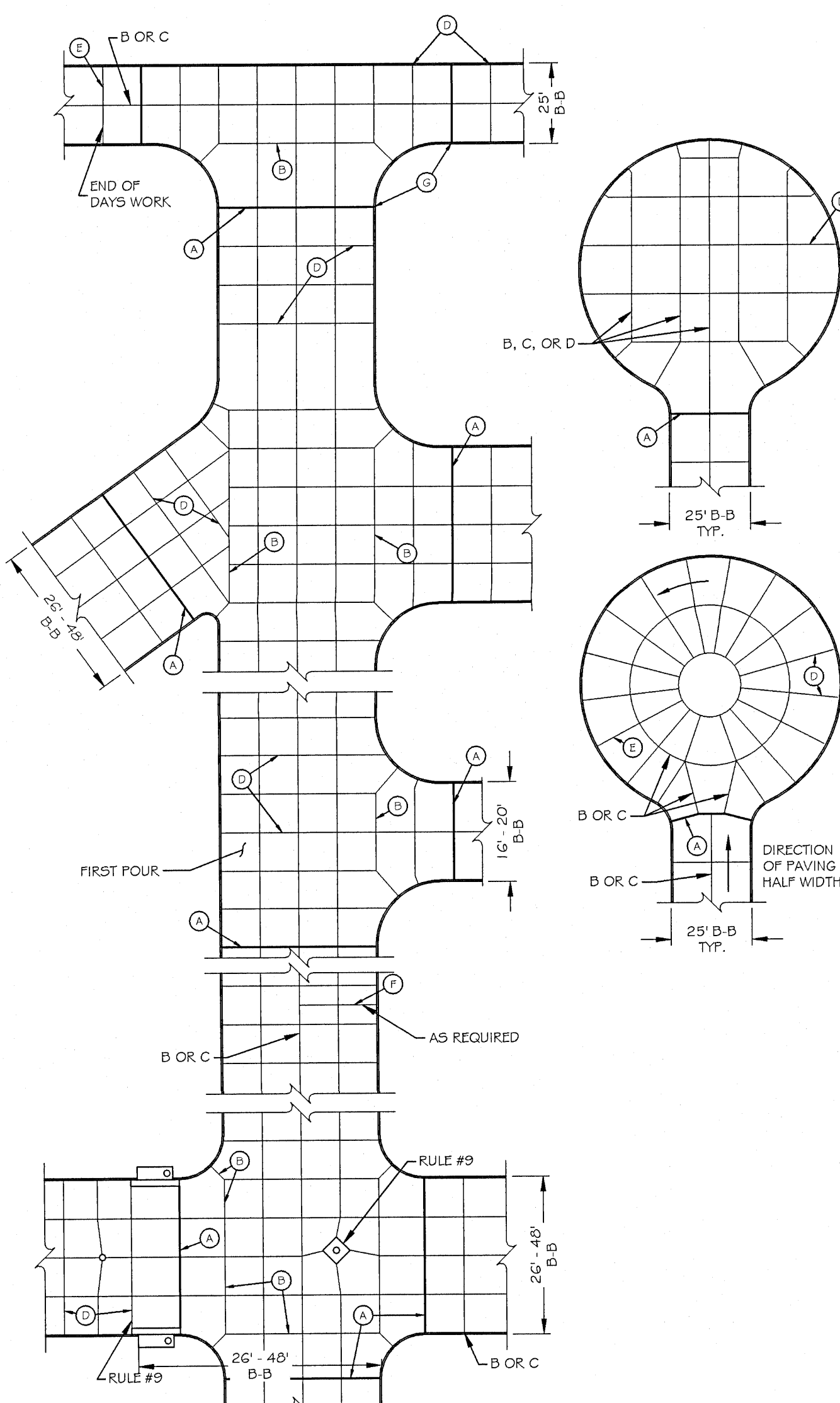
NOT TO SCALE



- NOTES:
- REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS.
  - REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60.
  - BACKFILLING AGAINST REINFORCED DEEPEDED CURB SHALL NOT BE PERMITTED UNTIL CONCRETE HAS REACHED ITS 28 DAY STRENGTH. CARE SHALL BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE DEEPEDED CURB.

**DEEPEDED CURB**

NOT TO SCALE



- KEY NOTES:
- EXPANSION JOINT (ISOLATION)
  - LONGITUDINAL CONSTRUCTION JOINT
  - LONGITUDINAL CONTROL JOINT (CONTRACTION)
  - TRANSVERSE CONTROL JOINT (CONTRACTION)
  - PLANNED TRANSVERSE CONSTRUCTION JOINT
  - EMERGENCY TRANSVERSE CONSTRUCTION JOINT
  - PLACE 1/2" EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS

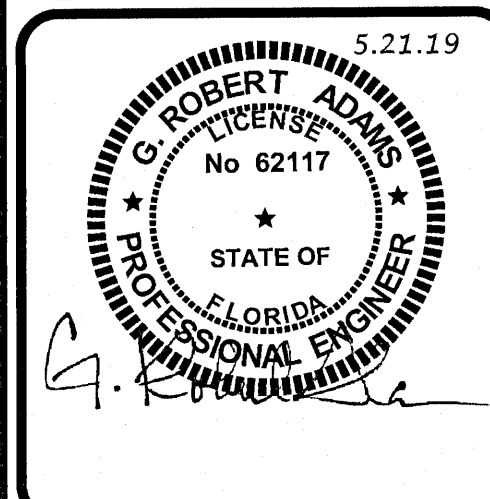
- RULES:
- AVOID ODD-SHAPED SLABS.
  - MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.
  - LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12.5ft.
  - KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES.
  - ALL TRANSVERSE CONTRACTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND HAVE A DEPTH EQUAL TO 1/2 THE PAVEMENT THICKNESS.
  - IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB.
  - IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS.
  - OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1.5ft WIDE. JOINT INTERSECTION ANGLES LESS THAN 60° SHOULD BE AVOIDED.
  - MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE.
  - WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE STRUCTURES IF POSSIBLE.

**TYPICAL JOINTING LAYOUT**

NOT TO SCALE

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04/23/2019	05/17/2019	ISSUE FOR PERMIT	MEG
		ISSUE FOR CONSTRUCTION	MEG

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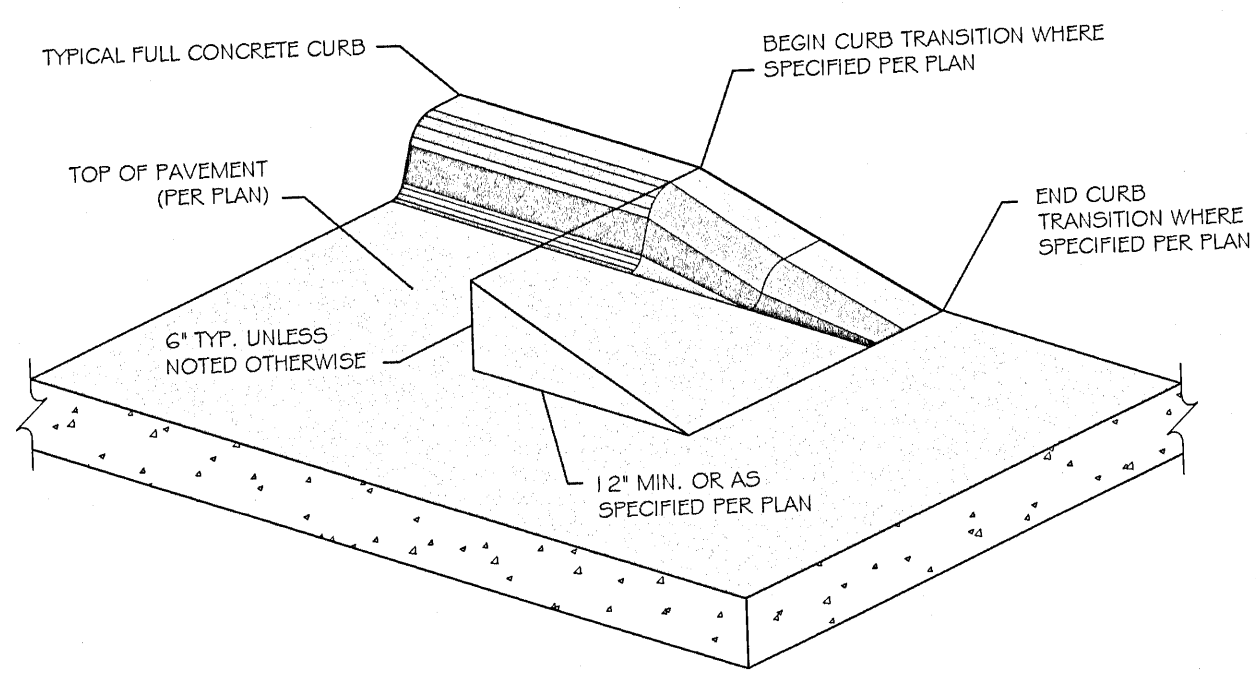


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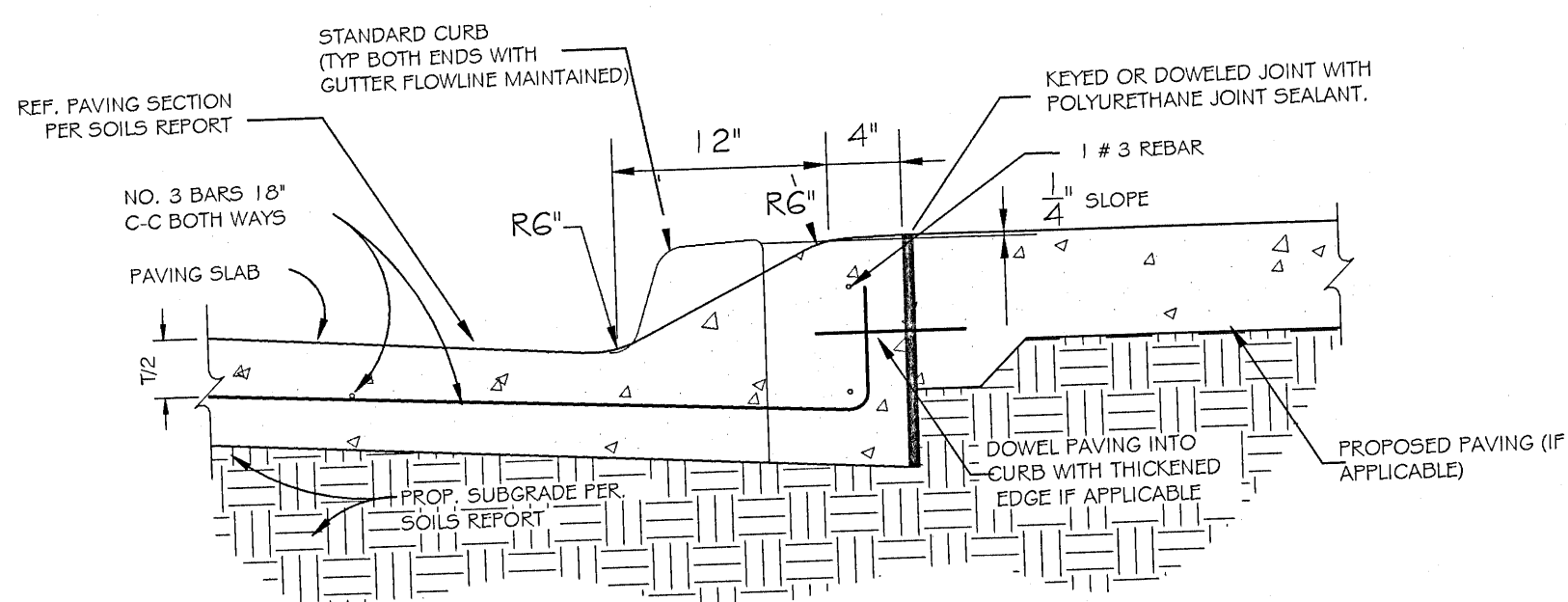
7941 PINE FOREST ROAD  
PENSACOLA, FLORIDA

OFFICE	SOUTH CENTRAL FIELD EXECUTION TEAM
ADDRESS	KROCC DRIVE - OAK BROOK, ILLINOIS 60521
MC DONALD'S U.S. L.C.	009-1117

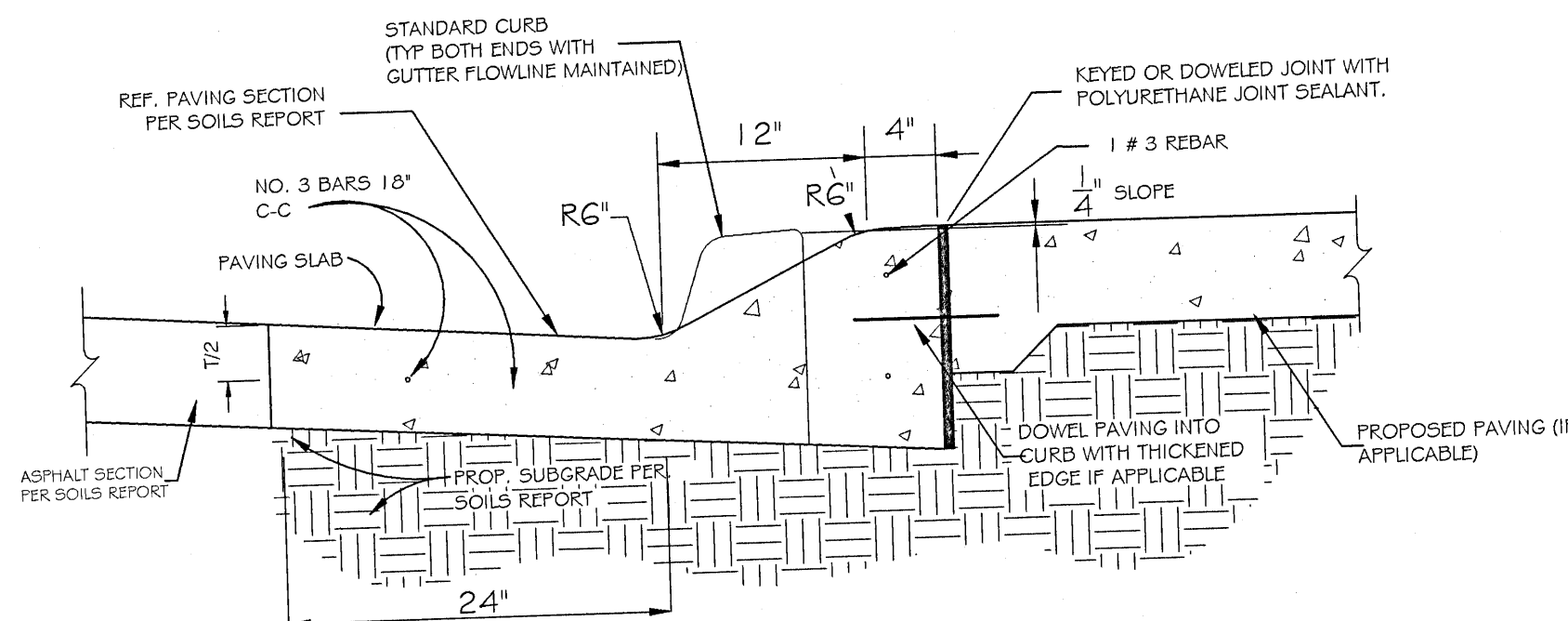
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CHECKED	APR 2019	DWL
AS-BUILT		
<b>STANDARD DETAILS</b>		
<b>C6.2</b>		



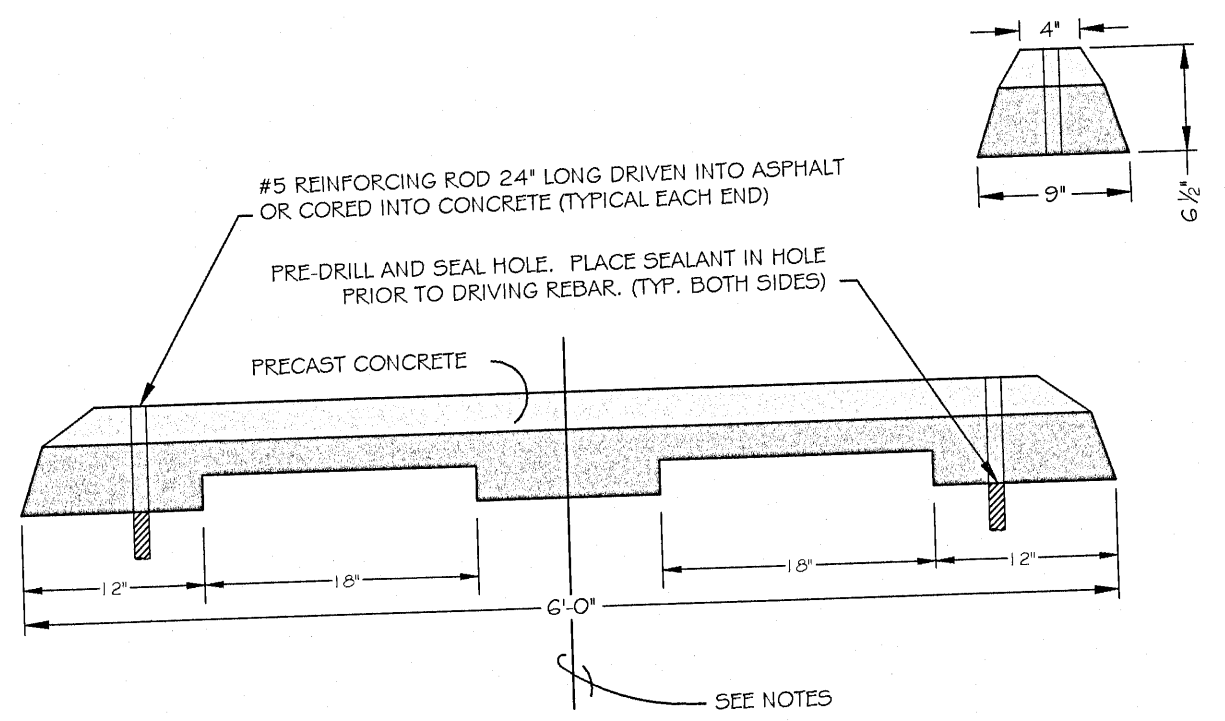
**TURN DOWN CURB**  
NOT TO SCALE



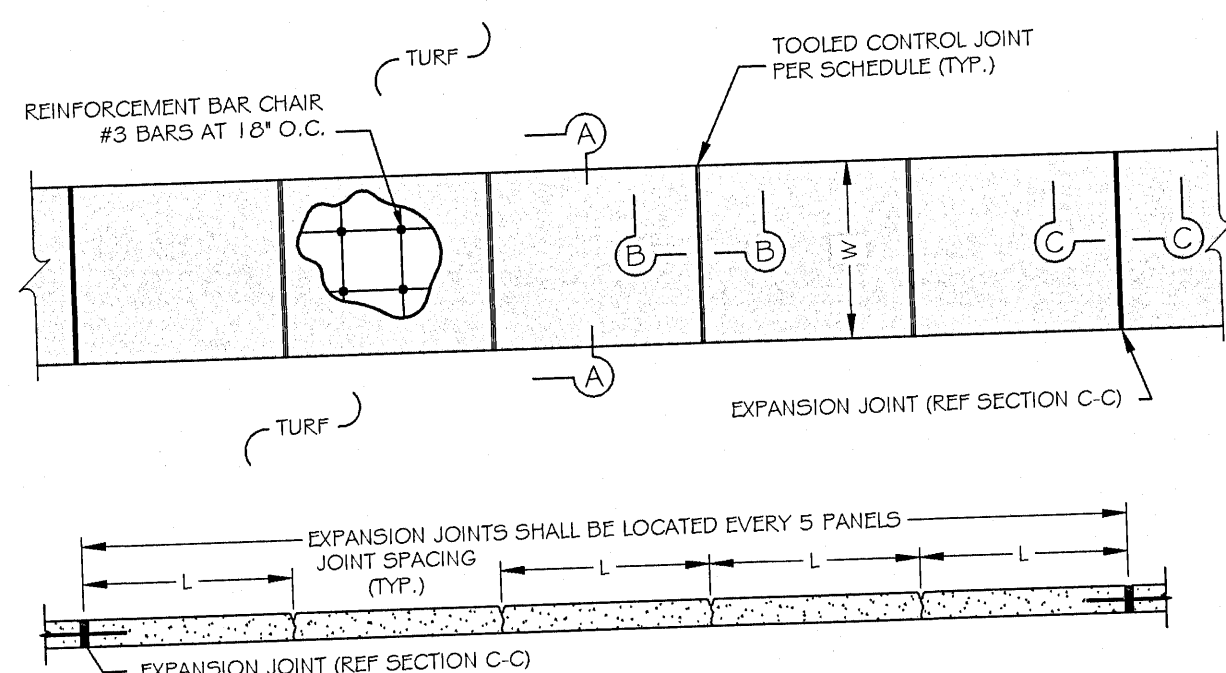
**MONOLITHIC MOUNTABLE CURB**  
NOT TO SCALE



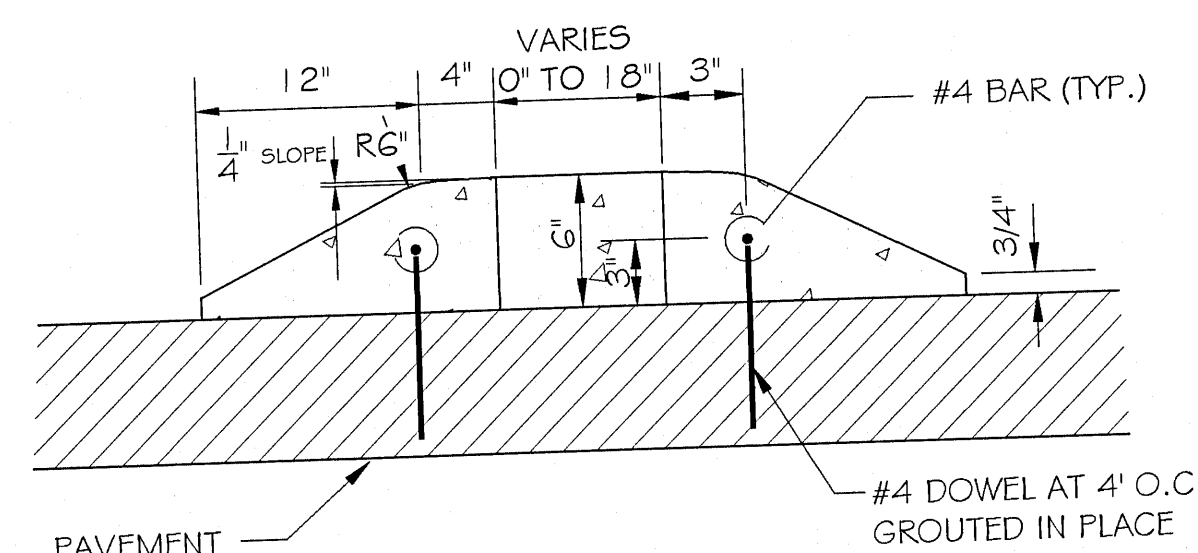
**SEPARATE MOUNTABLE CURB & GUTTER**  
NOT TO SCALE



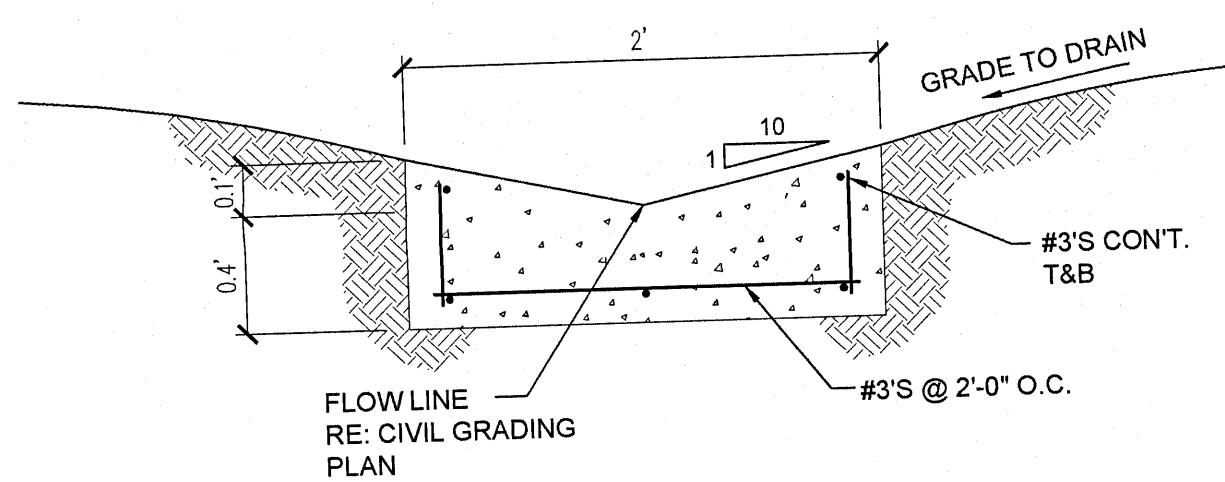
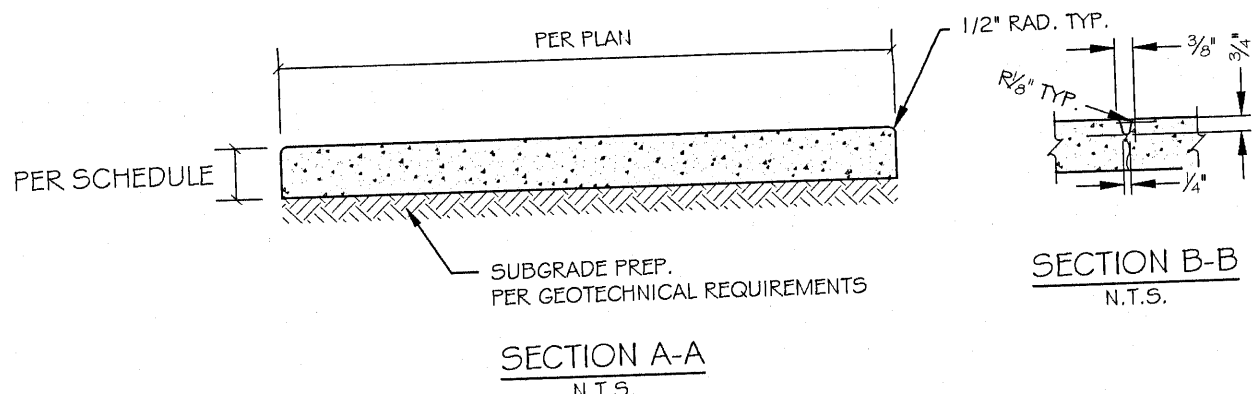
**WHEEL STOP**  
NOT TO SCALE



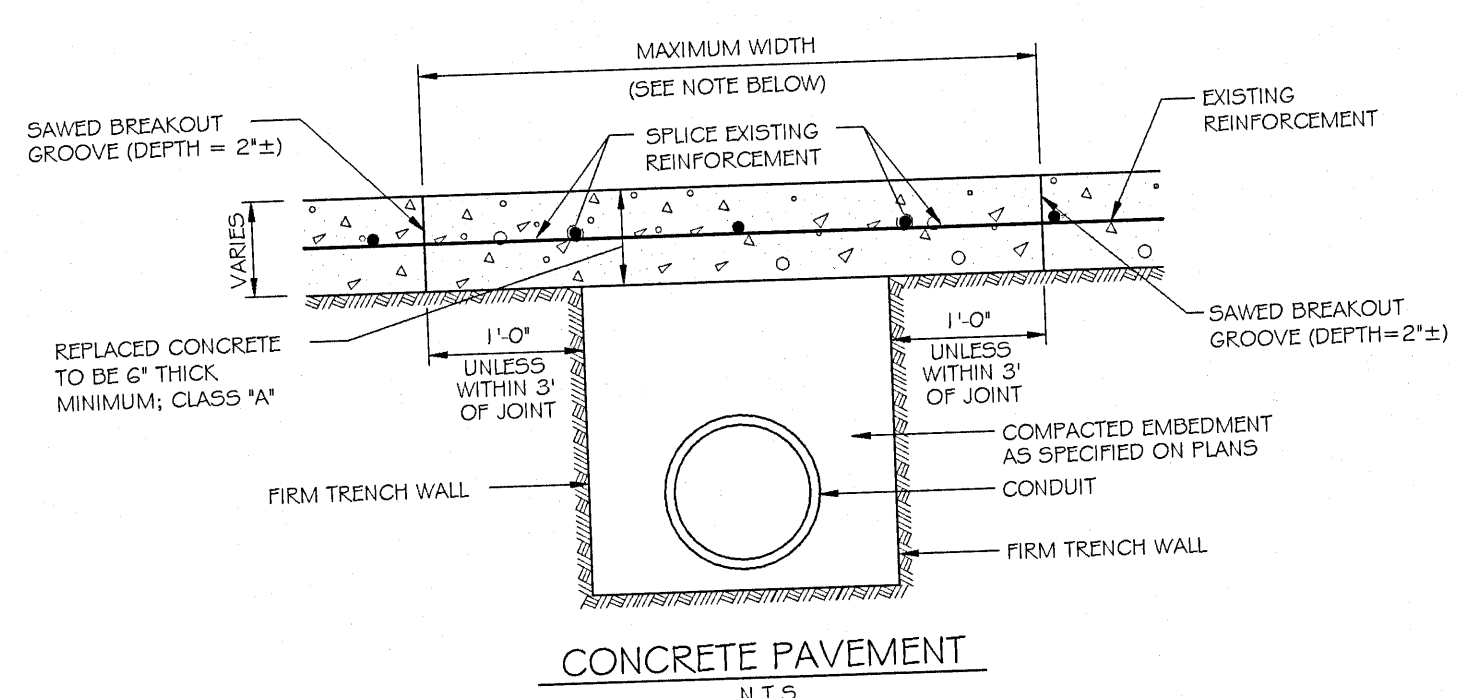
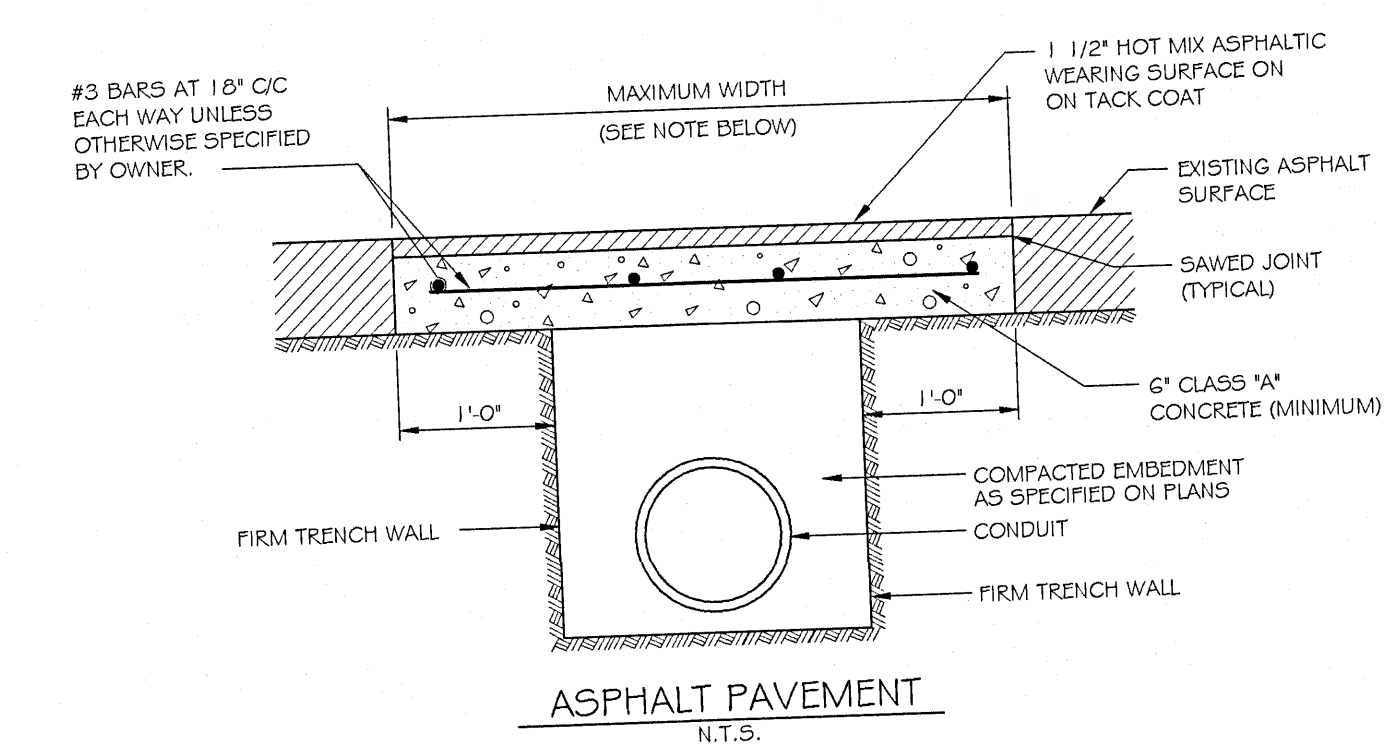
- SIDEWALK NOTES:**
1. SAND CUSHION WILL NOT BE PERMITTED UNDER SIDEWALKS OR OTHER PAVEMENT.
  2. DOWEL WITH #4 BARS AT 18" C-C WHEN CONNECTING TO EXISTING SIDEWALKS, DRIVEWAYS, CURBS AND GUTTER.
  3. REFER TO PAVING PLAN FOR THE MINIMUM COMPRESSIVE STRENGTH REQUIREMENTS OR AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION, WHICHEVER IS GREATER.
  4. ALL JOINTS LOCATED WITHIN LARGE AREAS OF CONCRETE FLATWORK (PLAZA AREAS OR PAVEMENT BETWEEN BUILDINGS) SHALL BE SEALED WITH POLYURETHANE JOINT SEALANT PER JOINT DETAILS THIS SHEET.
  5. CONTRACTOR SHALL SUBMIT FULL-SIZE SCALABLE PLAZA AREAS JOINT LAYOUT FOR APPROVAL.
  6. JOINT SEALANT IS NOT REQUIRED ON SIDEWALKS LOCATED IN TURF AREAS.
  7. ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR SIDEWALKS.



**MOUNTABLE CURB RAISED ISLAND**  
NOT TO SCALE

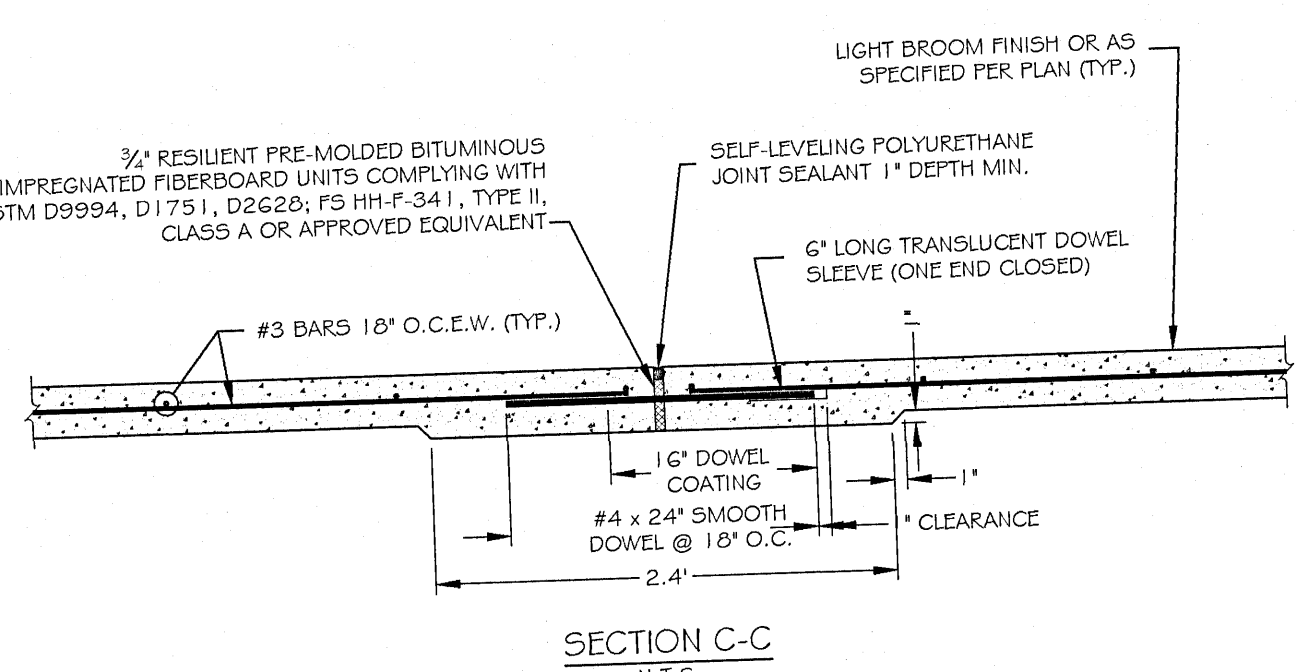


**V-NOTCH CONCRETE SWALE IN GRASS AREA**  
NOT TO SCALE



- NOTE:**
1. WHEN REMOVING CONCRETE PAVEMENT THE CONTRACTOR SHALL ENDEAVOR TO LIMIT DAMAGE TO EXISTING REINFORCEMENT SO IT MAY BE EMPLOYED IN THE REPLACEMENT OPERATION. IF ORIGINAL REINFORCEMENT IS CUT OR BROKEN, REPLACEMENT BARS OF THE SAME SIZE SHALL BE INSTALLED BY DRILLING AND DOWELING AS DIRECTED BY THE OWNER.

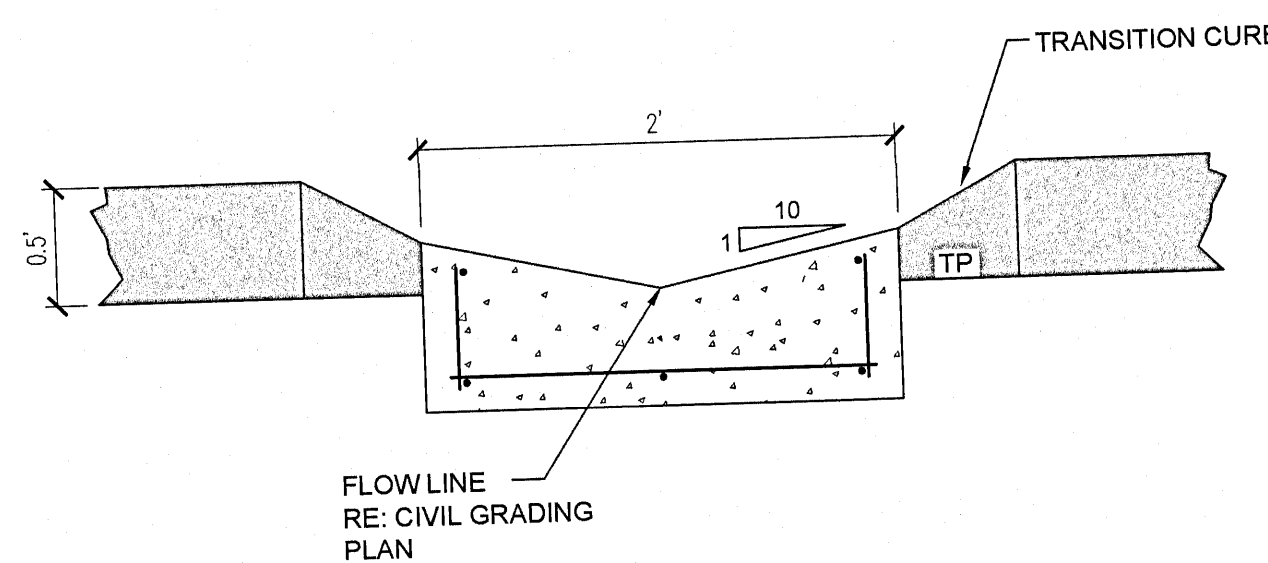
**PAVEMENT CUT REMOVAL & REPLACEMENT**  
NOT TO SCALE



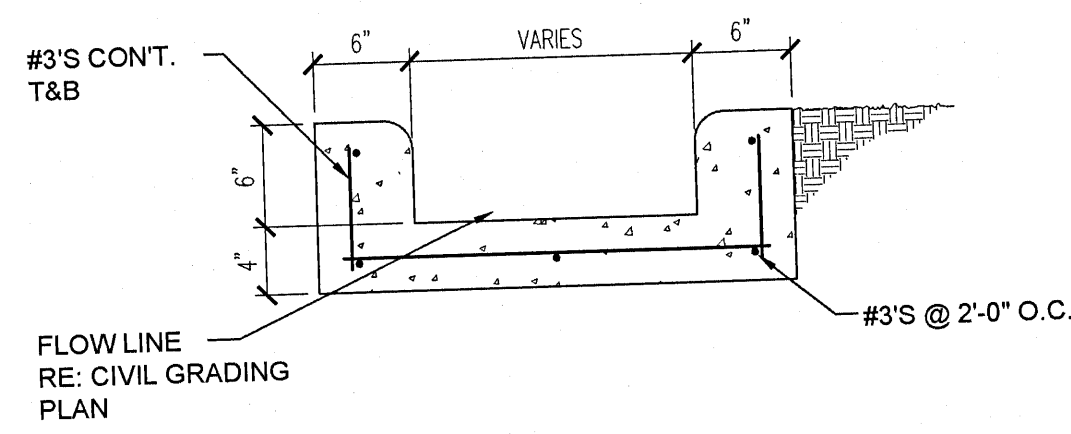
- NOTES:**
1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF 1/2" GREATER THAN THE DIAMETER OF THE DOWELS AND SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO USE.
  2. DOWEL COATING SHALL BE ASPHALTIC COATING.

SIDEWALK PANEL SCHEDULE		
SIDEWALK WIDTH = W (FT.)	SIDEWALK THICKNESS = T (IN.)	JOINT SPACING = L (FT.)
4	4	4
5	4	5
6	4	5
7	5	7
8	5	8
9	5	9
10	5	10

**LANDSCAPE SIDEWALK**  
NOT TO SCALE



**V-NOTCH CONCRETE SWALE & TRANSITION CURB**  
NOT TO SCALE



**CONCRETE FLUME**  
NOT TO SCALE

BY MEG MEG  
 DATE 04/23/2019 05/17/2019  
 DESCRIPTION ISSUE FOR PERMIT ISSUE FOR CONSTRUCTION  
 ADAMS JOB NO.: 2018.235  
 Certificate of Authorization #27614  
 8951 Cypress Waters Blvd., Suite 150 • Dallas, Texas 75019 • (817) 328-3200  
**Adams**

5.21.19  
 G. ROBERT ADAMS  
 LICENSE No 62117  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

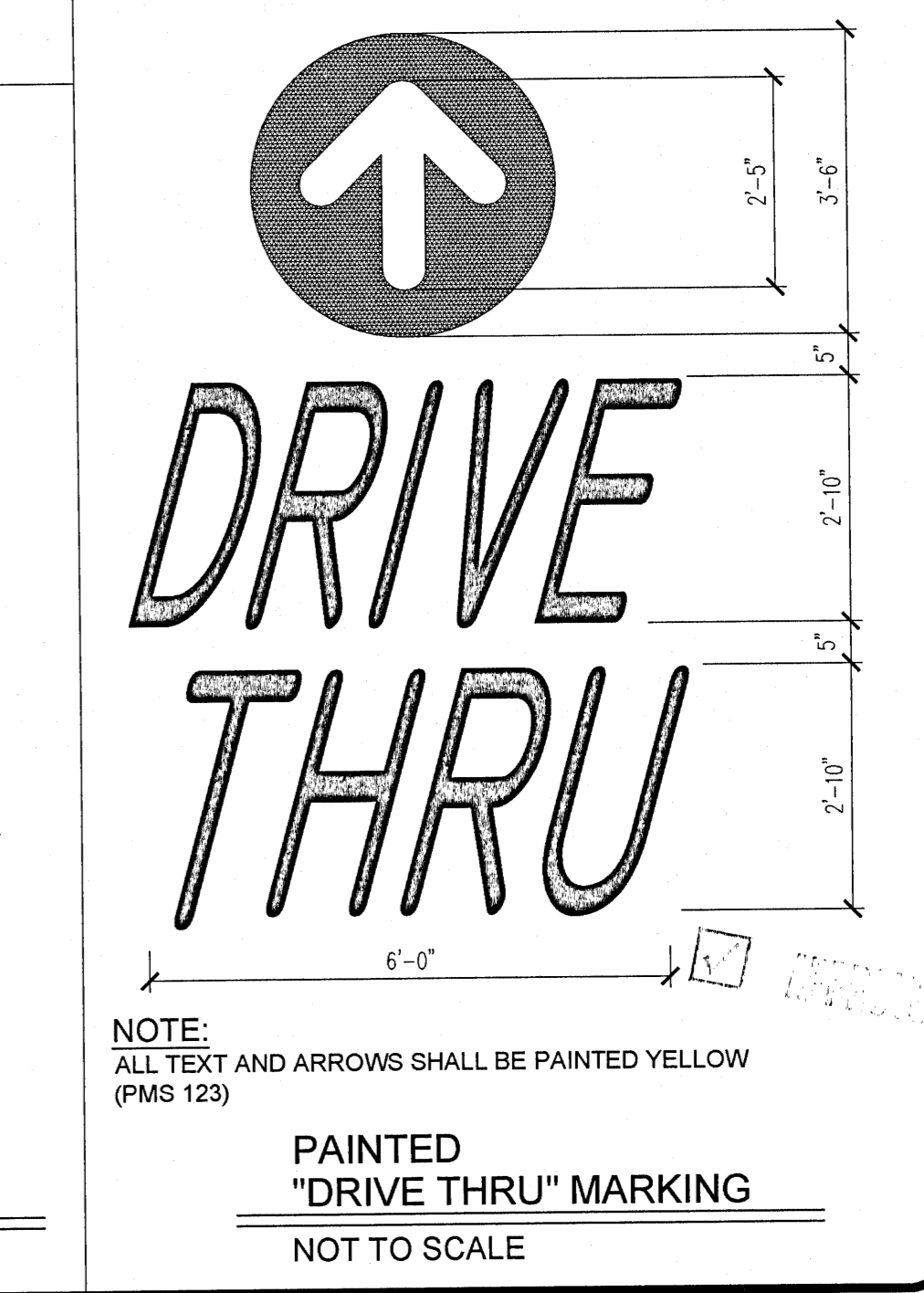
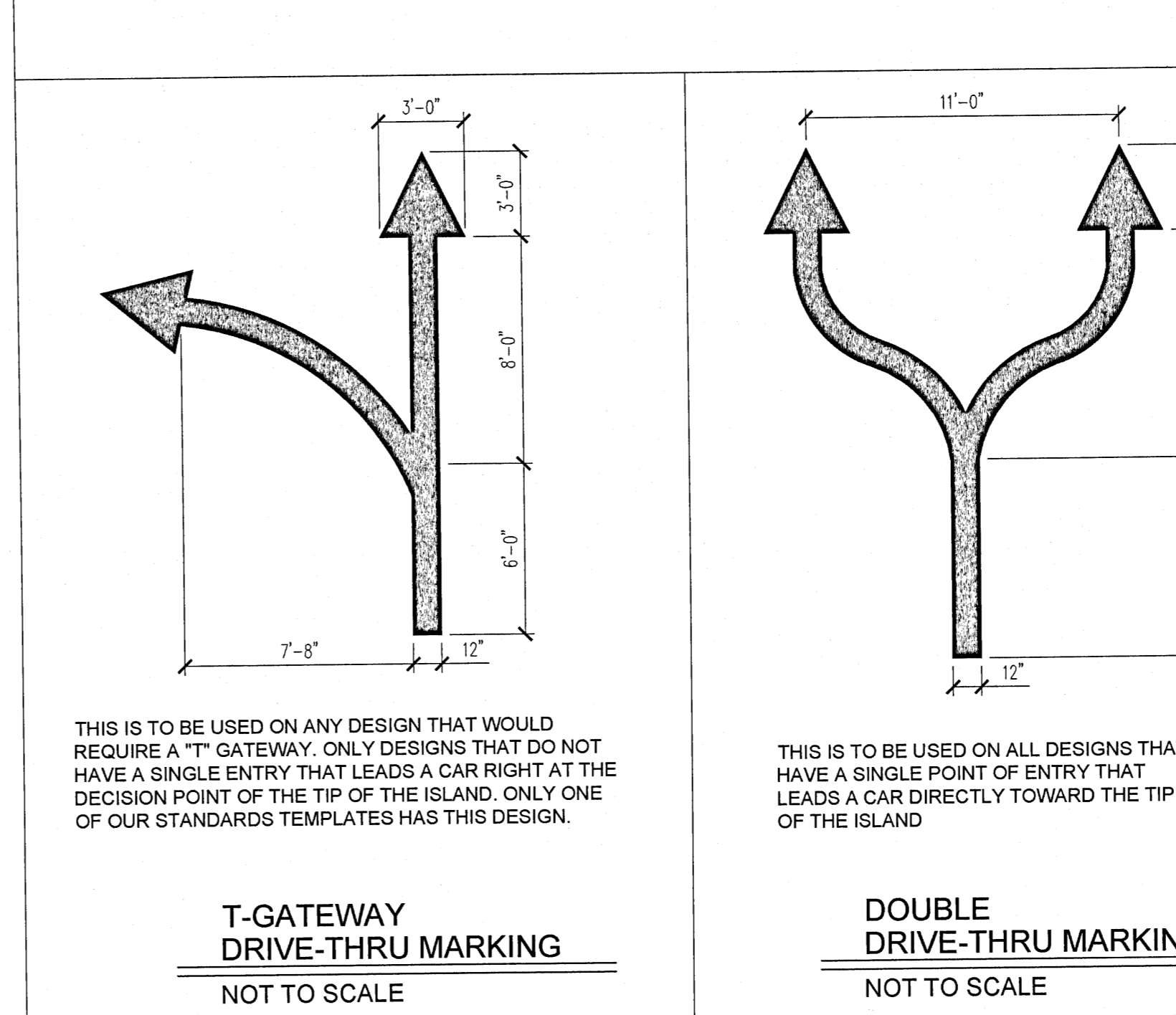
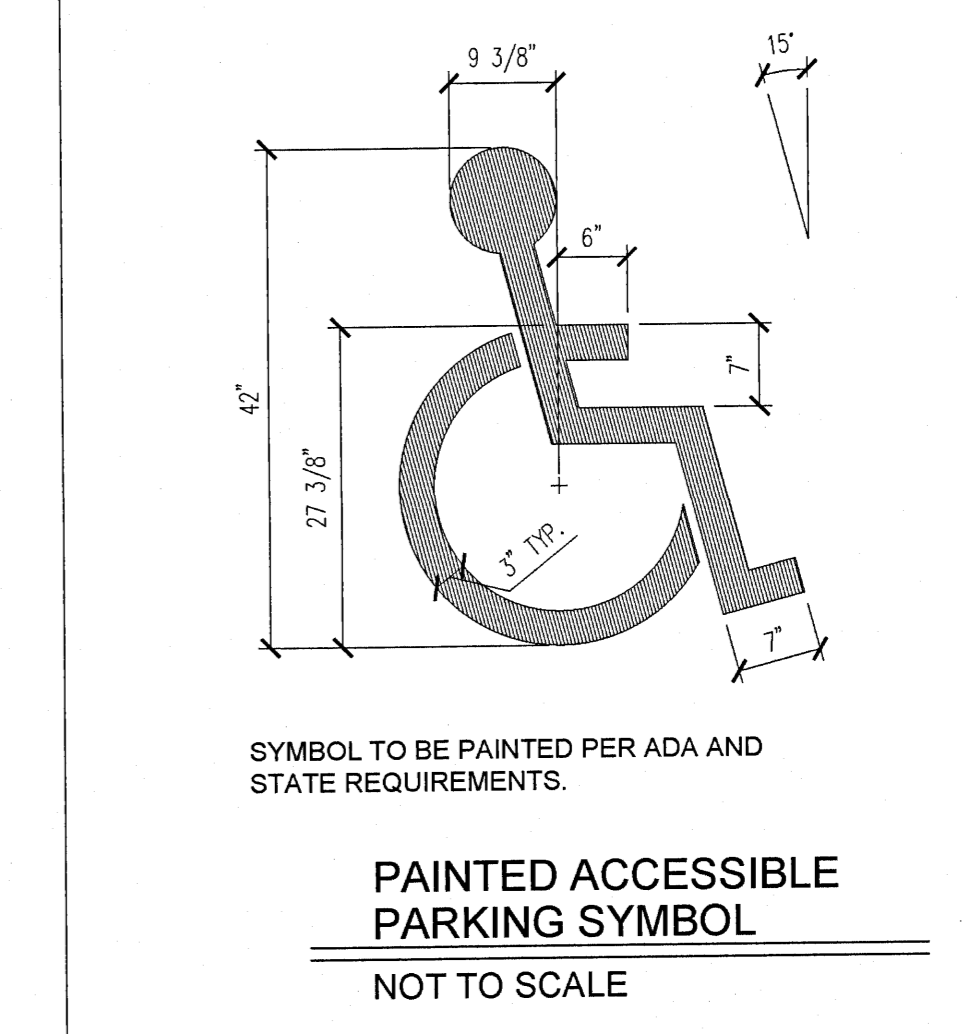
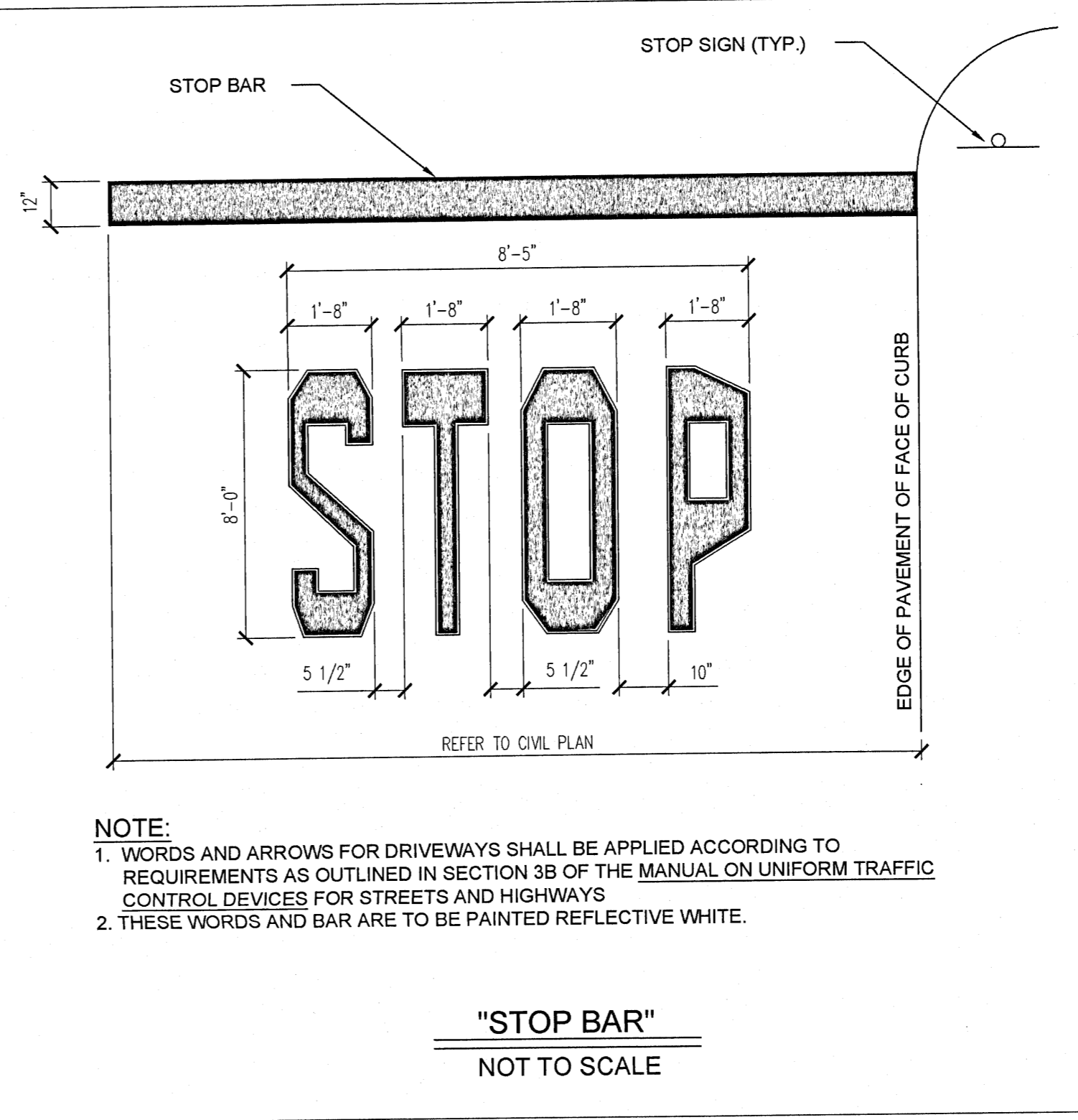
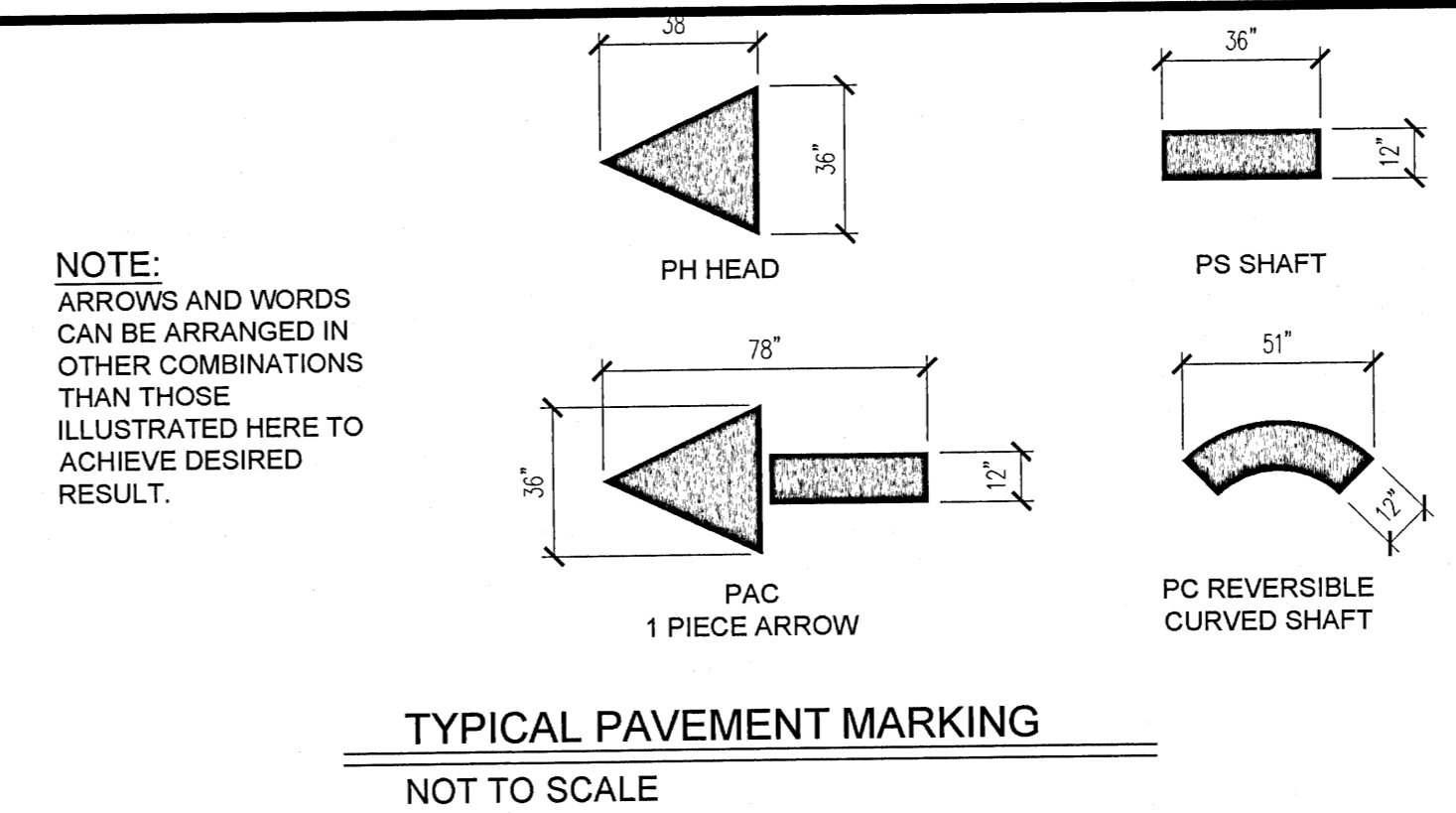
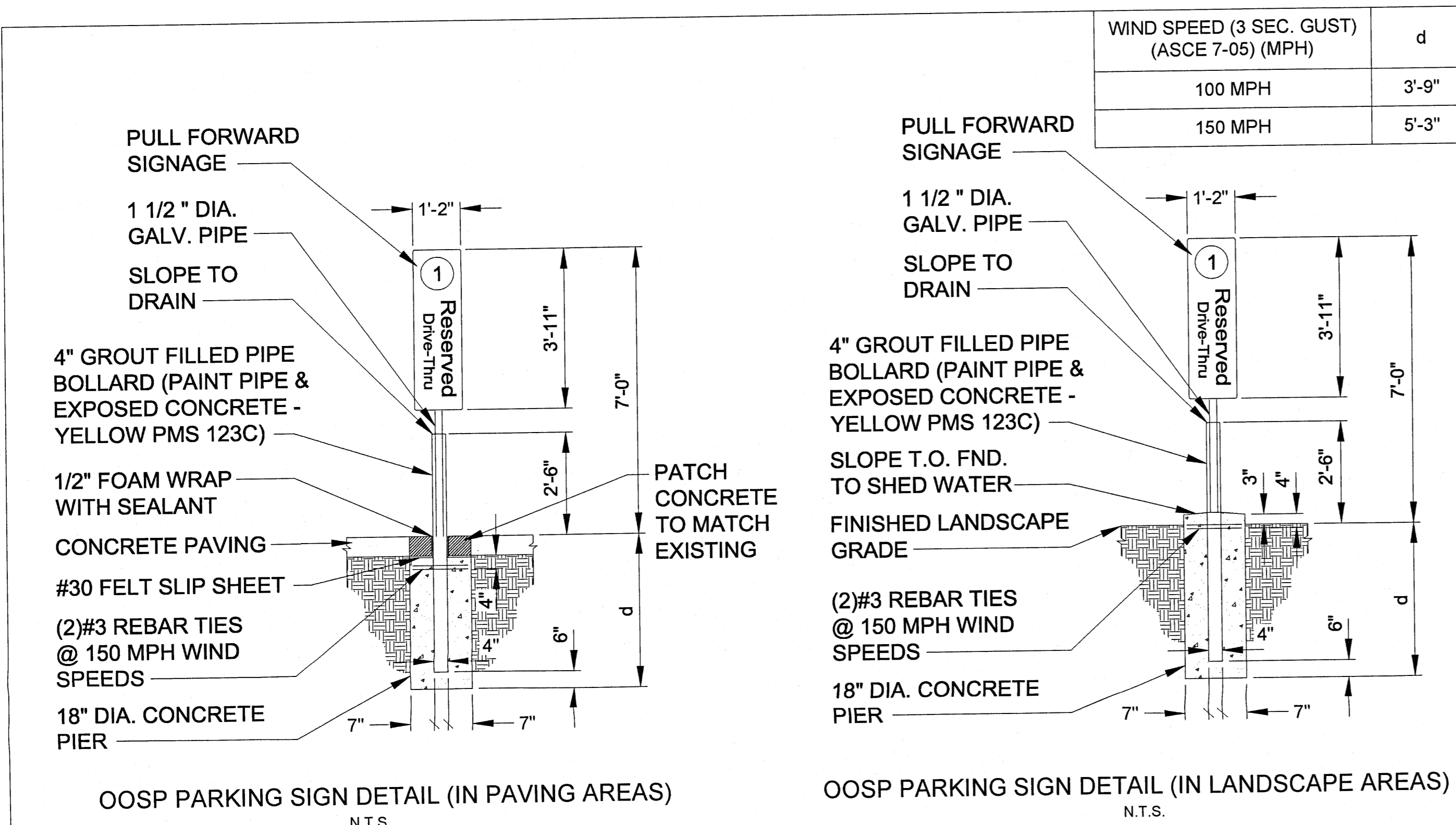
McDonald's USA, LLC  
 7941 PINE FOREST ROAD  
 PENSACOLA, FLORIDA

REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

DESIGNED	DATE	BY
MEG	APR 2019	MEG
DRAWN	APR 2019	MEG
CHECKED	APR 2019	DWL
AS-BUILT		

**STANDARD DETAILS**  
**C6.3**

PULL PATH: I:\Projects\2018\18235 McDonalds - Pensacola, FL (PH) Pine Forest Ref\03\Standard Details\Production\ACD 03252019\03252019\Standard Details\Standard Details.dwg  
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 PLOT DATE: Tuesday, May 21, 2019  
 PLOT BY: Margaret Gossett  
 RELEASE: C6.4 STANDARD DETAILS.dwg  
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**OBJECTIVE OF STANDARDIZATION:**  
McDONALD'S OBJECTIVE IS TO STANDARDIZE OPTIMUM MARKINGS IN THE UNITED STATES TO ASSIST CUSTOMERS IN EASILY FINDING THE DRIVE-THRU LANES. THE MARKING POSITIONS ARE TO GUIDE THEM FROM ANY ENTRANCE ON THE PARKING LOT TO THE DRIVE-THRU LANE USING THE OPTIMUM ROUTE. THIS IS TYPICALLY AWAY FROM THE PRIMARY DRIVE AISLE. MOST COMMON ENTRANCE OR AROUND THE BUILDING TO INCREASE STACKING IN THE LANE. THE STANDARDIZATION FROM REGION TO REGION ASSISTS GUESTS WITH CONVENIENTLY FINDING THE DRIVE-THRU'S.

**STANDARD LOT STRIPING STENCILS AND PAINT COLOR:**  
THESE ARE AVAILABLE FROM BETH BELL AT PAVEMENT STENCIL COMPANY, 4347-A AEROSPACE ROAD SE, ROANOKE, VA, 24014, 1-800-250-5547. THE FOLLOWING DESCRIPTION IS WHAT YOU WOULD SAY AS YOU ORDER. SHE HAS NO PART NUMBERS ASSOCIATED WITH THESE:

**LOT STRIPING STENCILS DESCRIPTION**  
DRIVE THRU  
ROUND CIRCLE (DIRECTIONAL ARROW)  
THANK YOU  
DOUBLE HEADED ARROW FOR A DOUBLE DRIVE-THRU IS MADE UP OF THREE COMPONENTS.  
PC SHAFT 12"W X 36"L, A PC REVERSIBLE  
CURVED SHAFT 12"W X 51"L  
PH ARROW HEAD 38"L X 36"W  
LANE STRIPE IS A 6" WIDE STRIPE DONE BY THE LOT STRIPING COMPANY.  
39" ADA HANDICAP TEMPLATE  
PAINT COLOR: THIS IS FOR ALL DRIVE-THRU DIRECTIONAL STRIPING INCLUDING THE PAINTED STRIPE FOR THE LANE. THE PAINT COLOR SHOULD MATCH PMS 123 YELLOW. PROVIDE YELLOW PAINT ON ALL DRIVE-THRU MARKINGS UNLESS NOTED OTHERWISE.

**GUIDING PRINCIPLES**  
**ALL ENTRANCES TO THE LOT**  
THE WORD DRIVE THRU IS PLACED AT ALL ENTRANCES TO THE LOT APPROXIMATELY 25'-30' FROM THE CURB OR SIDEWALK. THEY SHOULD BE CENTERED IN THE DRIVEWAY (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC). RATIONALE: THIS ALLOWS THE CUSTOMER TO MOVE SAFELY ONTO THE LOT AND SEE THE DRIVE-THRU DIRECTIONAL ARROW WHEN THEY ARE SAFELY OFF THE STREET.  
ROUND CIRCLE (DIRECTIONAL ARROW): THE CIRCLE ARROW SHOULD BE CENTERED ABOVE THE WORD 'DRIVE' APPROXIMATELY 5 FEET FURTHER INTO THE PARKING LOT. RATIONALE: THE STANDARD YELLOW COLOR WITH THE WORD DRIVE-THRU SEEN FIRST AND THE ROUND ARROW BEGINS TO BRAND THE MARKINGS.

**LOT DIRECTIONAL MARKINGS:**  
ROUND CIRCLE (DIRECTIONAL ARROW): THE ARROWS SHOULD BE SPACED EVERY 40 TO 60 FEET. THIS ALLOWS EVENLY POSITIONED ARROWS THROUGHOUT THE LOT. RATIONALE: THE STRATEGIC POSITIONING ALLOWS THE CAR TO REACH AN ARROW AND OFF IN THE DISTANCE SEE THE NEXT DIRECTIONAL ARROW. THIS LEADS THEM IN THE DESIRE DIRECTION.  
IF THERE ARE 5 OR MORE ARROWS ROUTING SOMEONE TO THE DRIVE-THRU THEN PLAN THE CORRECT PLACEMENT TO ADD THE WORD DRIVE-THRU AND POSITION THE ARROW CENTERED ABOVE THE WORD 'DRIVE' SIMILAR TO THE ENTRANCE. THIS IS TO BE CENTERED BETWEEN THE ARROWS ON THE PARKING LOT. AN EXAMPLE IS IT TAKES EIGHT ARROWS TO GUIDE SOMEONE FROM THE ENTRANCE TO THE DRIVE-THRU ENTRANCE. YOU MIGHT DECIDE TO PLACE THE WORD DRIVE-THRU AT THE 4TH ARROW POSITION. RATIONALE: THE LONGER THE RUN TO THE DRIVE-THRU THIS REAFFIRMS THE COLOR AND DIRECTIONAL ARROWS ARE STEERING THEM IN THE RIGHT DIRECTION FOR THE DRIVE-THRU ENTRANCE.

**DRIVE-THRU ENTRANCE:**  
THE DOUBLE HEADED ARROW FOR DOUBLE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC APPROPRIATELY TO EITHER LANE AS THEY APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION. RATIONALE: EACH CUSTOMER READS FROM DIFFERENT LEVELS SOME BY LOT MARKINGS. SOME AT EYE LEVEL AND OTHERS LOOK ABOVE THE VEHICLES. BY ADDRESSING ALL OF THESE METHODS IN BRANDING, THE USE IS SIMPLIFIED FOR THE MAJORITY OF THE GUESTS. THE DOUBLE ARROW INCREASES THE USAGE OF THE OUTSIDE LANE IN OFF PEAK TIMES HELPING THE RESTAURANT MAXIMIZE THE CAPACITY.

**PARKING LOT STRIPING NOT IN THE DRIVE-THRU:**  
ANY LOT STRIPING OTHER THAN THE DRIVE-THRU SHOULD BE WHITE. IF THE CITY CODE REQUIRES BLUE WITH THE HANDICAP PARKING STALLS THAT IS AN ACCEPTABLE DEVIATION. RATIONALE: THIS HELPS SUBTLY IDENTIFY WHAT IS A DRIVE-THRU MARKING FROM THE PARKING LOT MARKING AND CREATES A RUNWAY PATH TO THE LANE ENTRANCE.  
THE ENTRANCES WILL ALL HAVE A WHITE INGRESS/ EGRESS ARROW FOR THE CUSTOMER TO EASILY IDENTIFY IF IT IS A ONE WAY OR TWO-WAY ENTRANCE. THESE ARE WITHIN 10FT FROM INGRESS POINT AND IS DESIGNED TO BE SEEN CLEARLY BEFORE A CAR MAKES A TURNING COMMITMENT. RATIONALE: THE CONSISTENCY HERE WILL HELP CUSTOMERS IDENTIFY THE FLOW OF TRAFFIC ON ALL ENTRANCES FOR THE CONSUMER WHEN THEY ARE AT A DECISION POINT.  
ANY ADDITIONAL WHITE ARROWS NEEDED SHOULD BE POSITIONED IN BETWEEN THE DRIVE-THRU DIRECTIONAL MARKINGS.  
ANY WORDING NEEDED OTHER THAN FOR THE DRIVE-THRU AREA SHOULD BE IN WHITE AND POSITIONED SO IT DOES NOT INTERFERE WITH THE DRIVE-THRU MARKINGS.  
SHOULD YOU HAVE ADDITIONAL QUESTIONS FEEL FREE TO CONTACT THE McDONALD'S RESTAURANT DESIGN GROUP AT THE HOME OFFICE FOR FURTHER CLARIFICATIONS.

DESCRIPTION		DATE	REV
ISSUE FOR PERMIT	MEG	04/23/2019	1
ISSUE FOR CONSTRUCTION	MEG	05/17/2019	2

ADAMS JOB NO.:  
2018.235

Certificate of Authorization: #275014

Adams  
8861 Cypress Woods Blvd, Suite 150 • Dallas, Texas 75019 • (972) 355-3200

5.21.19

ROBERT ADAMS

No. 62117

STATE OF FLORIDA

PROFESSIONAL ENGINEER

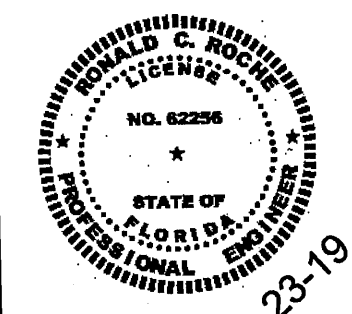
OFFICE		DATE	SIGNATURE
SOUTH CENTRAL FIELD EXECUTION TEAM	MCDONALD'S LLC	009-1117	
KROC DRIVE - OAK BROOK, ILLINOIS 60521			
M. McDonald's USA, LLC			
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be used, copied, or reproduced in any form without the written consent of McDonald's USA, LLC. This document is for use on the specific site in conjunction with the issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or examples on another project requires the services of a properly licensed architect and engineer. Reproduction of the contract documents for use on another project is strictly prohibited.			
7941 PINE FOREST ROAD PENSACOLA, FLORIDA			

PLAN APPROVALS		DATE	BY
REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

DESIGNED	DATE	BY	
	APR 2109	MEG	
DRAWN	APR 2019	MEG	
CHECKED	APR 2019	DWL	
AS-BUILT			

**STANDARD DETAILS**  
C6.4

© Copyright 2017, Adams Engineering



*[Signature]*

NO	DATE	ISSUES AND REVISIONS
0	4-23-19	ISSUED FOR PERMIT
1		
2		
3		
4		
5		
6		
7		
8		
9		

McDonald's Restaurant - 7941 Pine Forest Road  
Pensacola, Florida

SHEET

SD-1

PROJ. NO. : 19-1055-0005

## GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
  - 2017 FLORIDA BUILDING CODE, SIXTH EDITION
  - ASCE 7-10
  - ACI 318-08
  - AISC 13th EDITION
  - AWS D1.1
- ULTIMATE WIND SPEED - VULT = 151 MPH, RISK CATEGORY II
- EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

### CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH SUCH THAT MOISTURE CANNOT ACCUMULATE.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ( $f'_c=3000$  PSI) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

### STEEL:

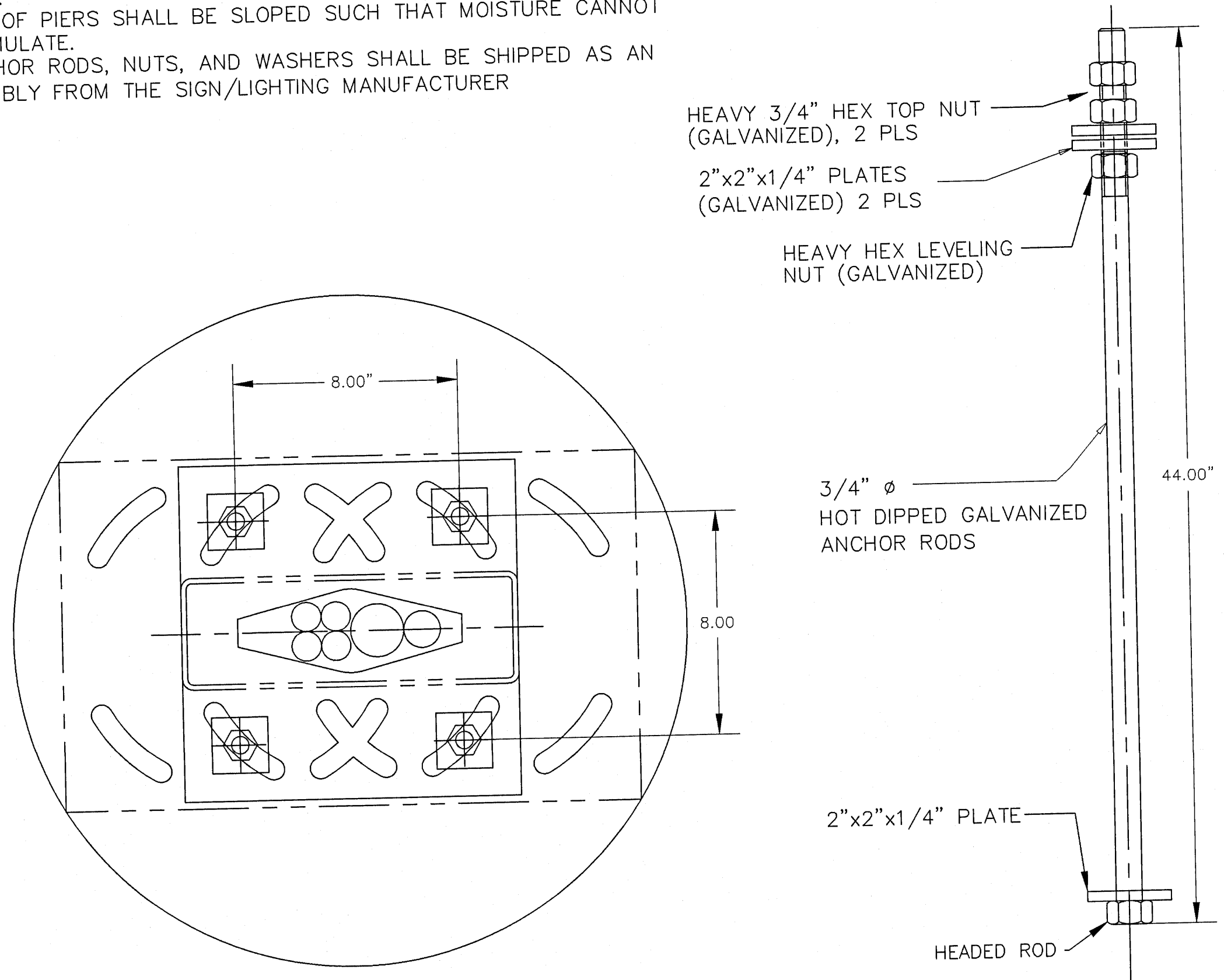
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ( $F_y = 35$ ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B ( $F_y = 42$ ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ( $F_y = 46$ ksi)
- CONNECTION BOLTS A325
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: GRADE 60
- NUTS: A563DH OR A194-2H
- WASHERS: ASTM F-436
- USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT: 07832709  
BY: PROFESSIONAL SERVICE INDUSTRIES, INC.  
DATED: JANUARY 29, 2019

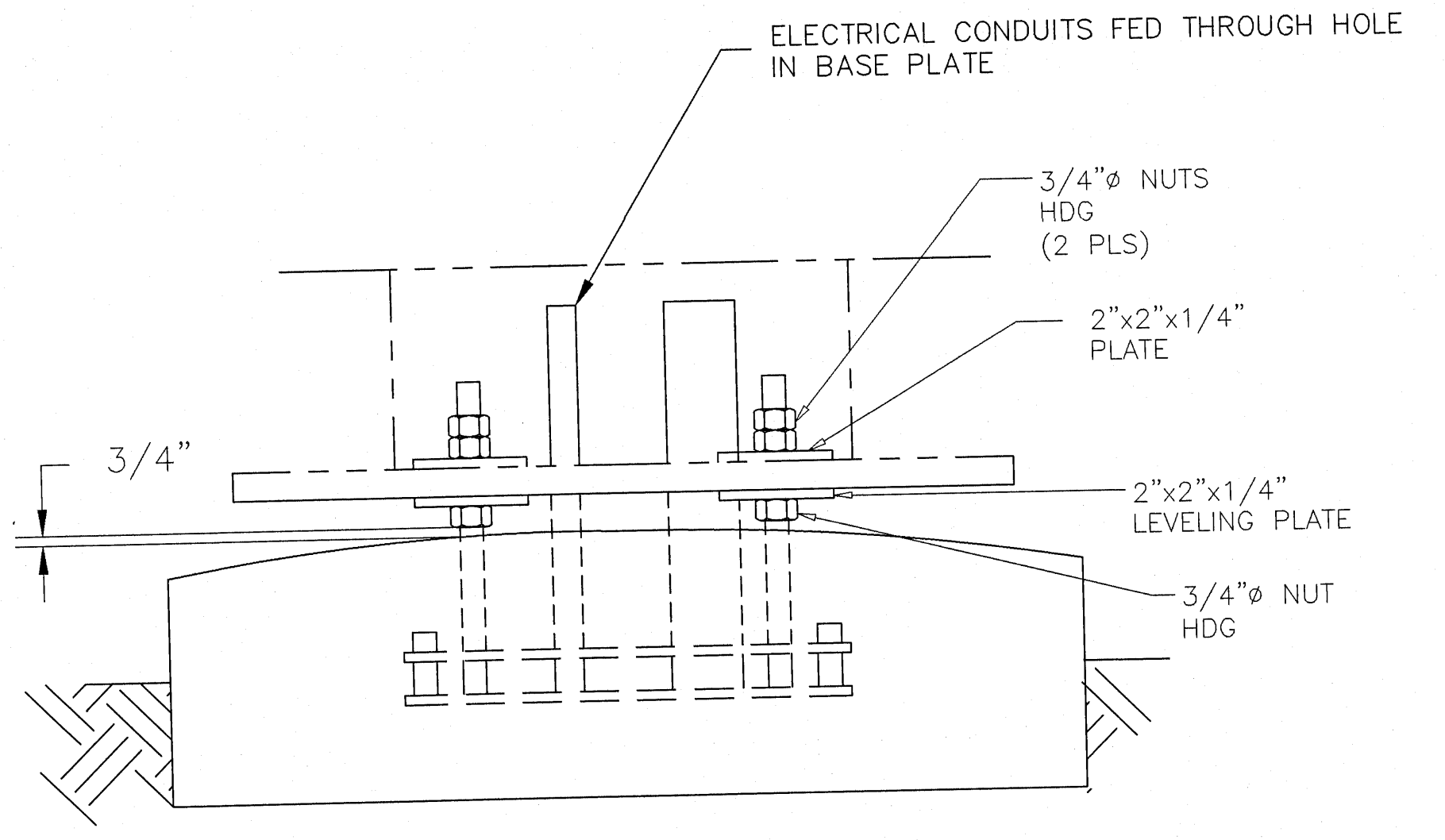
2 PANEL MENU BOARD  
FOUNDATION

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER

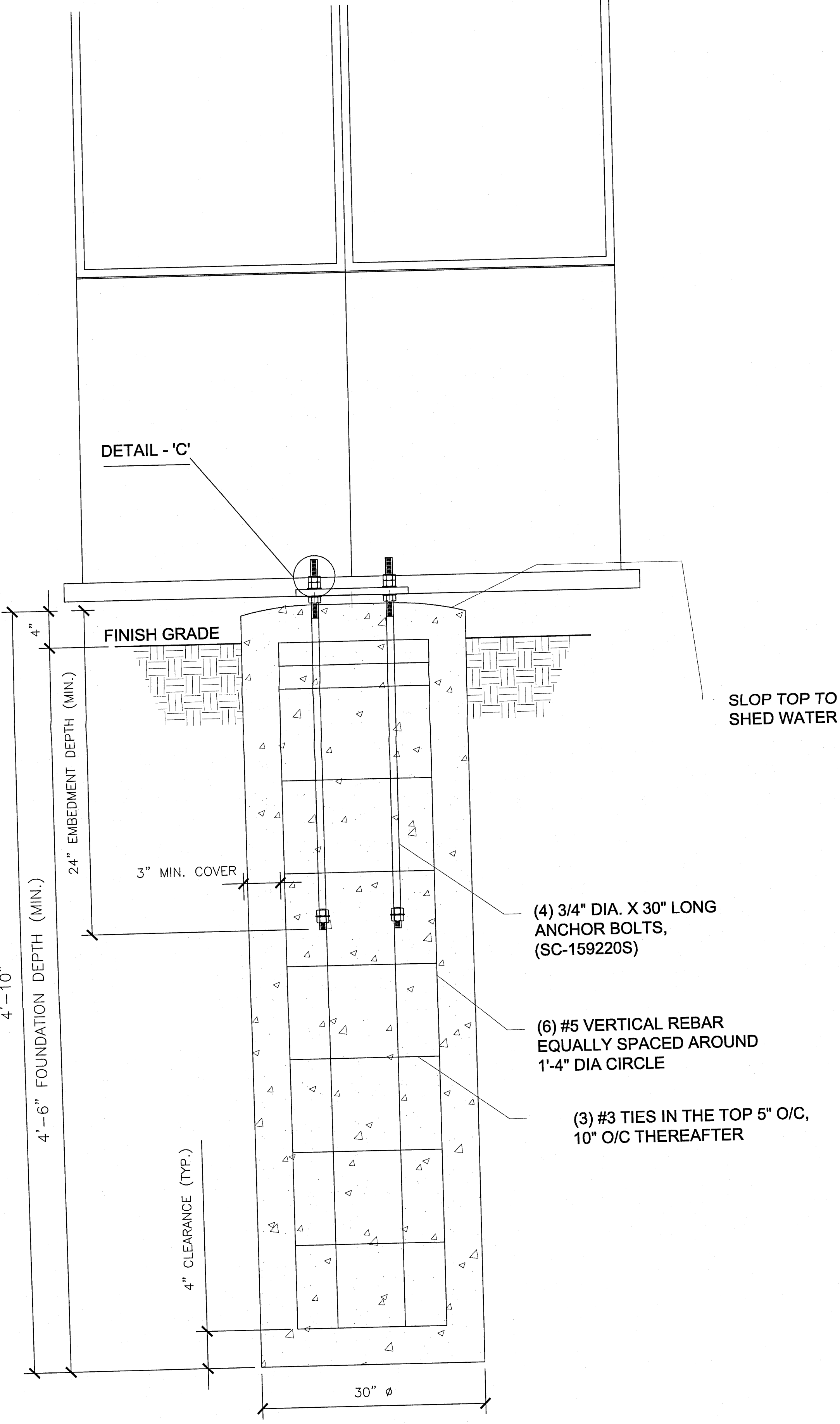


(B) ANCHOR BOLT PATTERN  
NTS

NOTES:  
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-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



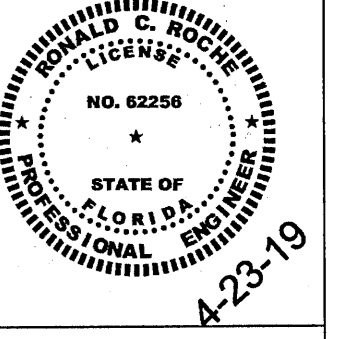
(C) CONNECTION DETAILS  
NTS



(A) FOUNDATION  
NTS

DETAIL - 'C'

SLOP TOP TO SHED WATER



Paul C. White

NO	DATE	ISSUES AND REVISIONS
0	4-23-19	ISSUED FOR PERMIT

McDonald's Restaurant - 7941 Pine Forest Road  
Pensacola, Florida

SHEET  
SD-2  
PROJ. NO.: 19-1055-0005

## GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
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  - ASCE 7-10
  - ACI 318-08
  - AISC 13th EDITION
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- ULTIMATE WIND SPEED - VULT = 151 MPH, RISK CATEGORY II
- EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
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- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

### STEEL:

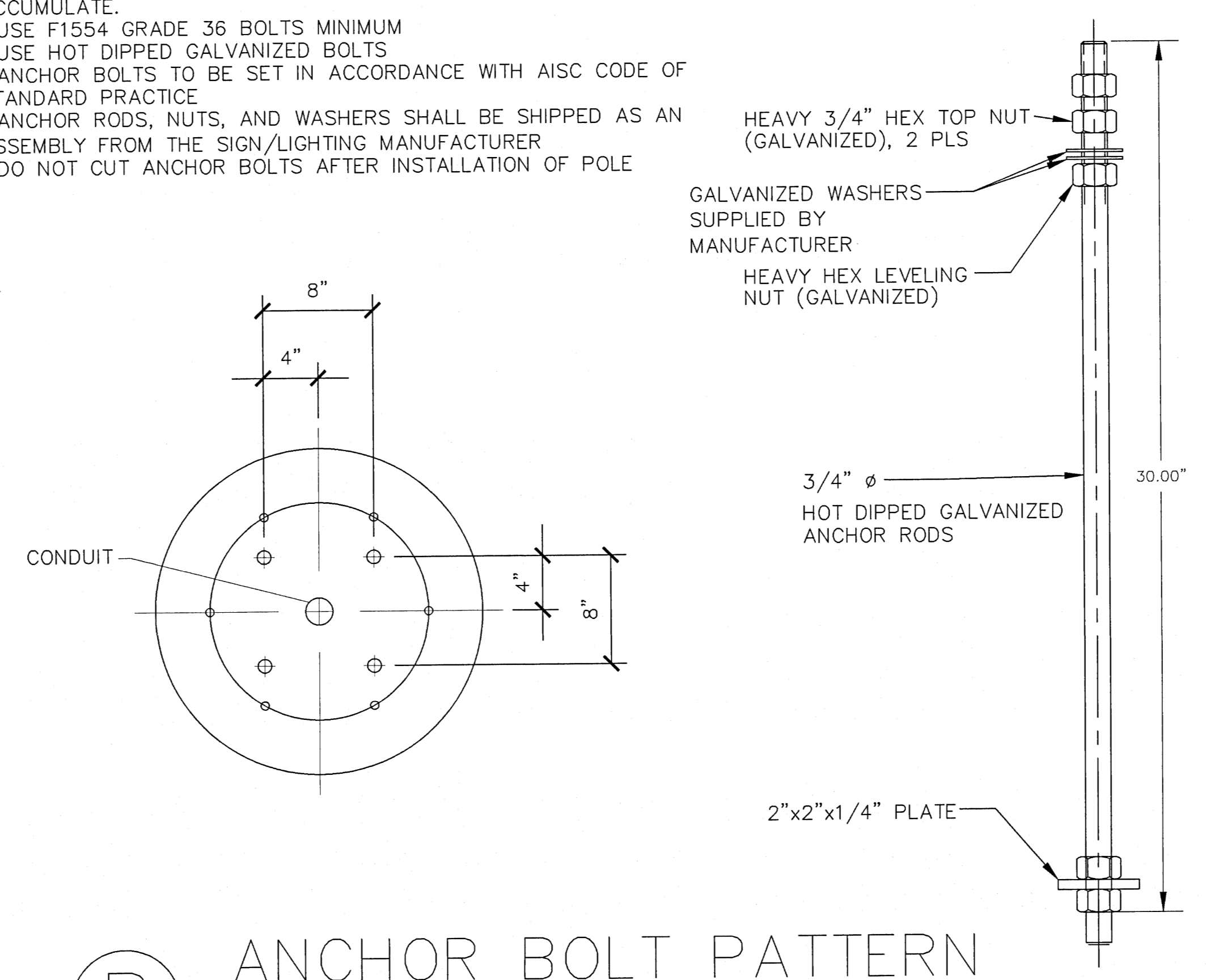
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- HSS ROUND SECTION: ASTM A500 GRADE B ( $F_y = 42$ ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ( $F_y = 46$ ksi)
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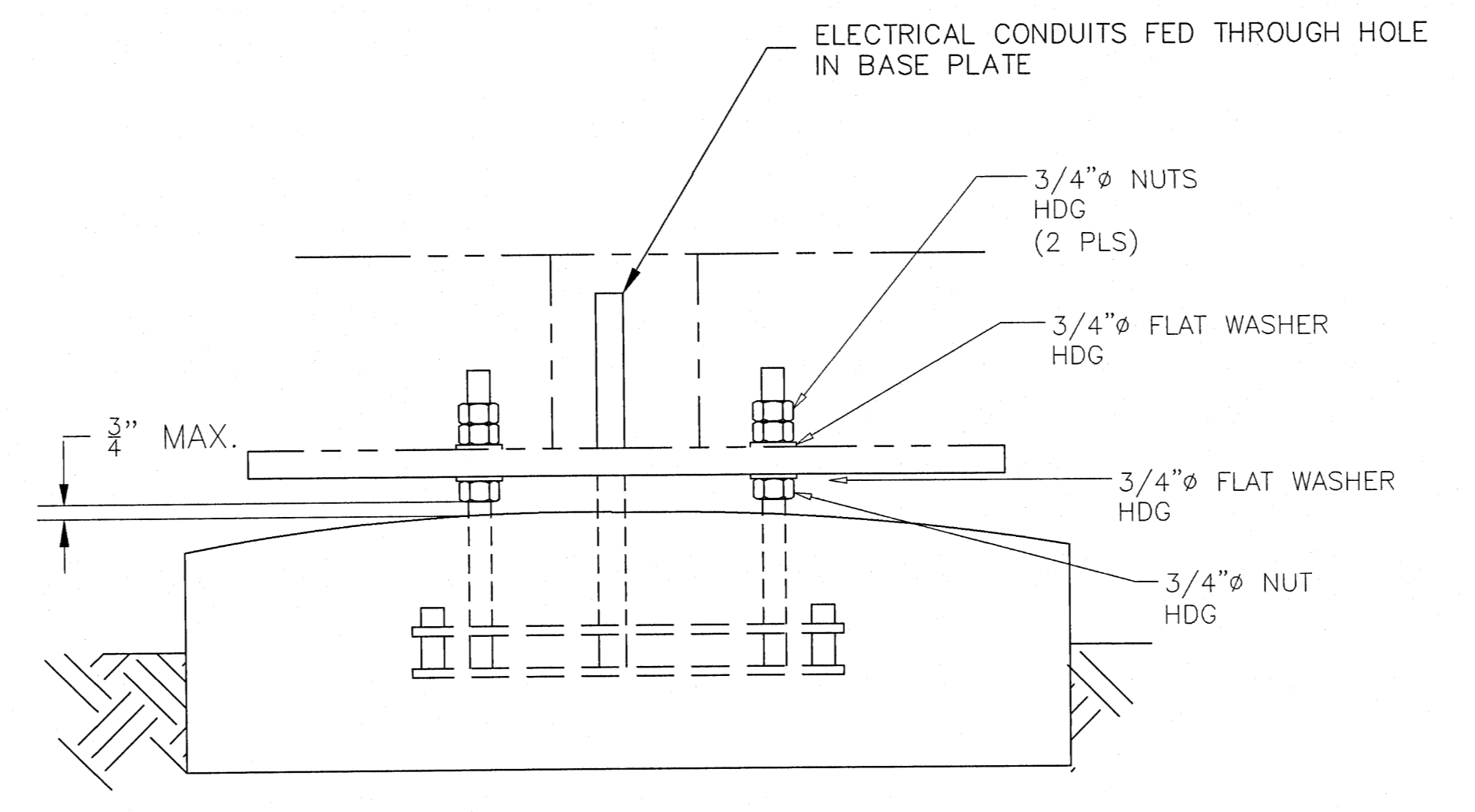
1 PANEL PRE-SELL BOARD  
FOUNDATION

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
  - USE F1554 GRADE 36 BOLTS MINIMUM
  - USE HOT DIPPED GALVANIZED BOLTS
  - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
  - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
  - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

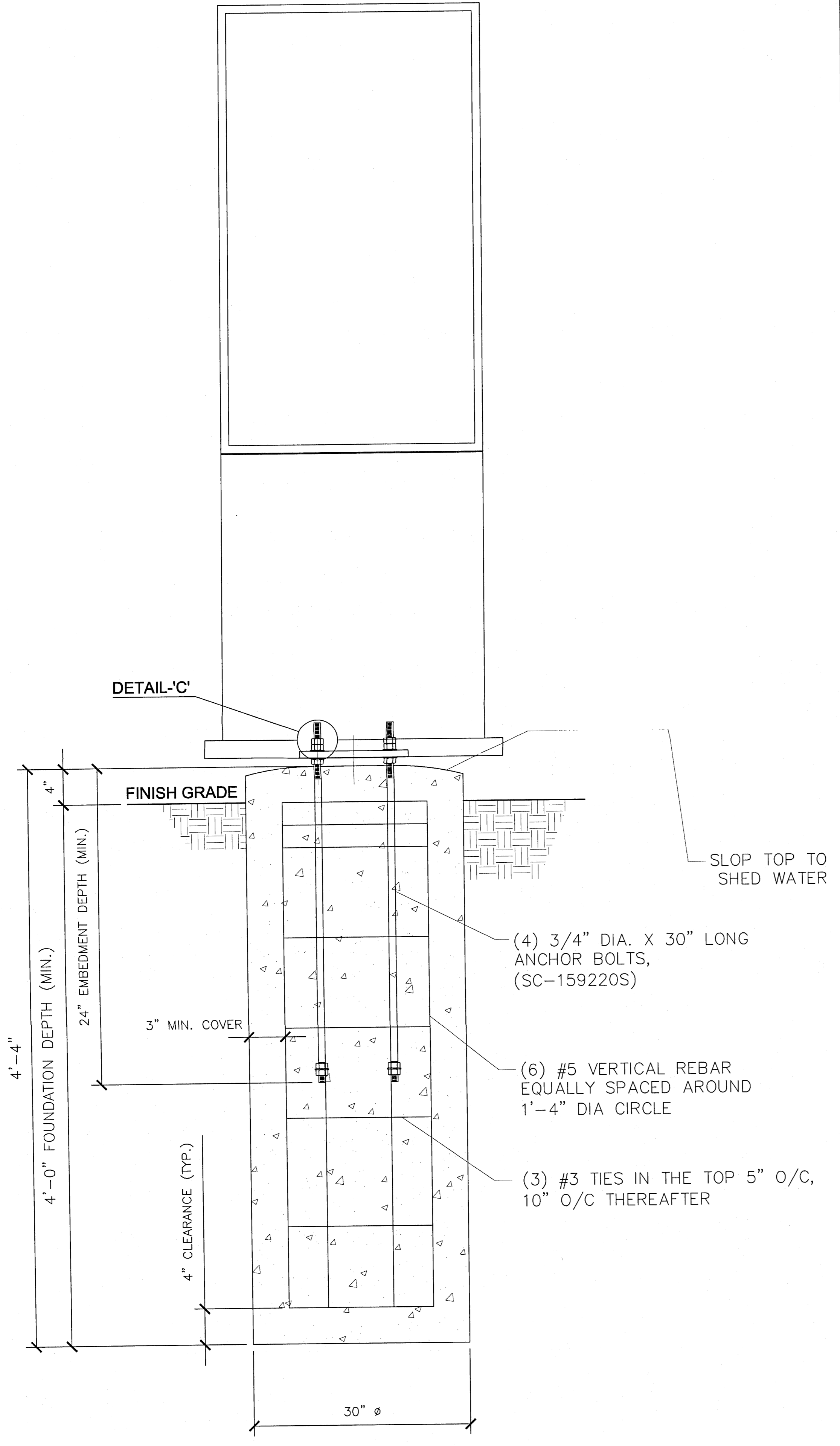


(B) ANCHOR BOLT PATTERN  
NTS

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
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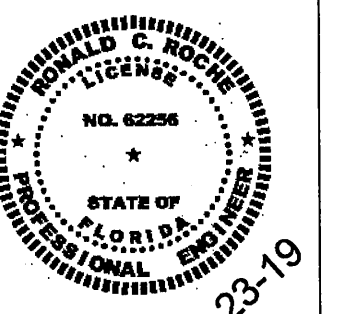


(C) CONNECTION DETAILS  
NTS



(A) FOUNDATION  
NTS

DETAIL-C'



Professional Engineer  
STATE OF FLORIDA  
License No. 62296  
4-23-19

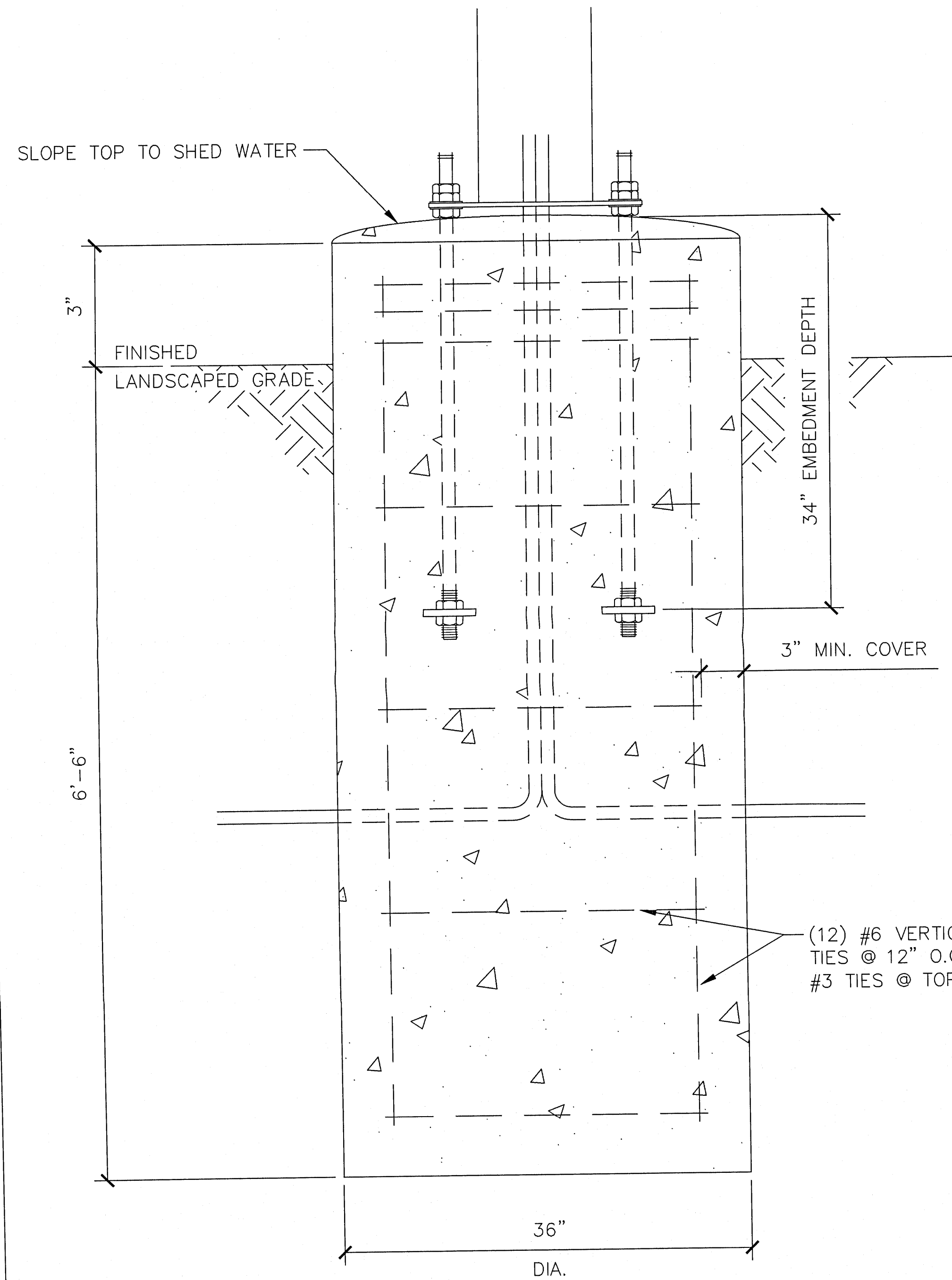
NO	DATE	ISSUES AND REVISIONS
0	4-23-19	ISSUED FOR PERMIT

McDonald's Restaurant - 7941 Pine Forest Road  
Pensacola, Florida

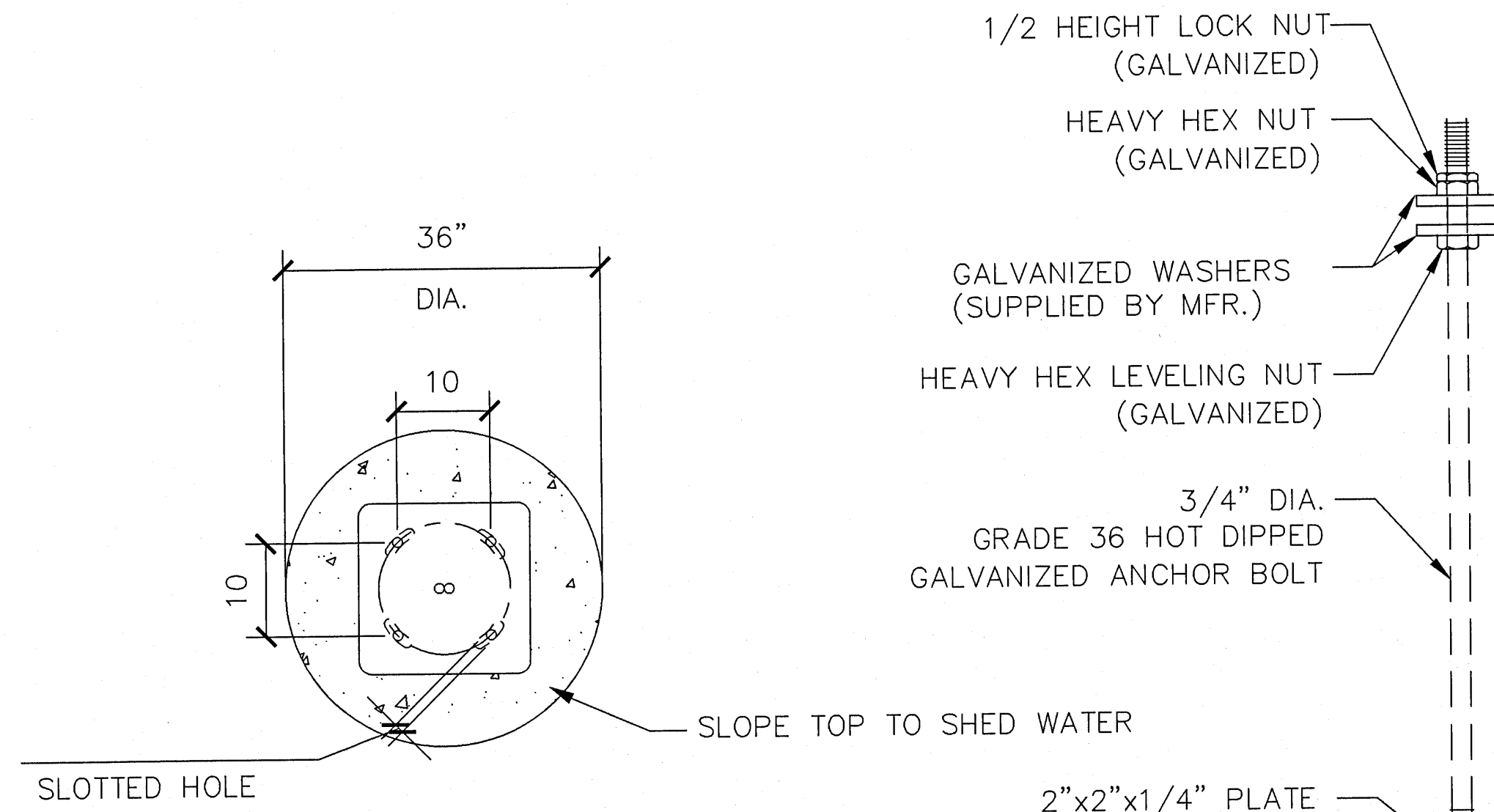
SHEET  
SD-3  
PRQJ. NO. : 19-1055-0005

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- HOT DIPPED GALVANIZED BOLTS
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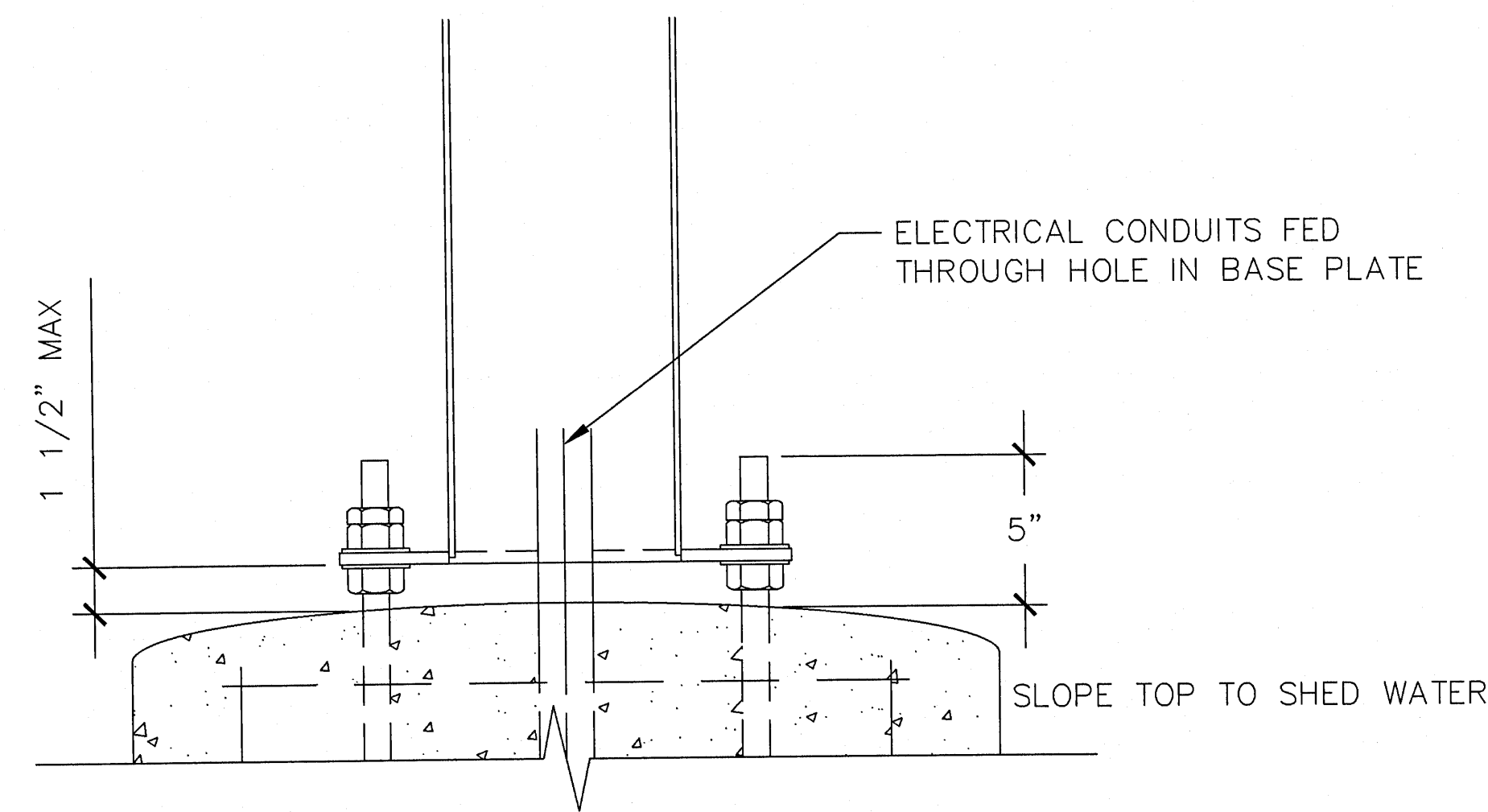
**(A)** FOUNDATION  
NTS



**(B)** ANCHOR BOLT PATTERN  
NTS

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
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**(C)** CONNECTION DETAILS  
NTS

GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:  
-2017 FLORIDA BUILDING CODE, SIXTH EDITION  
-ASCE 7-10  
-ACI 318-08  
-AISC 13th EDITION  
-AWS D1.1  
-ULTIMATE WIND SPEED - VULT = 151 MPH, RISK CATEGORY II  
-EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- CONTRACTOR MAY NEED TO UTILIZE CAISSON OR SLURRY METHOD TO DRILL PIERS FOR SIGN FOUNDATIONS
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

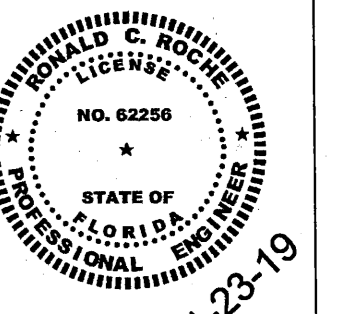
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 46ksi)
- CONNECTION BOLTS A325
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: GRADE 60
- NUTS: A563DH OR A194-2H
- WASHERS: A36
- USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT: 07832709  
BY: PROFESSIONAL SERVICE INDUSTRIES, INC.  
DATED: JANUARY 29, 2019

SINGLE GATEWAY FOUNDATION





William C. Hodges

NO	DATE	ISSUES AND REVISIONS
0	4-23-19	ISSUED FOR PERMIT

McDonald's Restaurant - 7941 Pine Forest Road  
Pensacola, Florida

APPROVED

SHEET

SD-4

PROJ. NO.: 19-1055-0005

## GENERAL NOTES

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  - ACI 318-08
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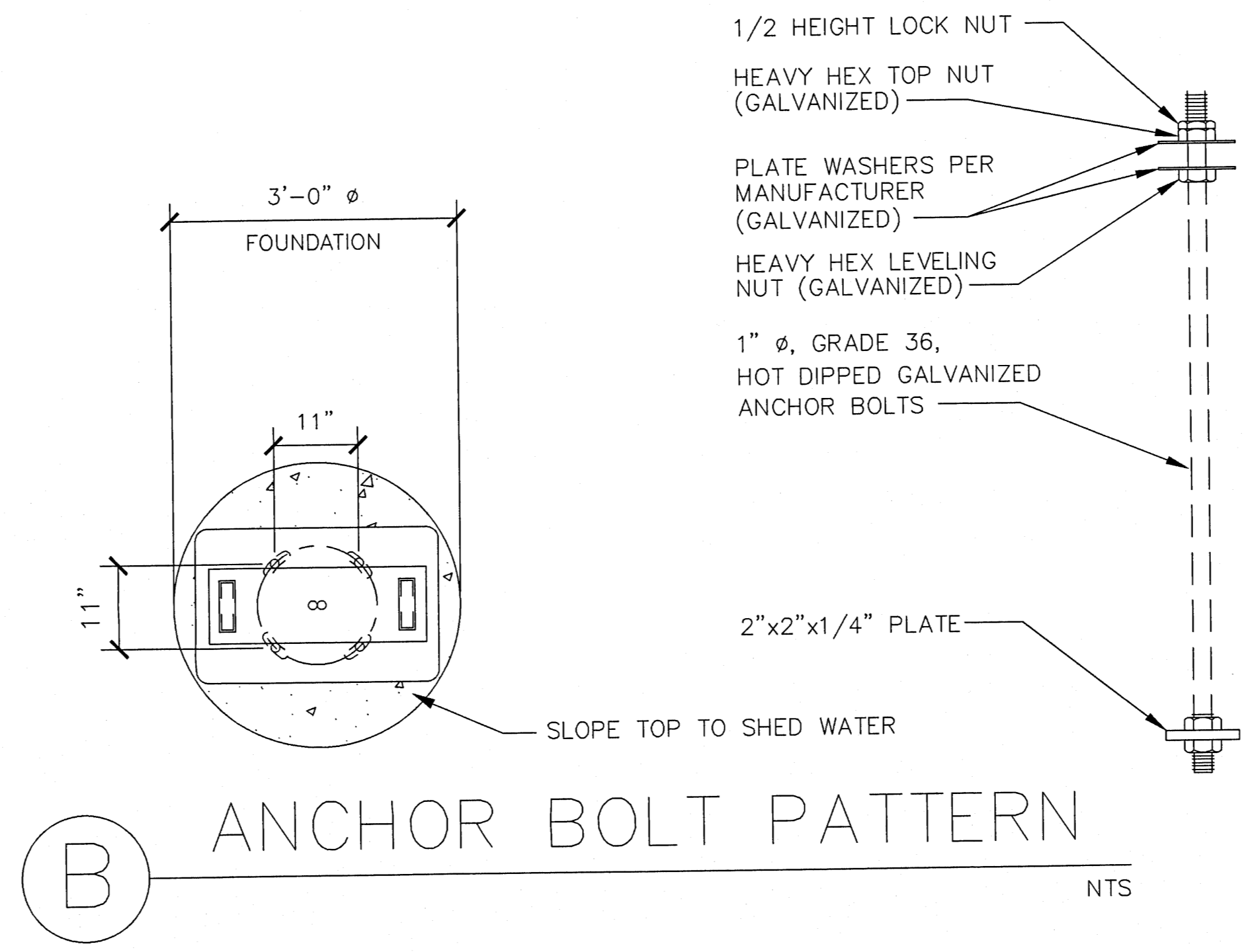
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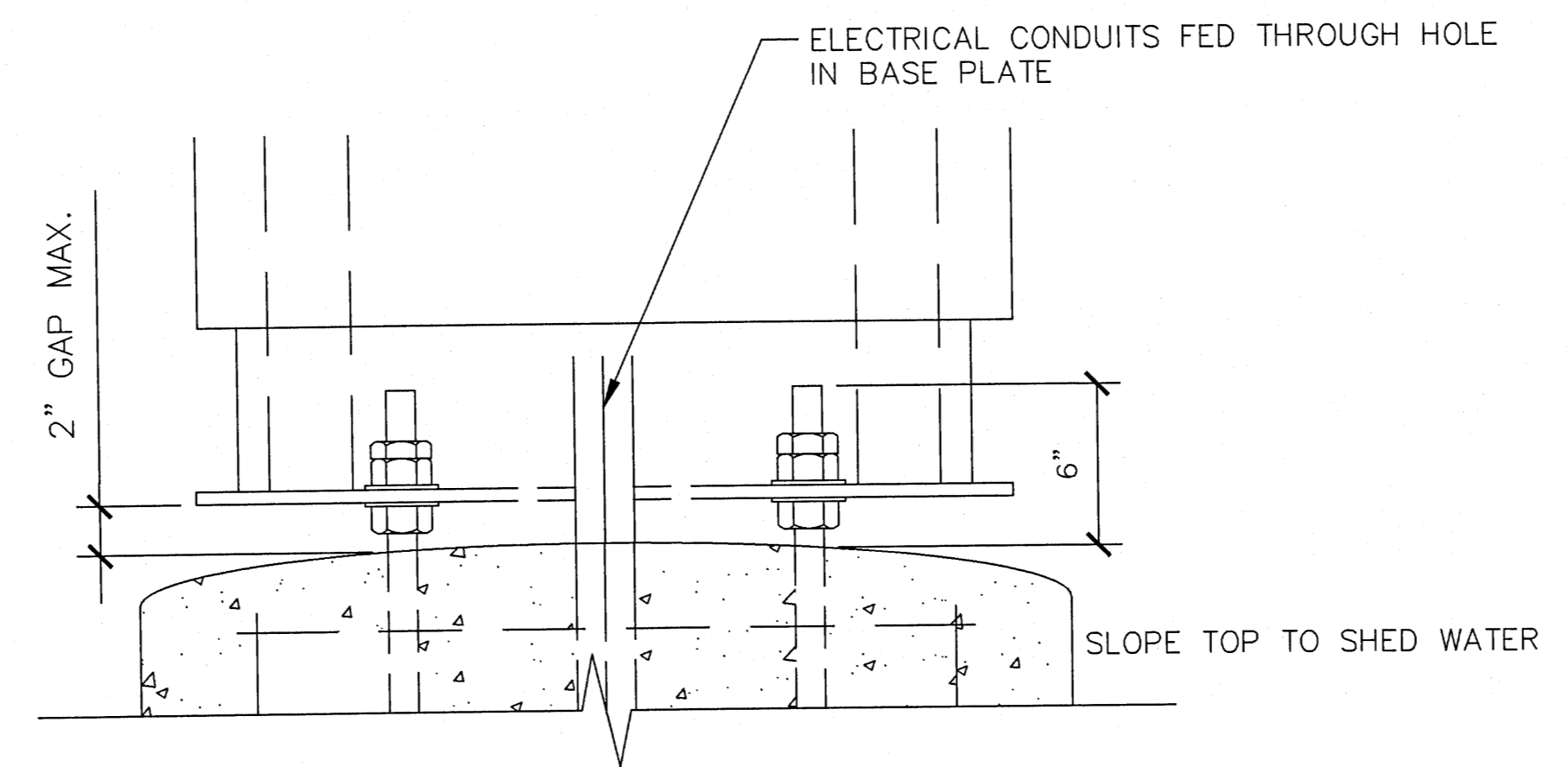
SOIL REPORT: 07832709  
 BY: PROFESSIONAL SERVICE INDUSTRIES, INC.  APPROVED  
 DATED: JANUARY 29, 2019

ORDER HERE CANOPY FOUNDATION

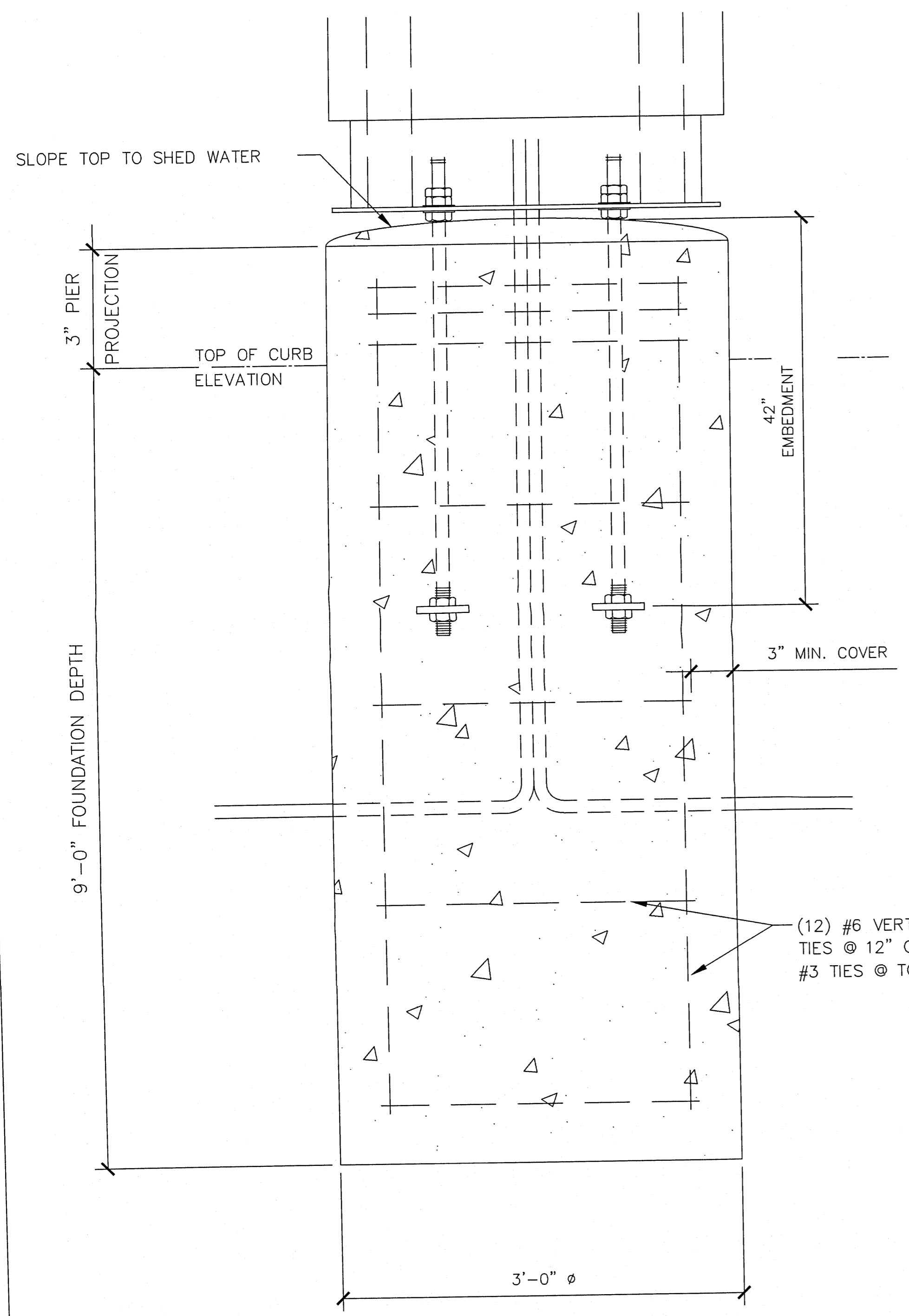
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C CONNECTION DETAILS NTS



A FOUNDATION NTS