

MASTERPLAN FOR JENNINGS PLACE

A 237 LOT PUBLIC RESIDENTIAL SUBDIVISION DEVELOPMENT SECTION 34,
TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA
FRANK REEDER ROAD

AUGUST 2018

ESCAMBIA COUNTY DEVELOPMENT ORDER
(PSD151200051) ISSUED 11/15/2017

ECUA SYSTEM EXTENSION PERMIT
(No. 2016-012) ISSUED 10/23/2017

NWFWMD INDIVIDUAL ENVIRONMENTAL
RESOURCE PERMIT
(No. IND-033-17873-1)
ISSUED 5/30/2017

INDEX OF DRAWINGS:

- C1-COVER
- C2-DIMENSION & STAKING
MASTER PLAN
- C3-LOT GRADING & DRAINAGE
MASTER PLAN
- C4-UTILITY MASTER PLAN
- C5-OVERALL BOUNDARY

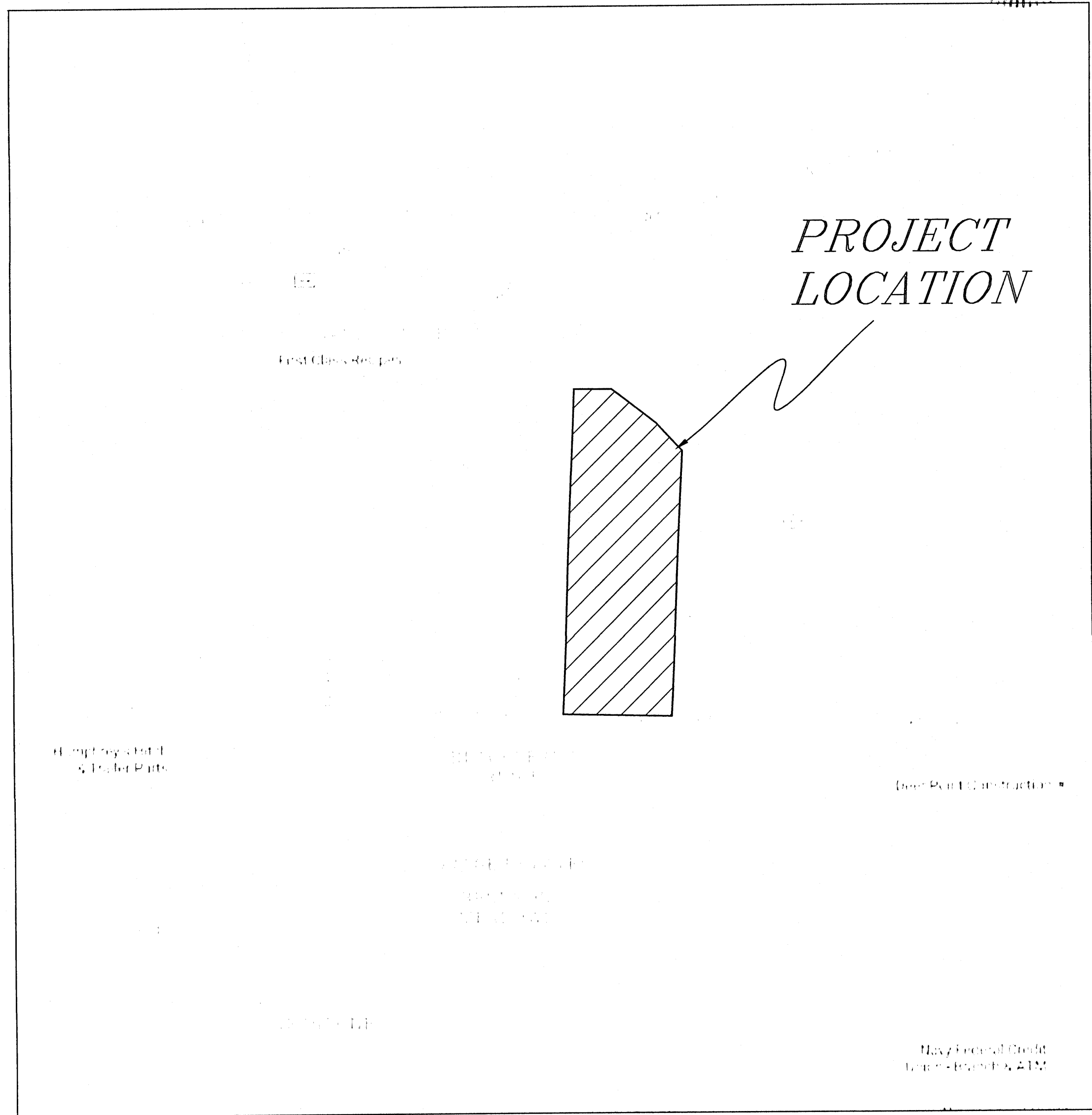
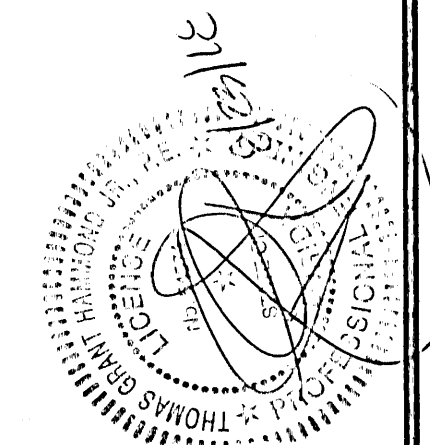
OWNER:
FORESTAR REAL ESTATE GROUP, INC.
FRANK COVELLI
3330 CUMBERLAND BLVD. SUITE 275
ATLANTA, GA 30339
770-272-7760

DEVELOPER:
D.R. HORTON, INC.
D. JOEL COLEMAN
25366 PROFIT DRIVE
DAPHNE, AL 36526
251-316-5424

SURVEYOR:
E. WAYNE PARKER
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HIGHWAY
PENSACOLA, FL 32503
(850) 478-4923

PREPARED BY:
HAMMOND ENGINEERING, INC.
3802 NORTH "S" STREET
PENSACOLA, FL 32505
P: (850) 434-2603
F: (850) 434-4650

Approved	
ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature <i>[Signature]</i>	Date <i>8-27-18</i>
Development Services Director or Designee	
<small>This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order must be obtained from the Development review Committee (DRC) prior to the commencement of construction. This approval by the DRC does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.</small>	



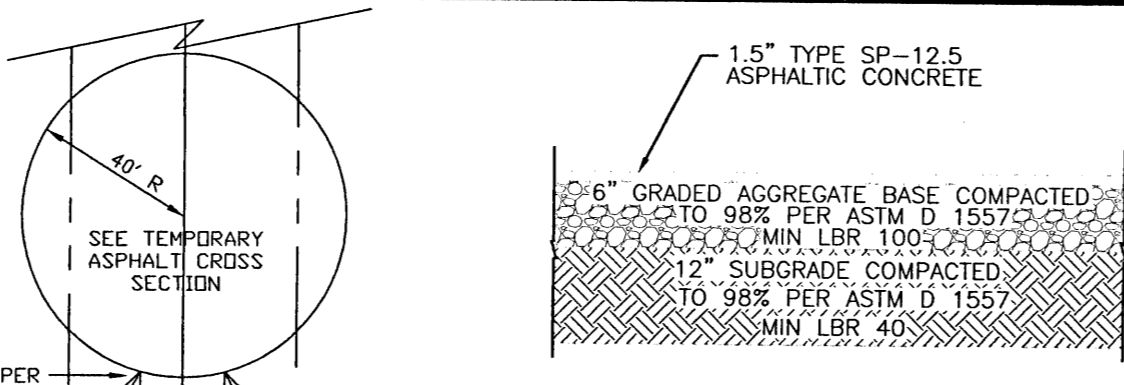
HORIZONTAL SCALE

11"=17' SCALE 1" = 200'
22"=34" SCALE 1" = 100'

DEVELOPMENT DATA:

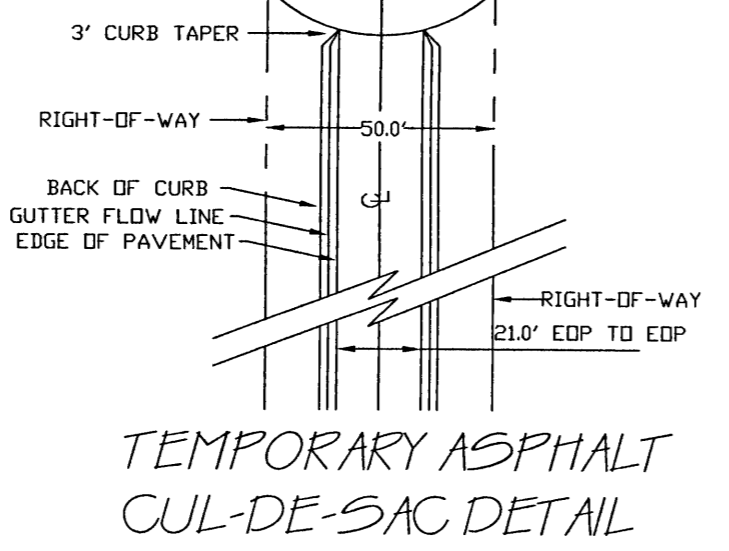
PARCEL ID: 34-1N-31-2401-000-000
ZONING: LDR
FLU: MU-S
FRONT SETBACK: 25 FEET
REAR SETBACK: 25 FEET
SIDE SETBACK: FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE FRONT BUILDING LINE, WHICHEVER IS GREATER BUT NOT REQUIRED TO EXCEED 15 FEET.
TOTAL BOUNDARY AREA = 11.91 ACRES
WETLAND INFORMATION: TOTAL UPLANDS = 77.52 ACRES
TOTAL CORPS/DEP ESCAMBIA COUNTY JURISDICTIONAL WETLANDS = 34.39 ACRES
TOTAL WETLAND BUFFER = 85,403 SQ. FT. (1.96 ACRES)
LEGAL DESCRIPTION: (AS FURNISHED)

THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, THE NORTHEAST QUARTER OF SOUTHWEST QUARTER, AND THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, LESS ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING NORTH OF INTERSTATE NO. 10 AND LESS AND EXCEPT THAT PORTION DEEDED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN OFFICIAL RECORDS BOOK 4519, PAGE 395, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.



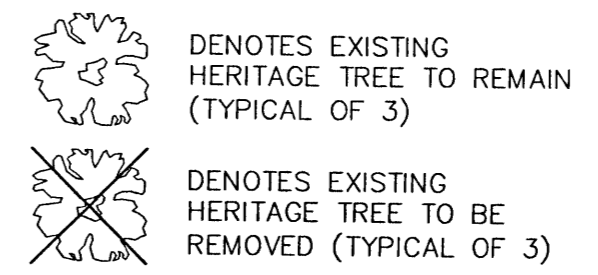
TEMPORARY ASPHALT CUL-DE-SAC SECTION

6" GRADED AGGREGATE BASE COMPACTED TO A MINIMUM LBR 100 WITH A MINIMUM SOIL DENSITY OF 98% MODIFIED PROCTOR TEST.



TEMPORARY ASPHALT CUL-DE-SAC DETAIL

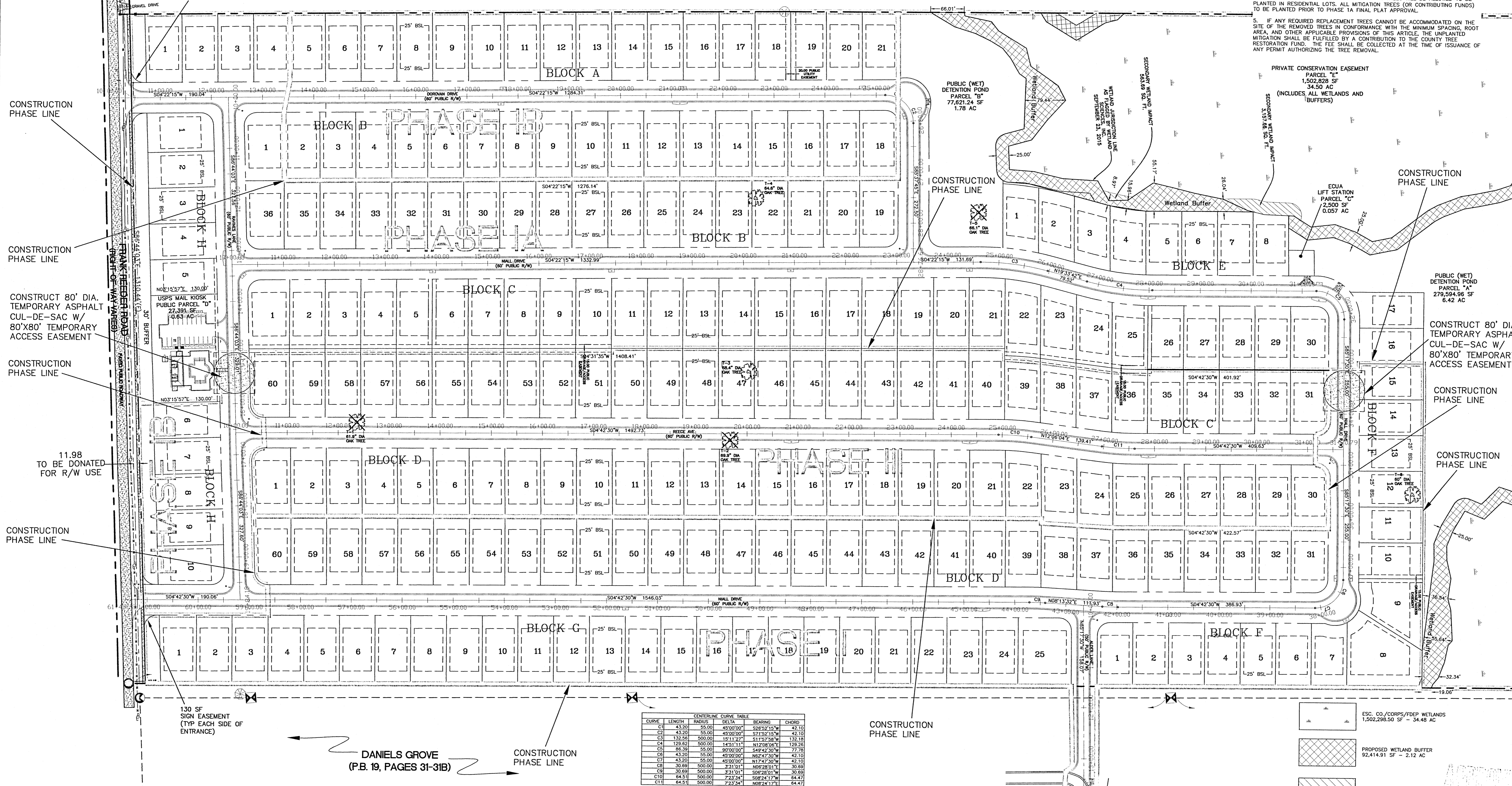
CONSTRUCTION PHASES			
PHASE #	TOTAL LOTS	PHASE AREA	CONSTRUCTION & PLATING PRELIMINARY SCHEDULE
PHASE IA	68 LOTS	65.09 AC	SPRING 2019
PHASE IB	39 LOTS	11.32 AC	SUMMER 2019
PHASE II	70 LOTS	18.94 AC	FALL 2020
PHASE III	60 LOTS	15.64 AC	WINTER 2021



- NOTES:**
- PHASE IA CONSTRUCTION TO INCLUDE CLEARING AND GRUBBING AS WELL AS ALL GRADING ACTIVITY FOR ENTIRE SUBDIVISION PHASES.
 - PHASE IA CONSTRUCTION TO INCLUDE ALL WORK IN THE FRANK REEDER ROAD R/W.

HERITAGE TREE ID/MITIGATION TABLE				
TREE #	TYPE	SIZE	REASON FOR REMOVAL	CALIPER INCHES MITIGATION REQUIRED
T-1	OAK	61.9"	ROADWAY	31"
T-2	OAK	69.9"	ROADWAY	35"
T-3	OAK	68.4"	TO REMAIN	N/A
T-4	OAK	64.6"	TO REMAIN	N/A
T-5	OAK	66.1"	STORMWATER POND	33"
T-6	OAK	60"	TO REMAIN	N/A
TOTAL PROTECTED CALIPER INCHES REMOVED = 198"				
TOTAL MITIGATION REQUIRED = 99"				

- REQUIRED MITIGATION:**
- TOTAL PROTECTED CALIPER INCHES REMOVED = 198"
 - 50 PERCENT OF THE TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) INCHES REMOVED SHALL BE REPLACED IN TOTAL CALIPER INCHES OF NEW CANOPY TREES PLANTED:
TOTAL REQUIRED REPLACEMENT CALIPER INCHES
198" x 0.50 = 99" OF NEW CANOPY TREES
 - MITIGATION TREES TO HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED 4 INCHES ABOVE ROOT BALL AT TIME OF PLANTING.
99" / 2.5" = 40 CANOPY TREES TO BE PLANTED
 - MITIGATION TREES TO BE PLANTED WITHIN BUFFER ALONG FRANK REEDER R/W AND WITHIN MAIL KIOSK PARCEL. NO MITIGATION TREES WILL BE ALLOWED TO BE PLANTED IN RESIDENTIAL LOTS. ALL MITIGATION TREES (OR CONTRIBUTING FUNDS) TO BE PLANTED PRIOR TO PHASE IA FINAL PLAT APPROVAL.
 - IF ANY REQUIRED REPLACEMENT TREES CANNOT BE ACCOMMODATED ON THE SITE OF THE REMOVED TREES IN CONFORMANCE WITH THE MINIMUM SPACING, ROOT AREA, AND OTHER APPLICABLE PROVISIONS OF THIS ARTICLE, THE UNPLANTED MITIGATION SHALL BE FULFILLED BY A CONTRIBUTION TO THE COUNTY TREE RESTORATION FUND. THE FEE SHALL BE COLLECTED AT THE TIME OF ISSUANCE OF ANY PERMIT AUTHORIZING THE TREE REMOVAL.



CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	43.20	55.00	45.0000°	S28°52'15"W	42.10
C2	43.20	55.00	45.0000°	S11°27'15"W	42.10
C3	132.56	500.00	15°11'27"	S11°27'58"W	132.18
C4	129.62	500.00	14°51'11"	N12°08'06"E	129.24
C5	66.30	55.00	90.0000°	S04°42'30"W	77.78
C6	43.20	55.00	45.0000°	N62°47'30"W	42.10
C7	43.20	55.00	45.0000°	N17°47'30"W	42.10
C8	30.69	500.00	3°31'01"	N06°28'01"E	30.69
C9	30.69	500.00	3°31'01"	S08°28'01"W	30.69
C10	64.51	500.00	7°23'34"	S08°24'17"W	64.47
C11	64.51	500.00	7°23'34"	N08°24'17"E	64.47

REVISIONS

NO.	DATE	DESCRIPTION
1.	8/22/18	AS PER ESCAMBIA COUNTY DRC COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDESIGN.COM

MASTERPLAN FOR JENNINGS PLACE DIMENSION & STAKING PLAN

ESC. CO./CORPS/DEP WETLANDS
1,502,298.50 SF - 34.48 AC

PROPOSED WETLAND BUFFER
92,414.91 SF - 2.12 AC

PROPOSED SECONDARY WETLAND IMPACT
1,681.81 SF - 0.085 AC

DRAWN BY: TGHARS
DESIGNED BY: TGH
CHECKED BY: TGH
DATE: 7/17/18
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 15-056
SHEET: 02

HORIZONTAL SCALE

11"x17" SCALE 1" = 200'
22"x34" SCALE 1" = 100'



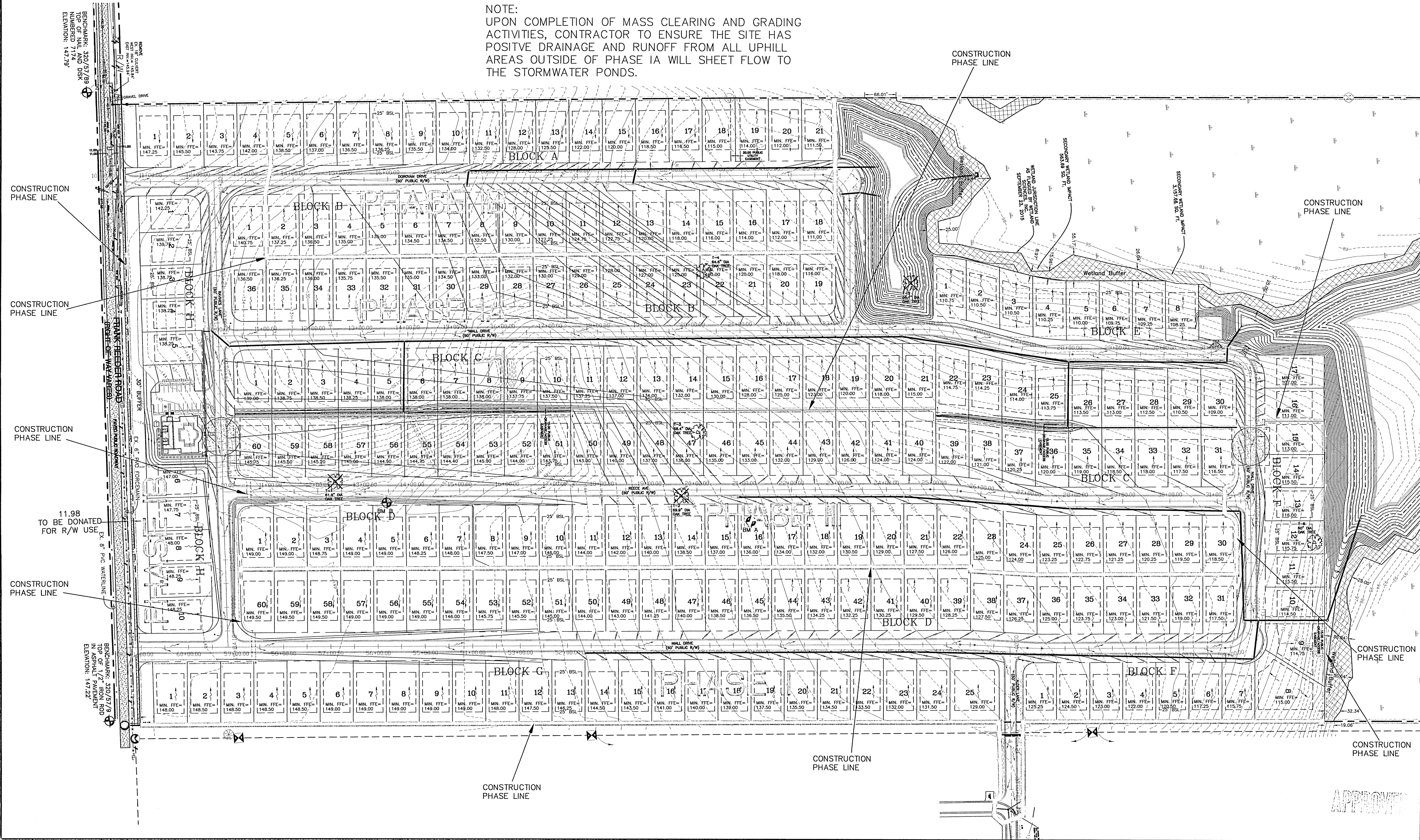
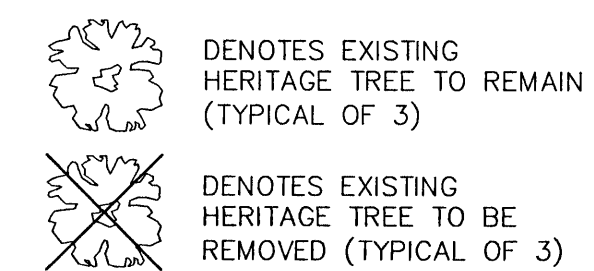
NOTES:

- PHASE IA CONSTRUCTION TO INCLUDE CLEARING AND GRUBBING AS WELL AS ALL GRADING ACTIVITY FOR ENTIRE SUBDIVISION.
- PHASE IA CONSTRUCTION TO INCLUDE ALL WORK IN THE FRANK REEDER R/W.

BENCHMARK A: 311/37/B
COTTON GIN SPIKE IN EAST
FACE OF 36" OAK TREE
ELEVATION: 138.19'

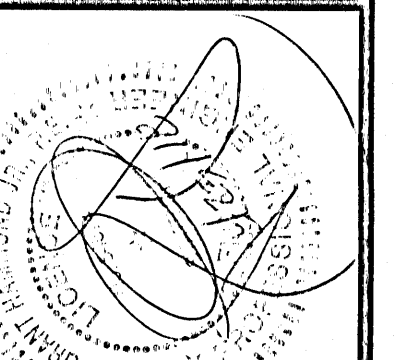
BENCHMARK B: 311/37/A
COTTON GIN SPIKE IN SOUTH
FACE OF 18" PINE TREE
ELEVATION: 151.21'

NOTE:
UPON COMPLETION OF MASS CLEARING AND GRADING ACTIVITIES, CONTRACTOR TO ENSURE THE SITE HAS POSITIVE DRAINAGE AND RUNOFF FROM ALL UPHILL AREAS OUTSIDE OF PHASE IA WILL SHEET FLOW TO THE STORMWATER PONDS.



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3802 NORTH 19TH STREET
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FAX 850-434-2650
TOM@SELANDESIGN.COM



MASTERPLAN FOR
JENNINGS PLACE
LOT GRADING &
DRAINAGE PLAN
FLORIDA
ESCAMBIA

DRAWN BY: TGH/ARS
DESIGNED BY: TGH
CHECKED BY: TGH
DATE: 7/17/18
SCALE: AS SHOWN
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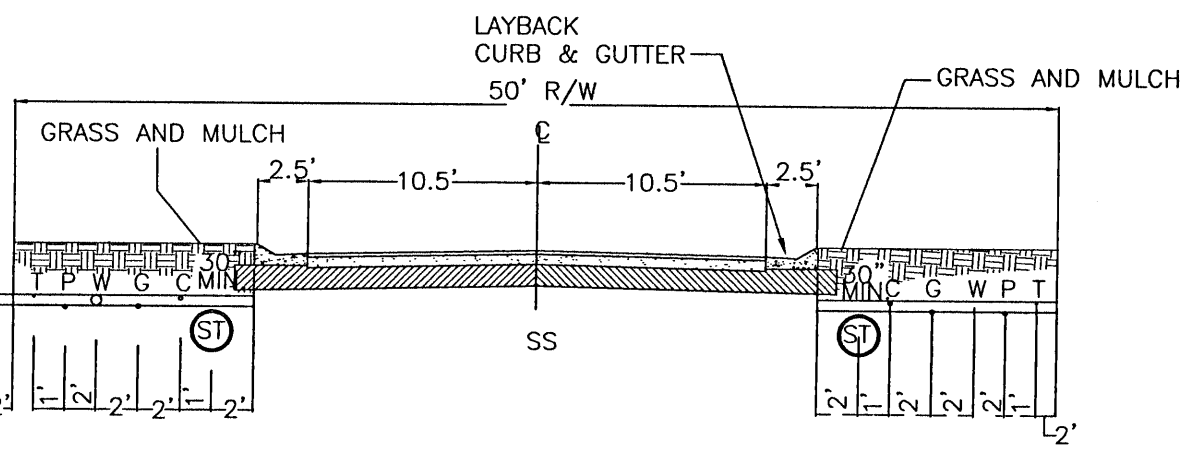
PROJECT NO: 15-056
SHEET: C3

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APPROVED

HORIZONTAL SCALE

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COMMON TRENCH
(50' R/W-21.0' ASPH.)

UTILITIES NARRATIVE:

POTABLE WATER:
AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS, VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL THEN BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE.

SANITARY SEWER:
AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO THE EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND SANITARY MANHOLES AND PIPES TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL BE TURNED OVER TO THE COUNTY FOR OWNERSHIP AND MAINTENANCE.

STORM SEWER:
AFTER RECEIVING ERP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONSTRUCT ALL NECESSARY STORMWATER MANHOLES, PIPES AND STORMWATER PONDS TO SERVE THIS DEVELOPMENT. THE ENGINEER WILL DESIGN THE STORM DRAINAGE SYSTEM TO COMPLY WITH ESCAMBIA COUNTY SUBDIVISION AND STORMWATER ORDINANCES. UPON COMPLETION, THE ENTIRE SYSTEM WILL BE TURNED OVER TO THE COUNTY FOR OWNERSHIP AND MAINTENANCE.

ELECTRIC, GAS, TELEPHONE & TV CABLE:
THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.

NOTES:

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED AND TESTED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY SHALL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, UNLESS SPECIFICALLY APPROVED BY THE COUNTY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY TO ENSURE UTILITIES.

ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.

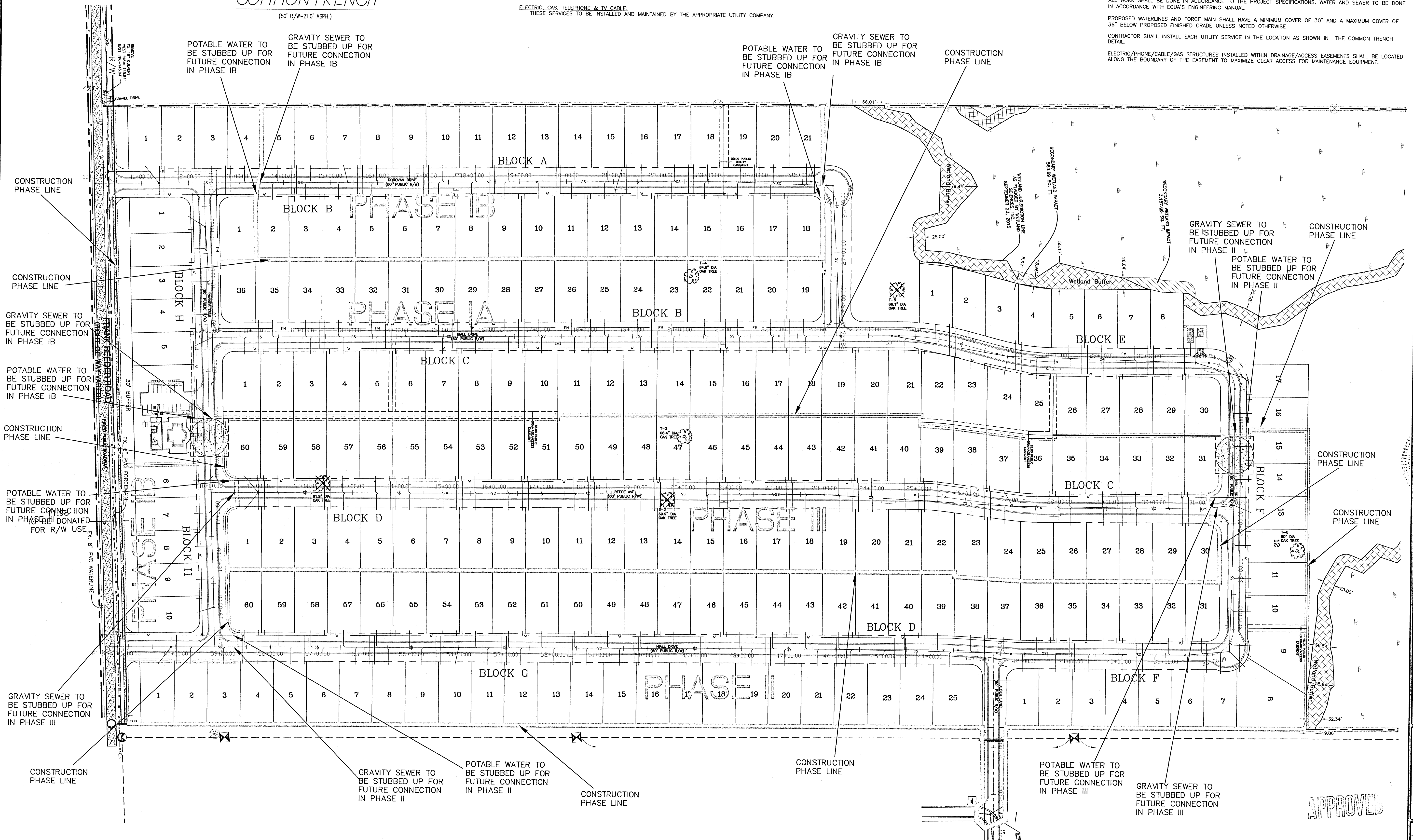
CONTRACTOR TO INSTALL WATER SERVICES FOR EACH LOT, OPPOSITE THE PROPERTY CORNER THAT GULF POWER HAS PROPOSED POWER TRANSFORMERS.

ALL WORK SHALL BE DONE IN ACCORDANCE TO THE PROJECT SPECIFICATIONS. WATER AND SEWER TO BE DONE IN ACCORDANCE WITH ECUA'S ENGINEERING MANUAL.

PROPOSED WATERLINES AND FORCE MAIN SHALL HAVE A MINIMUM COVER OF 30" AND A MAXIMUM COVER OF 36" BELOW PROPOSED FINISHED GRADE UNLESS NOTED OTHERWISE.

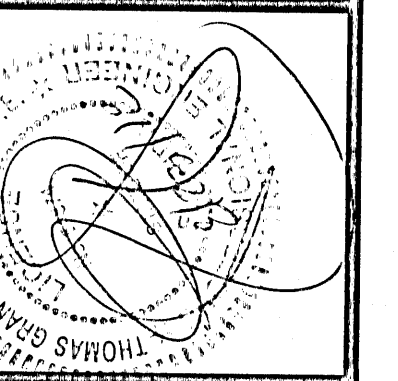
CONTRACTOR SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.

ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE/ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.



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FAX 850-434-2650
TOM@BELANDESIGN.COM



MASTERPLAN FOR
JENNINGS PLACE
UTILITY PLAN
FLORIDA
ESCAMBIA

DRAWN BY: TGHARS	DATE:
DESIGNED BY: TGH	
CHECKED BY: TGH	
DATE: 7/17/18	
SCALE: AS SHOWN	
NOT RELEASED FOR CONSTRUCTION	
BY:	
PROJECT NO: 15-056	
SHEET: C4	

APPROVED

HORIZONTAL SCALE

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22"x34" SCALE 1" = 150'

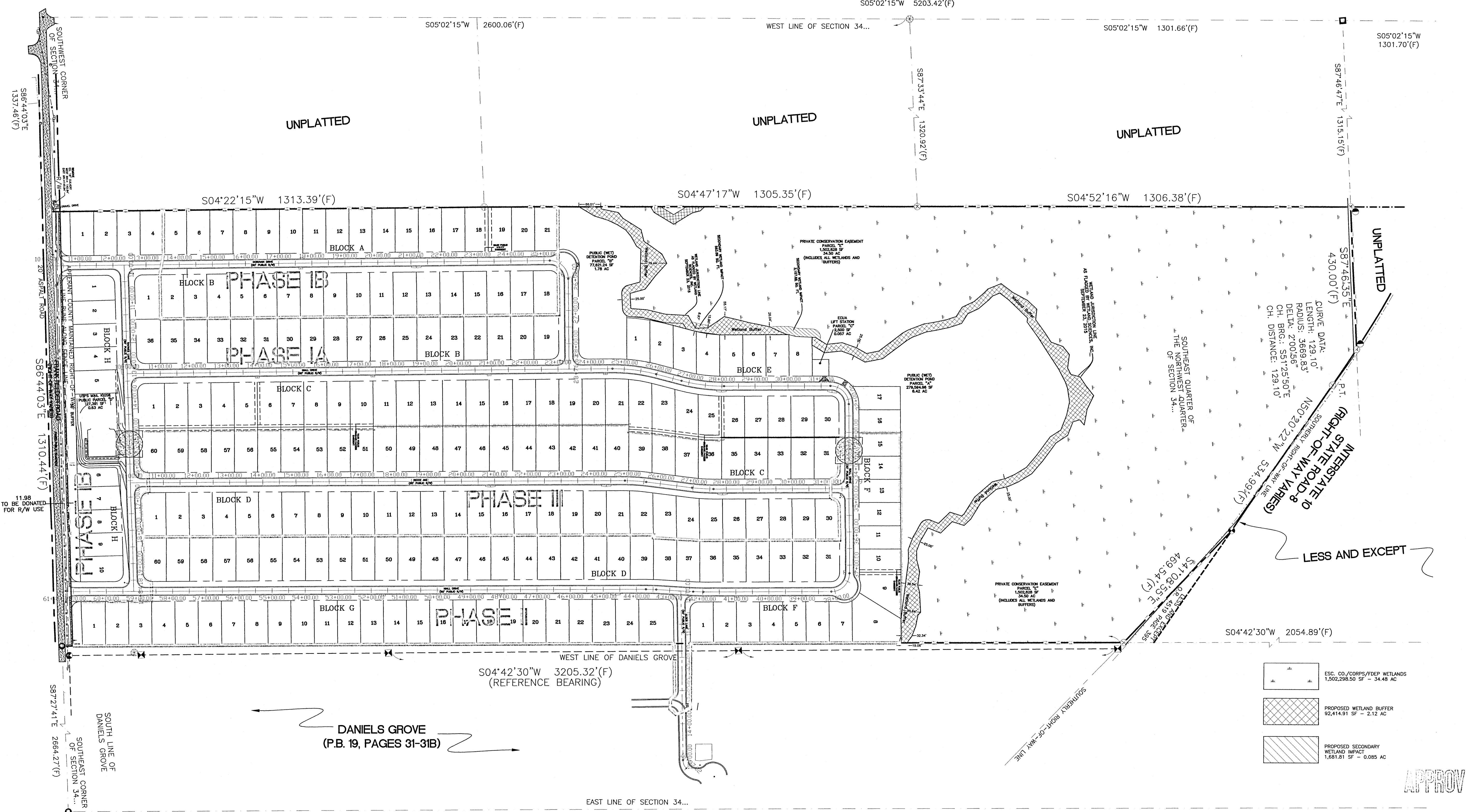
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PARCEL ID: 34-1N-31-2401-000-000
ZONING: LDR
FLU: MU-S
FRONT SETBACK: 25 FEET
REAR SETBACK: 25 FEET
SIDE SETBACK: FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE FRONT BUILDING LINE, WHICHEVER IS GREATER BUT NOT REQUIRED TO EXCEED 15 FEET.
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TOTAL CORPS/DEP ESCAMBIA COUNTY JURISDICTIONAL WETLANDS = 34.39 ACRES
TOTAL WETLAND BUFFER = 85,403 SQ. FT. (1.96 ACRES)
LEGAL DESCRIPTION: (AS FURNISHED)

THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THE NORTHEAST QUARTER OF SOUTHWEST QUARTER; AND THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, LESS ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING NORTH OF INTERSTATE NO. 10 AND LESS AND EXCEPT THAT PORTION DEEDED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED IN OFFICIAL RECORDS BOOK 4519, PAGE 395, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

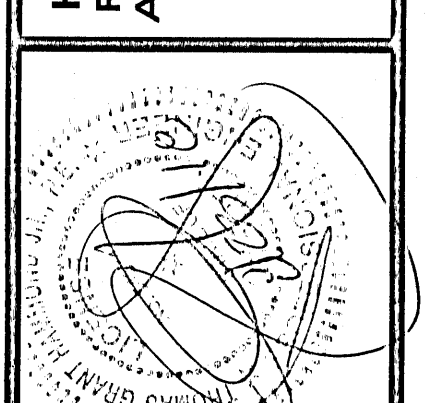
DENOTES:

- ⊙ - 1/2" CAPPED IRON ROD, NUMBERED 7174 (PLACED)
- ⊙ - NAIL AND DISK, NUMBERED 7174 (PLACED)
- ⊙ - 1/2" CAPPED IRON ROD, NUMBERED 7107 (FOUND)
- ⊙ - 1/2" CAPPED IRON ROD, NUMBERED 7312 (FOUND)
- ⊙ - 1/2" IRON ROD, UNNUMBERED (FOUND)
- ⊙ - 1" CRIMMED IRON PIPE, UNNUMBERED (FOUND)
- ⊙ - 4"x4" CONCRETE MONUMENT, UNNUMBERED (FOUND)
- ⊙ - 4"x4" CONCRETE MONUMENT, NUMBERED 7919 (FOUND)
- ⊙ - 3" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND)
- ⊙ - NAIL AND DISK, "ESCAMBIA COUNTY" (FOUND)
- ⊙ - 1/2" CAPPED IRON ROD, FDOT (FOUND)
- ⊙ - LIGHTWOOD STAKE
- R/W - RIGHT-OF-WAY
- PT - POINT OF TANGENCY
- (F) - FIELD INFORMATION
- OR - OFFICIAL RECORDS
- PB - PLAT BOOK
- FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
- OVERHEAD ELECTRIC
- POWER POLE
- WATER VALVE
- SEWER VALVE
- SANITARY SEWER MANHOLE
- LIGHT POLE WITH CONCRETE BASE
- FIBER OPTIC PEDESTAL
- POWER PEDESTAL
- CABLE PEDESTAL
- BENCHMARK
- CONTOUR LINE
- PROPOSED INLET



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