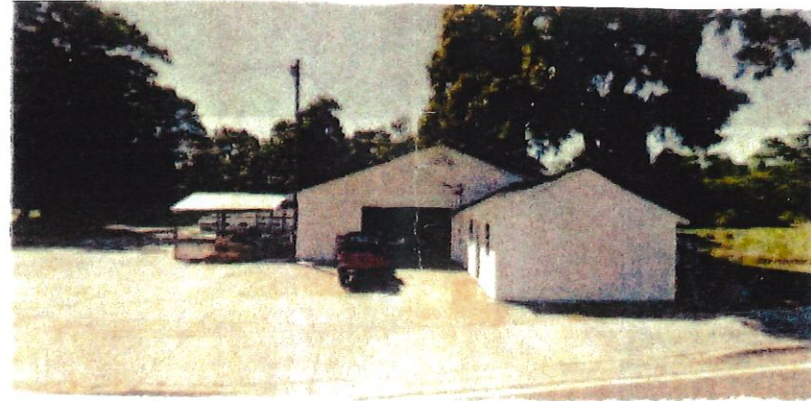




1 Results		
Zoom	Buffer	FLU_LABEL #
Zoom	Buffer	MU-U



No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviation may result in delays obtaining a certificate of occupancy

The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violations.

All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.

Any damage to existing roads during construction will be repaired by the developer prior to final county's acceptance

Approved	
ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature Development Services Director or Designee	<i>J. Hampton</i> 3-13-19 Date
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order must be obtained from the Development Review Committee (DRC) prior to the commencement of construction. This approval by the DRC does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

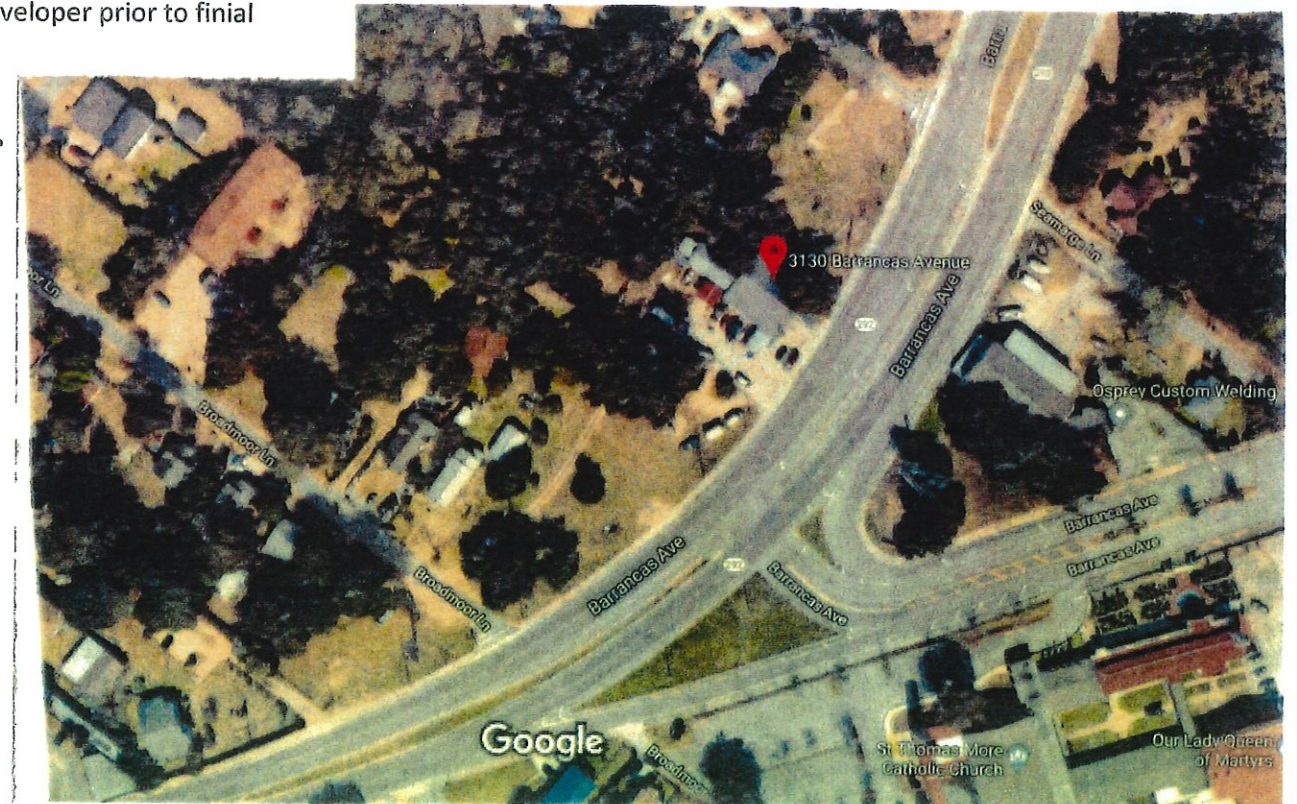


GENERAL NOTES

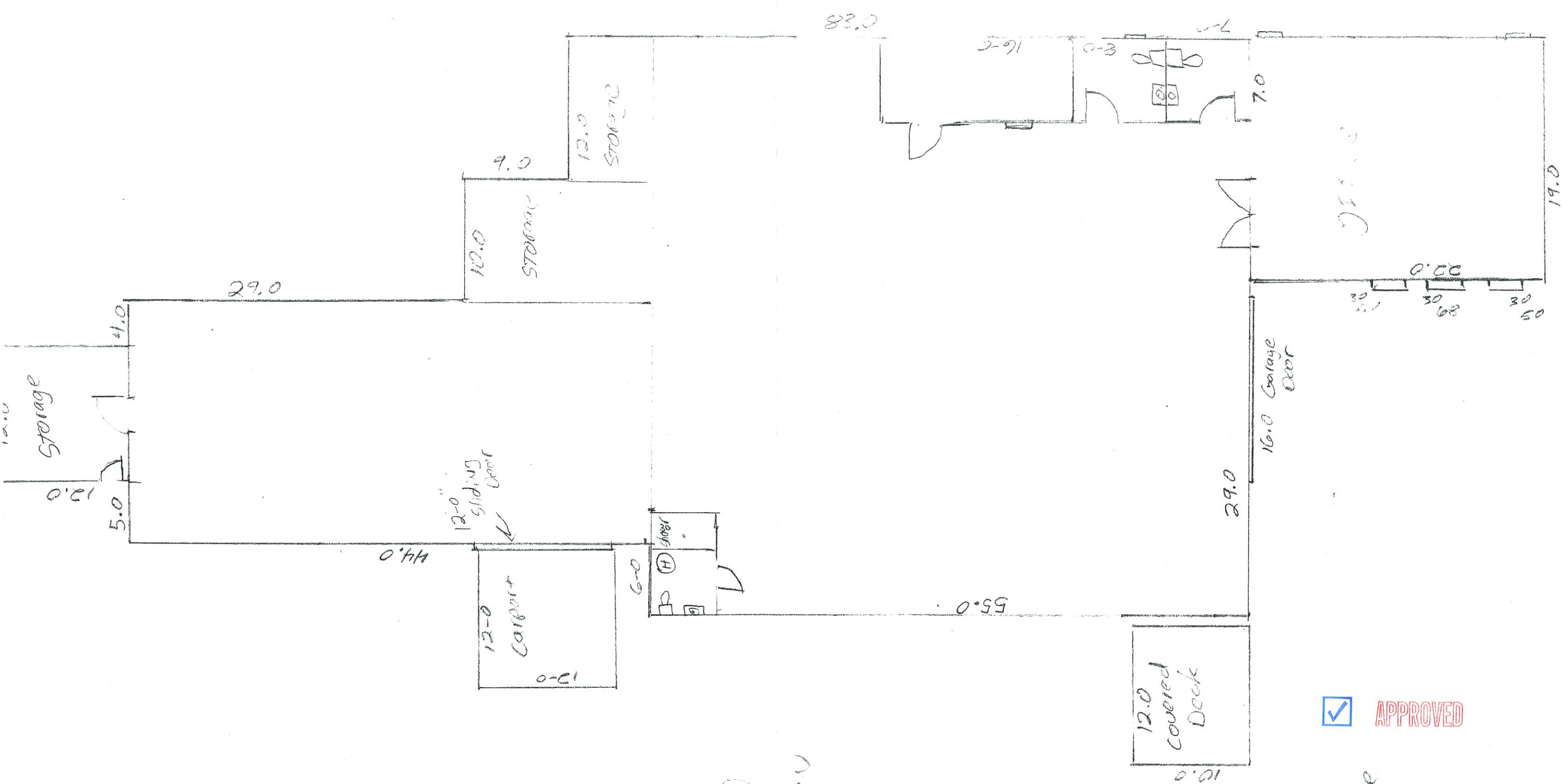
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO PERFORMING ANY WORK. DISCREPANCIES AMONG THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS DO NOT QUALIFY AS GROUNDS FOR COMPENSATION FROM THE OWNER, FRANCHISER OR DESIGN PROFESSIONALS FOR ERRORS IN BUILD OUT OR INSTALLATION.
- DO NOT SCALE THE DRAWINGS
- CONTRACTOR IS TO VISIT SITE PRIOR TO BID SUBMISSION AND COMPARE DRAWINGS AND SPECIFICATIONS TO EXISTING CONDITIONS AND BE KNOWLEDGEABLE OF ALL WORK BEING PERFORMED
- ALL WORK SHALL CONFORM TO THE LATEST ADOPTED ISSUES OF ALL APPLICABLE CODES AND LOCAL REGULATIONS
- ALL NEW WORK SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS
- ALL DIMENSIONS ARE INSIDE ROOM CLEAR DIMENSIONS UNLESS NOTED OTHERWISE
- CONTRACTOR SHALL PROVIDE ALL NEEDED BLOCKING FOR ATTACHMENT OF ALL WALL-HUNG ITEMS.
- ANY ALL SITEWORK AND/OR LANDSCAPE DESIGN IS BIDDER-DESIGNED AND IS NOT THE RESPONSIBILITY OF THE FRANCHISER OR ARCHITECT
- EXTERIOR SIGNAGE SHALL FALL UNDER A SEPARATE SUBMITTAL
- ALL EXISTING BUILDING INFORMATION IS BASED UPON INFORMATION RECEIVED FROM PAPA MURPHY'S INTERNATIONAL, INC. OR STORE OWNER. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THESE EXISTING CONDITIONS.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH DECOR SUPPLIER FOR INFORMATION FOR BIDDING AND INSTALLATION OF ITEMS SUPPLIED IN THE DECOR PACKAGE
- DEMO WORK MAY NOT BE SHOWN IN PLANS. CONTRACTOR SHALL COORDINATE WITH OWNER AND RECONCILE WITH PLANS TO DETERMINE SCOPE OF DEMO WORK

DEMO GENERAL NOTES

- DEMOLITION CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL MATERIALS AND CONSTRUCTION OF ALL FLOOR, WALL, CEILING AND ROOF ASSEMBLIES
- DEMOLITION CONTRACTOR TO SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION
- EXISTING CONSTRUCTION THAT IS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AS REQUIRED DURING DEMOLITION OPERATIONS. ANY DAMAGE CAUSED BY THE DEMOLITION SHALL BE REPAIRED AT THE EXPENSE OF THE DEMOLITION CONTRACTOR
- DEMOLITION CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE CONSTRUCTION FIRE ASSEMBLY RATING FOR ALL EXISTING RATED WALL ASSEMBLIES, ROOF ASSEMBLIES AND/OR SHAFTS
- EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM DURING SELECTIVE DEMOLITION
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. PROMPTLY DISPOSE OF ALL DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. LEGALLY TRANSPORT AND DISPOSE OF ALL DEMOLISHED MATERIALS.
- PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED DURING SELECTIVE DEMOLITION AND CONSTRUCTION PROCESS TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE, EQUIPMENT, EXTERIOR OR INTERIOR AREAS
- ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION
- ALL EXISTING CABINETS, COUNTERTOPS, SHELVES, ETC. IN AREAS OF DEMOLITION SHALL BE REMOVED, INCLUDING THAT NOT SPECIFICALLY SHOWN ON DRAWINGS
- CUT AND PATCH FLOOR AS REQUIRED FOR ALL NEW PLUMBING. CAP ABANDONED MECHANICAL BELOW PATCH OF FLOOR SLAB
- VERIFY ALL MODIFICATIONS OF PLUMBING WITH PLUMBING DRAWINGS
- THOROUGHLY CLEAN BUILDING UPON COMPLETION OF SELECTIVE DEMOLITION.
- TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED IN THESE PLANS. REVIEW ALL SHEETS IN THE CONSTRUCTION DOCUMENTS AND COORDINATE WITH OWNER TO DETERMINE TOTAL SCOPE OF DEMOLITION.



The subject property shown hereon is located in flood zone X (minimal risk outside the 1-% and 2-% annual-chance flood plain. No BFEs are based flood depths are shown with these zones), as determined from the federal emergency management agency flood insurance rate map of Escambia County, Florida, community, firm map panel 12033C0369G, map revision dated 09/29/2006.



EXISTING
Floor Plan

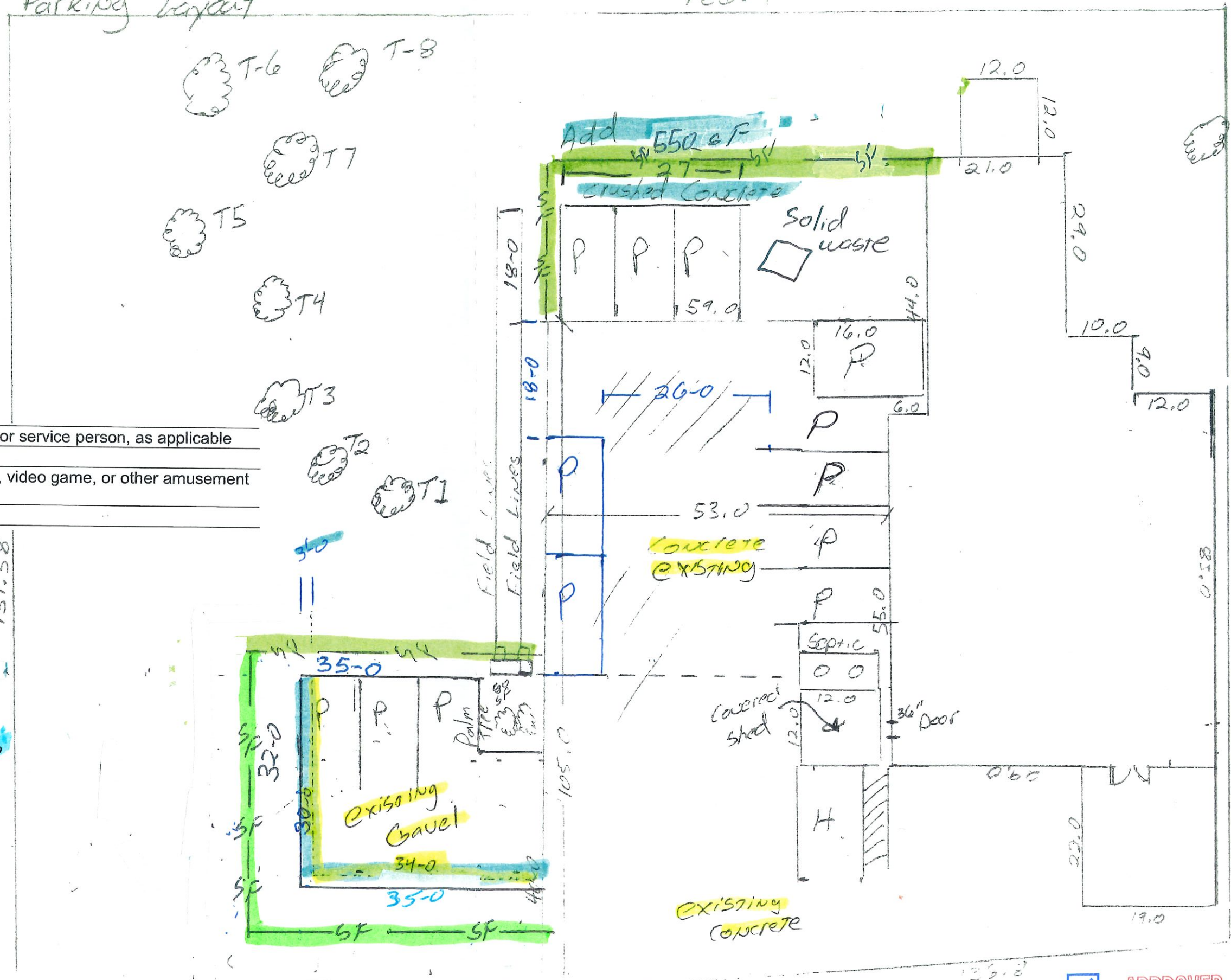
APPROVED

1/4 scale

Parking layout

1:16 Scale 186.9

- T1 - 48" dia
 - T2 - 55" dia
 - T3 - 83" dia
 - T4 - 41" dia
 - T5 - 25" dia
 - T6 - 39" dia
 - T7 - 52" dia
 - T8 - 64" dia
 - T9 - 48" dia
- Various species OF Oaks

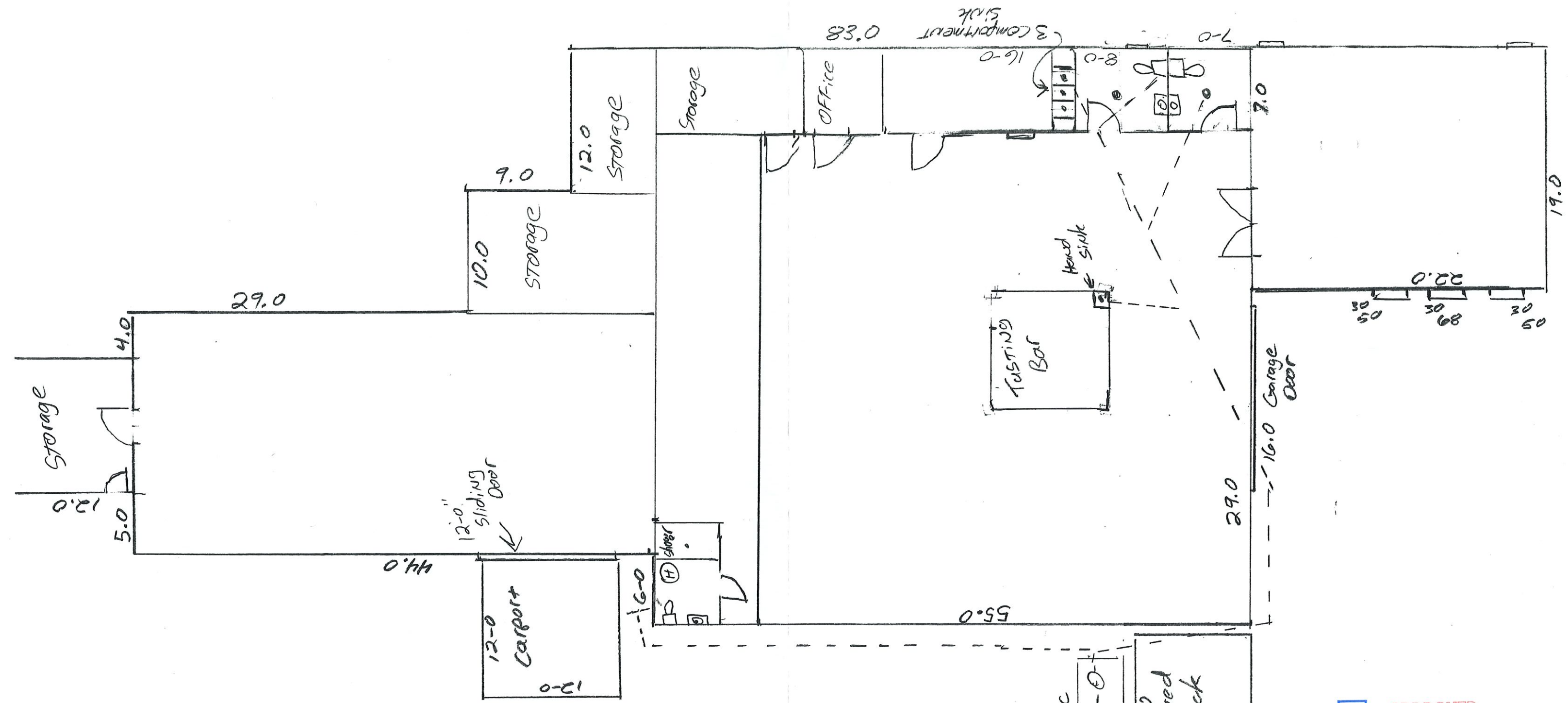


Public utility structure	1 per employee or service person, as applicable
Recreation and entertainment	
Arcade amusement center	1 per game table, video game, or other amusement device
Bar or nightclub	1 per 2 seats

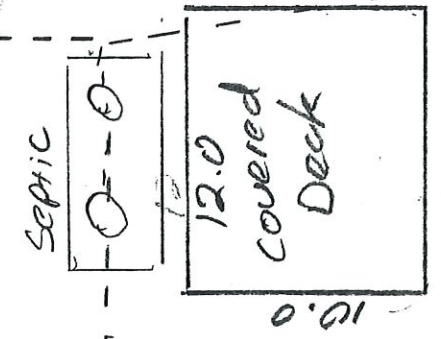
No Trees to be Removed with this project

Silt Fence
1590 SF Total Semi-Impermeable area

APPROVED



EXISTING
Floor Plan



APPROVED

1/8 Scale