

# OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN

FOR



**7050 PENSACOLA BLVD.  
PENSACOLA, FL 32505**

## SITE INFORMATION:

SITE ADDRESS: 7050 PENSACOLA BLVD.,  
PENSACOLA, FLORIDA  
PARCEL ID: 27-1S-30-3101-001-019  
27-1S-30-3101-009-020  
27-1S-30-3101-011-020  
27-1S-30-3101-012-020  
27-1S-30-3101-013-020  
27-1S-30-3101-014-020  
ZONING: HC/LI  
OVERLAY DISTRICT: OAKFIELD  
FUTURE LAND USE: C  
CURRENT USE: AUTO SACLES

## OWNER/DEVELOPER:

ANDERSON SUBARU  
C/O  
7050 PENSACOLA BLVD.,  
PENSACOLA, FLORIDA

## CIVIL ENGINEER:

FABRE ENGINEERING, INC.  
119 GREGORY SQUARE  
PENSACOLA, FLORIDA 32502-4915  
CONTACT: MR. FRANK J. FABRE, P.E.  
PHONE# (850) 433-6438  
FAX# (850) 434-7842  
EMAIL Frank.fabre@fabreinc.com

## SITE UTILITIES:

**WATER**  
EMERALD COAST UTILITIES AUTHORITY  
MICHAEL HAMLIN, P.E. (850) 969-6501

**SEWER**  
EMERALD COAST UTILITIES AUTHORITY  
MICHAEL HAMLIN, P.E. (850) 969-6501

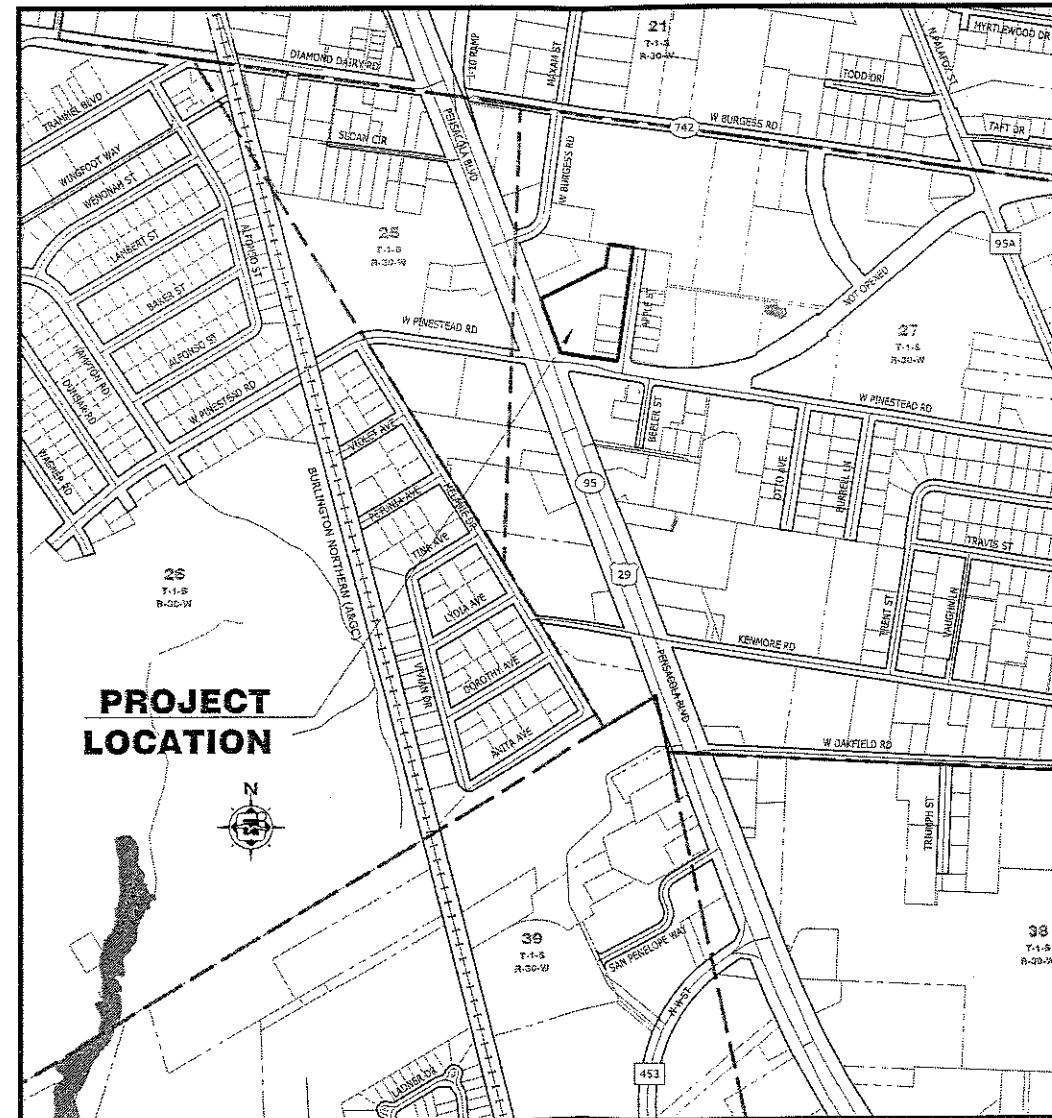
**TELEPHONE/FIBER OPTIC**  
AT&T FACILITIES  
STAN WRIGHT, (850) 436-1488

**ELECTRICITY**  
GULF POWER COMPANY  
CHAD SWAILS, (850) 429-2446

**CABLE TV**  
COX COMMUNICATIONS  
TROY YOUNG, (850) 857-4551

**NATURAL GAS**  
PENSACOLA ENERGY SERVICES  
GLENN BAILEY, (850) 474-5319

**NO OFFSITE UTILITY  
WORK WILL BE REQUIRED**



**VICINITY MAP**

(NOT TO SCALE)

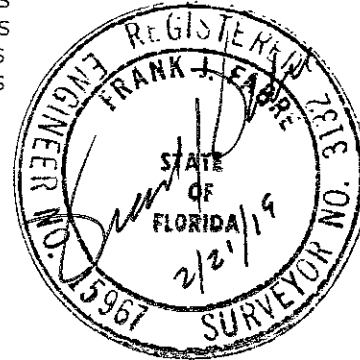
DRC Chairman Signature  
Development Services Director of Designee  
Date: 2/27/19

Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order must be obtained from the Development Review Committee (DRC) prior to the commencement of construction. This approval by the DRC does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

## SHEET INDEX

GENERAL	DESCRIPTION
G-001	COVER SHEET, SHEET INDEX AND VICINITY MAP
G-101	PROJECT NOTES
G-102	PROJECT NOTES
G-201	NPDES, EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
G-301	EXISTING CONDITIONS, DEMOLITION PLAN AND DEVELOPMENT INFORMATION
<b>CIVIL</b>	
C-101	SITE AND UTILITY PLAN
C-201	SEDIMENTATION & EROSION CONTROL AND DRAINAGE & GRADING PLAN
C-301	LANDSCAPING PLAN
<b>DETAILS</b>	
D-101	PROJECT DETAILS
D-102	PROJECT DETAILS
D-201	F.D.O.T. DETAILS
D-202	F.D.O.T. DETAILS



FABRE ENGINEERING, INC.  
ENGINEERS ♦ PLANNERS ♦ SURVEYORS  
119 GREGORY SQUARE PENSACOLA, FLORIDA 32502  
TELEPHONE 850-433-6438 FAX 850-434-7842  
L.B. NO. 0006079 E.B. NO. 0007215

COVER SHEET AND INDEX OF DRAWINGS

OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN FOR ANDERSON SUBARU ESCAMBIA COUNTY FLORIDA

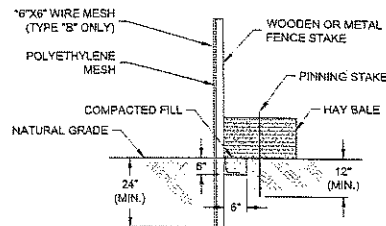
Revisions:	
Designed By:	CJ
Drawn By:	JAS
Checked By:	FJF
Date:	12-05-2018
Job Number:	170057-02
File Name:	G-170057-02
Sheet:	G-001



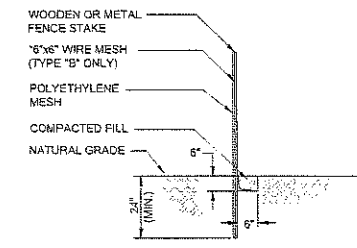


**GENERAL NOTES:**

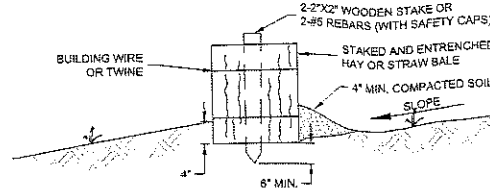
1. AN NPDES STORMWATER POLLUTION PREVENTION PLAN AND ASSOCIATED NOI (NOTICE OF INTENT) IS REQUIRED FOR ANY SITE DISTURBANCE OF MORE THAN ONE ACRE. THE CONTRACTOR SHALL PROVIDE A NOI IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE NPDES PERMIT 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, CLEARING, OR DEMOLITION. CONTRACTOR SHALL PROVIDE ALL INSPECTIONS AND DOCUMENTATION REQUIRED BY NPDES REGULATIONS. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ACCORDING TO EPA/DEP NPDES CRITERIA TO MINIMIZE EROSION AND INSURE PROPER FUNCTIONING OF STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION. IN ADDITION TO MEETING EPA/DEP NPDES CRITERIA, THE SWPPP SHALL BE SUBMITTED TO AND COMPLY WITH MINIMUM EROSION CONTROL CRITERIA OF LOCAL OR STATE AGENCIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT.
3. CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORTATION OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT. THE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. THIS CONDITION MUST BE SATISFIED UNTIL PROJECT IS FULLY COMPLETED AND ACCEPTED. CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE ON TEMPORARY EROSION CONTROL FEATURES AT HIS EXPENSE. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENT BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. CONTRACTOR SHALL PROVIDE HAY BALES, SILT BARRIERS, MURAI FILTERS, TEMPORARY GRASSING, ETC., AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION. CONTRACTOR SHALL PROVIDE CONTINUOUS MONITORING OF EROSION AND SEDIMENT CONTROLS TAKEN AND SHALL DOCUMENT ALL CORRECTIVE MEASURES. A COPY OF THE APPROVED SWPPP SHALL BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY OWNER'S REPRESENTATIVES AND BY NPDES INSPECTORS.
4. PROVIDE EFFECTIVE TEMPORARY AND PERMANENT EROSION CONTROL FOLLOWING THE REQUIREMENTS IN SECTION 104 OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
5. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION RESULTING FROM SURFACE RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATION THAT MAY CAUSE SEDIMENT RUNOFF. FILTER FABRIC SHALL BE PLACED AND MAINTAINED UNDER THE GRATE AND FILTER SOCKS PLACED IN FRONT OF THE THROAT OF CURB INLETS, DURING CONSTRUCTION.
6. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE SEED, FERTILIZED, MULCHED, HYDROSEED, OR SODDED AS NECESSARY. UNLESS NOTED OTHERWISE, SOOD PINS SHALL BE USED WHERE SLOPES ARE STEEPER THAN 3:1.
7. GRASSING SHALL BE INSTALLED AND MAINTAINED ON ALL EXPOSED SLOPES AND DISTURBED AREAS WITHIN 48 HOURS OF COMPLETING FINAL GRADE. AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES INTO THE WATER OF THE STATE OR ADJACENT WETLANDS. A VEGETATIVE COVER THAT STABILIZES AND PREVENTS EROSION OF THE FILL MATERIAL SHALL BE ESTABLISHED WITHIN 90 DAYS OF SODDING. UPON ESTABLISHMENT OF A SUBSTANTIAL VEGETATIVE COVER, ALL TURBIDITY BARRIERS AND EROSION CONTROL DEVICES SHALL BE REMOVED.
8. ALL EROSION & SEDIMENT CONTROLS SHALL BE CONSISTENT WITH PERFORMANCE STANDARDS FOR EROSION AND SEDIMENT CONTROL AND STORMWATER TREATMENT SET FORTH IN SECTION 62-10.432, FLORIDA ADMINISTRATIVE CODE, THE APPLICABLE STORMWATER OR ENVIRONMENTAL RESOURCE PERMITTING REQUIREMENTS OF FDEP OR A WATER MANAGEMENT DISTRICT, AND THE GUIDELINES CONTAINED IN THE FLORIDA DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP) 1988 AND ANY SUBSEQUENT AMENDMENTS.
9. TEMPORARY SEDIMENT CONTROL MEASURES INCLUDE, BUT ARE NOT LIMITED TO: SILT FENCING, HAY BALE BARRIERS, CONSTRUCTION OF TEMPORARY CHECK DAMS, AND TEMPORARY SEEDING. PERMANENT SEDIMENT CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO SODDING, RIP-RAP STABILIZATION, THE STORMWATER CONVEYANCE SYSTEM, AND PERMANENT SODDING AND SEEDING. STABILIZATION PRACTICES ARE DETAILED ON THE CONSTRUCTION PLANS, BUT SHALL INCLUDE ANY MEASURES NECESSARY TO PREVENT SEDIMENT FROM ESCAPING THE SITE AND TO COMPLY WITH ALL APPLICABLE FDEP STANDARDS.
10. WHEN NECESSARY EARTHEN BERMS WILL BE PROVIDED TO PREVENT STORMWATER RUNOFF FROM DISCHARGING WITHOUT BEING ROUTED TO THE DRAINAGE SWALES AND THROUGH THE STORMWATER SYSTEM.
11. CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
12. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
13. CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
14. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
15. TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES OR WHEN DIRECTED BY THE OWNER.
16. THE CONTRACTOR SHALL RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
17. THE CONTRACTOR SHALL COMPLETE SITE RESTORATION AS THE PROJECT PROGRESSES. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ON THE PROJECT SITE AS APPLICABLE. CONTRACTOR SHALL UTILIZE WATER OR OTHER RECOGNIZED AND APPROVED EMP'S TO CONTROL DUST.



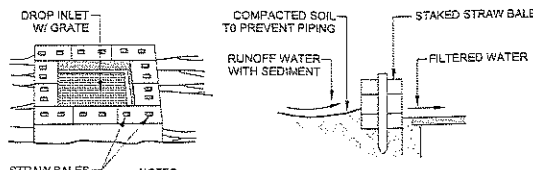
**SILT FENCE WITH HAY BALE DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

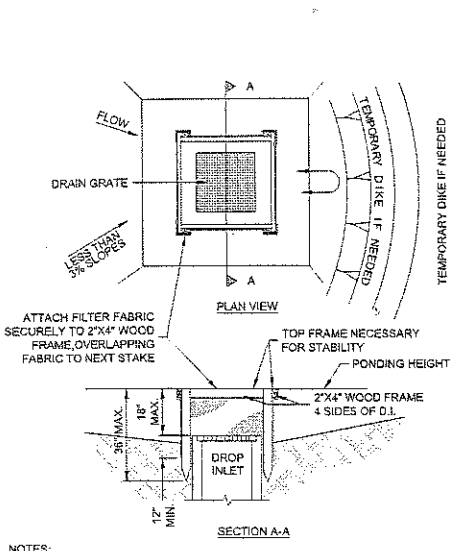


**HAY OR STRAW BALE DETAIL**  
NOT TO SCALE



- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5.0%)
  2. EMBED THE BALES 4" INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS ABUTTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.
  3. THE TOP OF THE FRAME (PONING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. THE TEMPORARY DIKE MAY BE NECESSARY.

**STRAW BALE DROP INLET SEDIMENT BARRIER**  
NOT TO SCALE

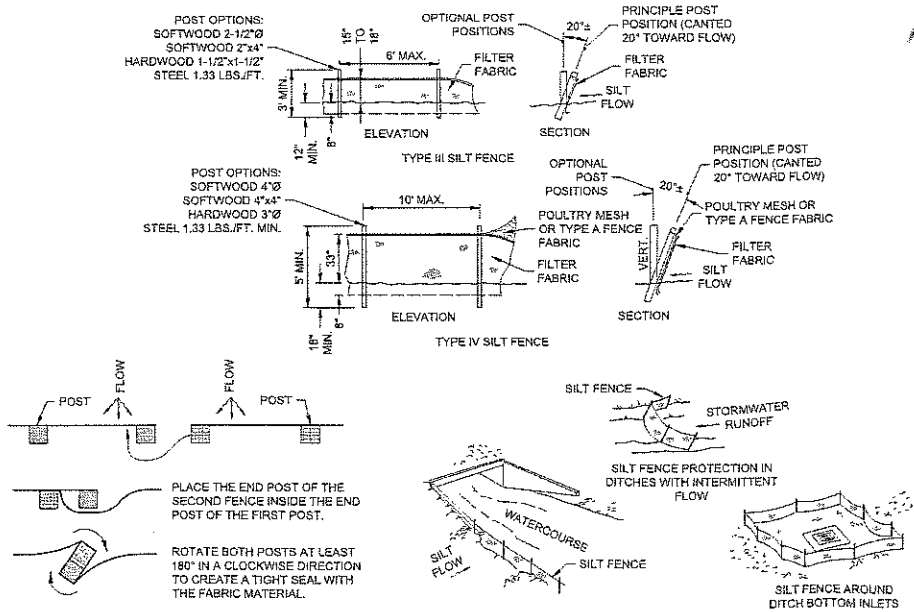


- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5.0%)
  2. USE 2x4 WOOD OR EQUIVALENT METAL STAKES (3 FT. MIN. LENGTH).
  3. INSTALL 2x4 WOOD TOP FRAME TO INSURE STABILITY. THE TOP OF THE FRAME (PONING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. THE TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

**SILT FENCE DROP INLET SEDIMENT BARRIER**  
NOT TO SCALE

**NOTES FOR SILT FENCES:**

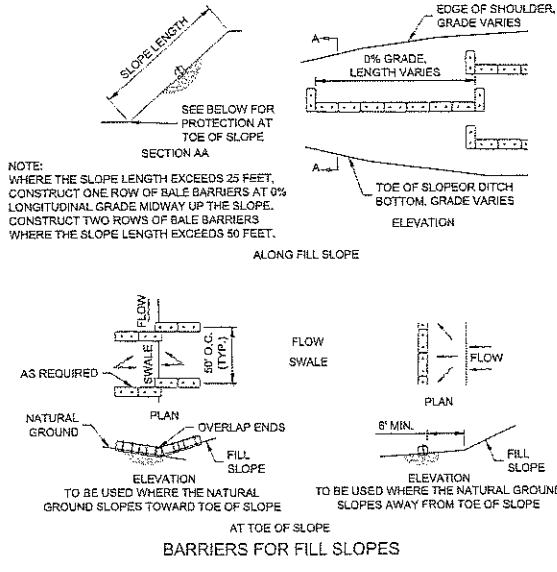
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH DITCH SPACING DETAIL.
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED IN PERMANENT BODIES OF WATER.
4. WHERE USED IN SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF FENCE.
5. POULTRY MESH SHALL BEE 20 GA. MINIMUM. FILTER FABRIC SHALL BE IN CONFORMANCE WITH SECTION 985 AND TYPE A FENCE FABRIC SHALL BE IN CONFORMANCE WITH INDEX 451 & SECTION 966 OF THE FOOT SPECIFICATIONS.



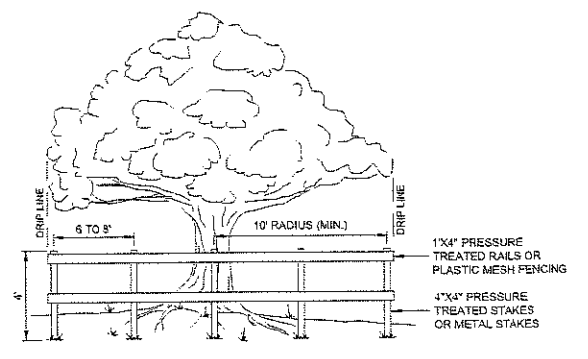
**SILT FENCE APPLICATIONS**  
BARRIERS FOR FILL SLOPE

**NOTES FOR BALED HAY OR STRAW BARRIERS:**

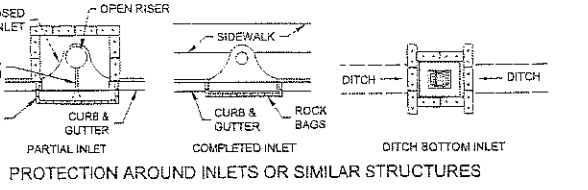
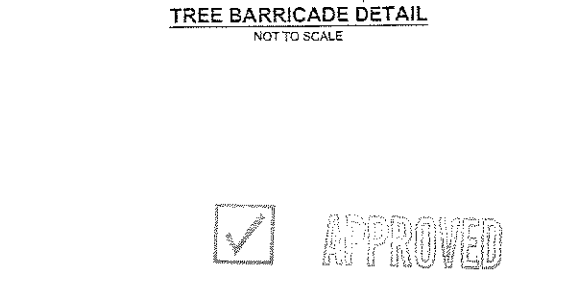
1. TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH DITCH SPACING DETAIL.
2. HAY BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1x2" (OR 1"Ø) x 4' WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
3. RAILS AND POST SHALL BE 2x4 WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
4. ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
5. WHERE USED IN CONJUNCTION WITH SILT FENCE, HAYBALES SHALL BE PLANTED ON THE UPSTREAM SIDE OF THE FENCE.
6. BALES TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW, EA. THE UNIT PRICE SHALL INCLUDE THE COST OF FILTER FABRIC FOR THE TYPE I AND II BARRIERS. SAND BAGS SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR ROCK BAGS, EA.



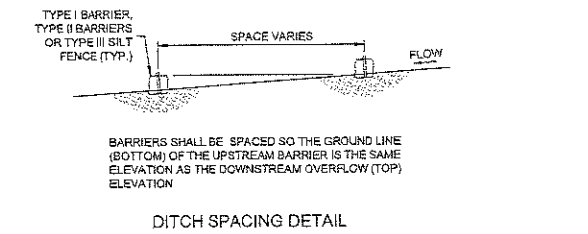
**BARRIERS FOR UNPAVED AREAS**  
NOT TO SCALE



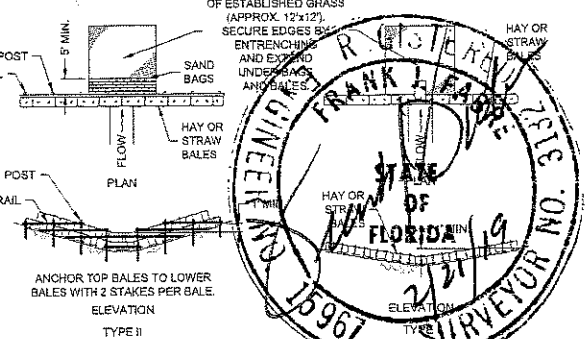
**TREE BARRICADE DETAIL**  
NOT TO SCALE



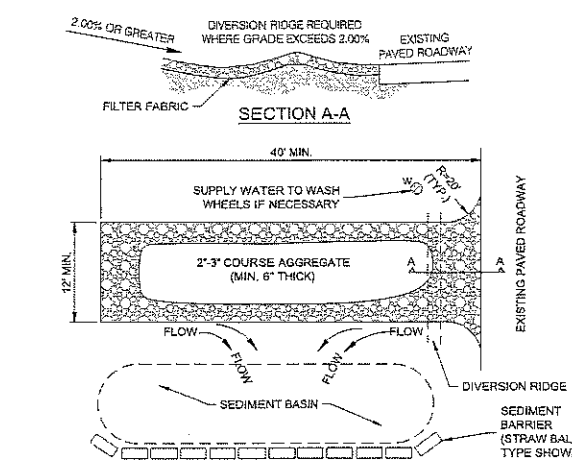
**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**



**DITCH SPACING DETAIL**



**BARRIERS FOR UNPAVED AREAS**  
NOT TO SCALE



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNEL RUNOFF TO BASIN AS REQUIRED.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

FABRE ENGINEERING, INC.  
119 GREGORY SQUARE, PENSACOLA, FLORIDA 32502  
TELEPHONE: 850-438-0438 FAX: 850-484-7842  
L.B. NO. 000879

**NPDES, EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN NOTES AND DETAILS**

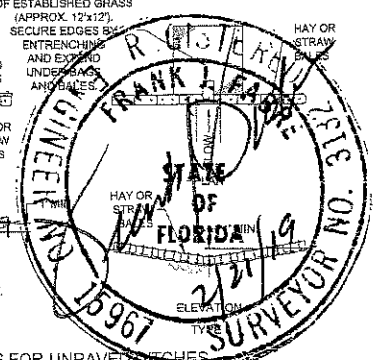
**OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN**

ANDERSON SUBARU  
FLORIDA  
ESCAMBIA COUNTY

Revisions:


Frank J. Fabre, P.E.

P.E. #15987  
Designed By: CJ  
Drawn By: JAS  
Checked By: FJF  
Date: 12-05-2018  
Job Number: 170057-02  
File Name: G-170057-02  
Sheet: G-201

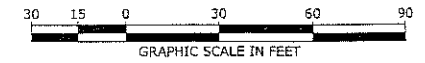


**FDOT EROSION CONTROL MEASURES**  
NOT TO SCALE

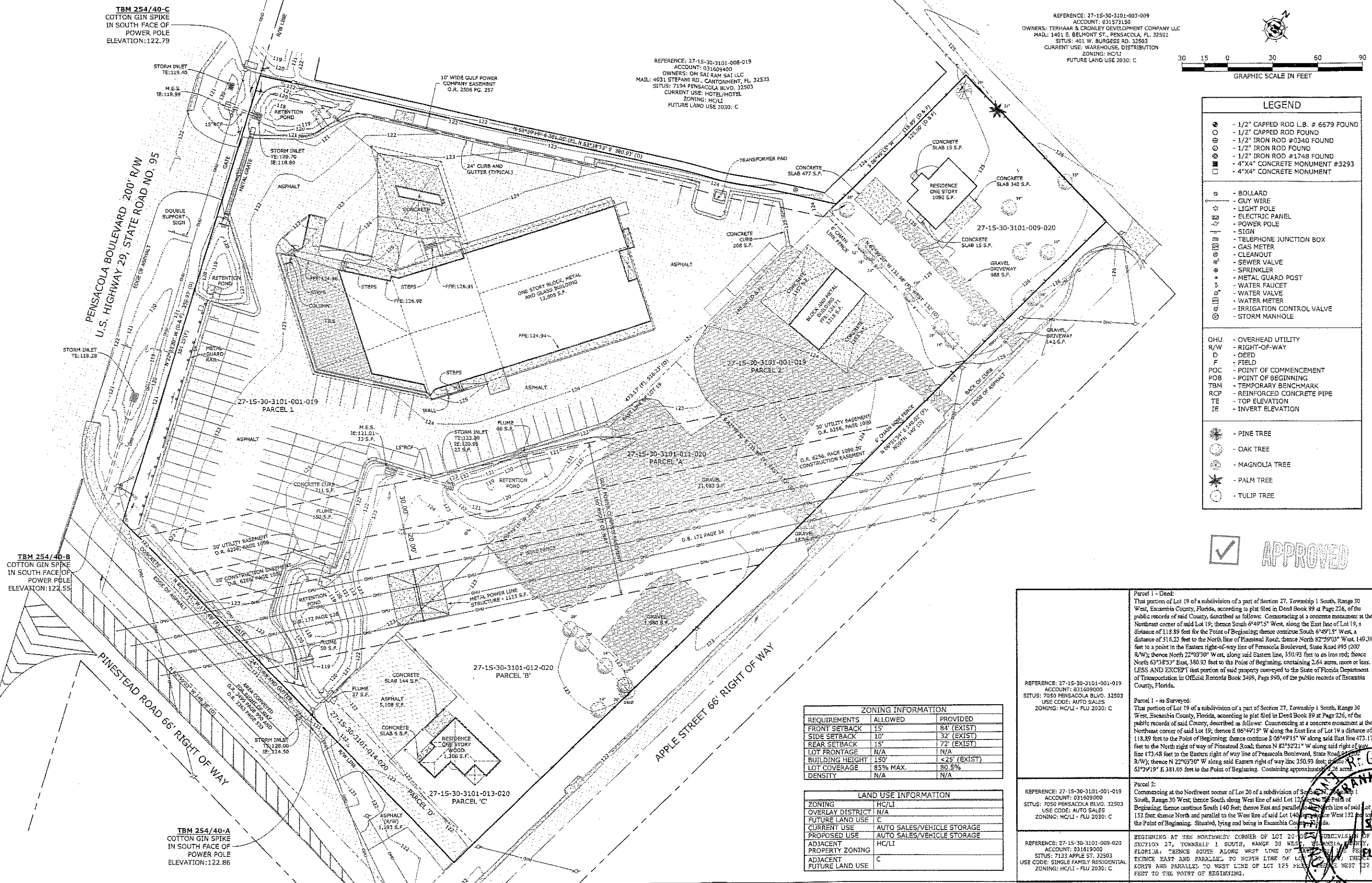
TBM 254/40-C  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.79

REFERENCE: 27-15-30-3101-008-019  
ACCOUNT: 031609400  
OWNERS: OM SAT RAM SAT LLC  
MAIL: 4031 STEPHAN RD., CANTONMENT, FL 32533  
SITUS: 7134 PENSACOLA BLVD. 32503  
CURRENT USE: HOTEL/HOTEL  
ZONING: HC/LI  
FUTURE LAND USE 2030: C

REFERENCE: 27-15-30-3101-003-009  
ACCOUNT: 031573150  
OWNERS: TERHAAR & CRONLEY DEVELOPMENT COMPANY LLC  
MAIL: 1401 E. BELMONT ST., PENSACOLA, FL 32501  
SITUS: 401 W. BURGESS RD. 32503  
CURRENT USE: WAREHOUSE, DISTRIBUTION  
ZONING: HC/LI  
FUTURE LAND USE 2030: C



LEGEND	
⊙	- 1/2" CAPPED ROD L.B. # 6679 FOUND
○	- 1/2" CAPPED ROD FOUND
⊙	- 1/2" IRON ROD #0340 FOUND
⊙	- 1/2" IRON ROD FOUND
⊙	- 1/2" IRON ROD #1748 FOUND
⊙	- 4"X4" CONCRETE MONUMENT #3293
⊙	- 4"X4" CONCRETE MONUMENT
⊙	- BOLLARD
⊙	- GUY WIRE
⊙	- LIGHT POLE
⊙	- ELECTRIC PANEL
⊙	- POWER POLE
⊙	- SIGN
⊙	- TELEPHONE JUNCTION BOX
⊙	- GAS METER
⊙	- CLEANOUT
⊙	- SEWER VALVE
⊙	- SPRINKLER
⊙	- METAL GUARD POST
⊙	- WATER FAUCET
⊙	- WATER VALVE
⊙	- WATER METER
⊙	- IRRIGATION CONTROL VALVE
⊙	- STORM MANHOLE
OHU	- OVERHEAD UTILITY
R/W	- RIGHT-OF-WAY
D	- DEED
F	- FIELD
PC	- POINT OF COMMENCEMENT
POB	- POINT OF BEGINNING
TBM	- TEMPORARY BENCHMARK
RCP	- REINFORCED CONCRETE PIPE
TE	- TOP ELEVATION
IE	- INVERT ELEVATION
⊙	- PINE TREE
⊙	- OAK TREE
⊙	- MAGNOLIA TREE
⊙	- PALM TREE
⊙	- TULIP TREE



TBM 254/40-B  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.55

TBM 254/40-A  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.86

**FLOOD ZONE INFORMATION**  
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BEFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONE) AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP NUMBER 12033C0360G, MAP REVISION DATED SEPTEMBER 29, 2006.

ZONING INFORMATION		
REQUIREMENTS	ALLOWED	PROVIDED
FRONT SETBACK	15'	84' (EXIST)
SIDE SETBACK	10'	32' (EXIST)
REAR SETBACK	15'	72' (EXIST)
LOT FRONTAGE	N/A	N/A
BUILDING HEIGHT	150'	<25' (EXIST)
LOT COVERAGE	85% MAX.	80.5%
DENSITY	N/A	N/A

LAND USE INFORMATION	
ZONING	HC/LI
OVERLAY DISTRICT	N/A
FUTURE LAND USE	C
CURRENT USE	AUTO SALES/VEHICLE STORAGE
PROPOSED USE	AUTO SALES/VEHICLE STORAGE
ADJACENT PROPERTY ZONING	HC/LI
ADJACENT FUTURE LAND USE	C

REFERENCE: 27-15-30-3101-013-020  
ACCOUNT: 031622000  
SITUS: 7061 APPLE ST. 32503  
CURRENT USE: VACANT COMMERCIAL (HOUSE & CONCRETE REMOVED)  
ZONING: HC/LI - FLU 2030: C

Parcel C: Lot 13, the North 60 feet of the South 145 feet of the West 132 feet of Lot 20 of a subdivision of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, according to plat recorded in Deed Book 89 at page 226 of the records of Escambia County, Florida, lying West of the L & N Railroad.

REFERENCE: 27-15-30-3101-014-020  
ACCOUNT: 031623000  
SITUS: PINESTEAD 32503  
USE CODE: VACANT INSTITUTIONAL  
ZONING: HC/LI - FLU 2030: C

Parcel D: North 60 feet of the South 55 feet of the West 132 feet of Lot 20, lot 14 of an unrecorded plat Deed Book 496 page 202, Subdivision of lot 2 West of the highway and all lots 3 and 4, Section 27 and lot 2 section 28, plat Deed Book 49 page 226, Section 25/27, Township 1 South, Range 30 West. LESS AND EXCEPT: Any portion of subject property devoted to State of Florida Department of Transportation by Warranty Deed recorded in Official Records Book 3572, Page 307, of the Public Records of Escambia County, Florida.

REFERENCE: 27-15-30-3101-011-020  
ACCOUNT: 031620100  
SITUS: 7000 BLK. APPLE ST. 32503  
USE CODE: CHURCH (PARKING)  
ZONING: HC/LI - FLU 2030: C

Parcel A: Commencing at the Southwest corner of Lot 20 of subdivision of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, thence North along the West line of said Lot 20, 145 feet to Point of Beginning, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet to Point of Beginning, lying and being in Section 27, Township 1 South, Range 30 West, less property described in Official Record Book 864, page 706, of the public records of Escambia County, Florida.

REFERENCE: 27-15-30-3101-012-020  
ACCOUNT: 031621000  
SITUS: 7071 APPLE ST 32503  
USE CODE: VACANT INSTITUTIONAL  
ZONING: HC/LI - FLU 2030: C

Parcel B: Commencing at the Southwest corner of Lot 20, subdivision of Section 27, Township 1 South, Range 30 West, thence North along the West line of said Lot 20, 145 feet to Point of Beginning, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet to Point of Beginning, lying and being in Section 27, Township 1 South, Range 30 West, less property described in Official Record Book 864, page 706, of the public records of Escambia County, Florida.

Parcel 1 - Deed:  
That portion of Lot 19 of a subdivision of a part of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, according to plat filed in Deed Book 89 at Page 226, of the public records of said County, described as follows: Commencing at a concrete monument at the Northeast corner of said Lot 19; thence South 6°49'15" West, along the East line of Lot 19, a distance of 118.89 feet to the Point of Beginning; thence continue South 6°49'15" West, a distance of 516.23 feet to the North line of Pinestead Road; thence North 82°59'03" West, 149.38 feet to a point in the Eastern right-of-way line of Pensacola Boulevard, State Road #93 (200' R/W); thence North 22°03'30" West, along said Eastern line, 350.93 feet to an iron rod; thence North 63°03'53" East, 380.92 feet to the Point of Beginning, containing 2.64 acres, more or less. LESS AND EXCEPT: that portion of said property conveyed to the State of Florida Department of Transportation in Official Records Book 3499, Page 390, of the public records of Escambia County, Florida.

Parcel 1 - as Surveyed:  
That portion of Lot 19 of a subdivision of a part of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, according to plat filed in Deed Book 89 at Page 226, of the public records of said County, described as follows: Commencing at a concrete monument at the Northeast corner of said Lot 19; thence South 06°49'15" W along the East line of Lot 19 a distance of 118.89 feet to the Point of Beginning; thence continue S 06°49'15" W along said East line 473.17 feet to the North right of way line of Pinestead Road; thence N 82°52'21" W along said right of way line 173.48 feet to the Eastern right of way line of Pensacola Boulevard, State Road #93 (200' R/W); thence N 22°03'30" W along said Eastern right of way line 350.93 feet; thence S 63°39'19" E 381.05 feet to the Point of Beginning. Containing approximately 2.64 acres.

REFERENCE: 27-15-30-3101-001-019  
ACCOUNT: 031609000  
SITUS: 7059 PENSACOLA BLVD. 32503  
USE CODE: AUTO SALES  
ZONING: HC/LI - FLU 2030: C

Parcel 2:  
Commencing at the Northwest corner of Lot 30 of a subdivision of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, thence South along West line of said Lot 30, 125 feet to the Point of Beginning, thence continue South 140 feet; thence East and parallel to the East line of said Lot 30, 113 feet; thence North and parallel to the West line of said Lot 30, 113 feet to the Point of Beginning. Situated, lying and being in Escambia County, Florida.

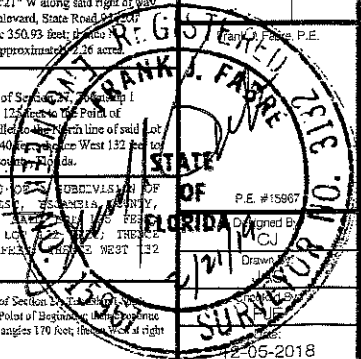
REFERENCE: 27-15-30-3101-009-020  
ACCOUNT: 031619000  
SITUS: 7123 APPLE ST. 32503  
USE CODE: SINGLE FAMILY RESIDENTIAL  
ZONING: HC/LI - FLU 2030: C

BEGINNING AT THE NORTHWEST CORNER OF LOT 20 OF A SUBDIVISION OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE SOUTH ALONG WEST LINE OF SAID LOT 20, 145 FEET TO POINT OF BEGINNING; THENCE EAST AND PARALLEL TO NORTH LINE OF SAID LOT 20, 132 FEET TO POINT OF BEGINNING.

REFERENCE: 27-15-30-3101-011-020  
ACCOUNT: 031620100  
SITUS: 7000 BLK. APPLE ST. 32503  
USE CODE: CHURCH (PARKING)  
ZONING: HC/LI - FLU 2030: C

Parcel A: Commencing at the Southwest corner of Lot 20 of subdivision of Section 27, Township 1 South, Range 30 West, Escambia County, Florida, thence North along the West line of said Lot 20, 145 feet to Point of Beginning, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet, thence East at right angles 132 feet, thence South at right angles 132 feet, thence North at right angles 132 feet to Point of Beginning, lying and being in Section 27, Township 1 South, Range 30 West, less property described in Official Record Book 864, page 706, of the public records of Escambia County, Florida.

APPROVED

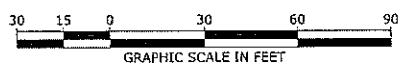
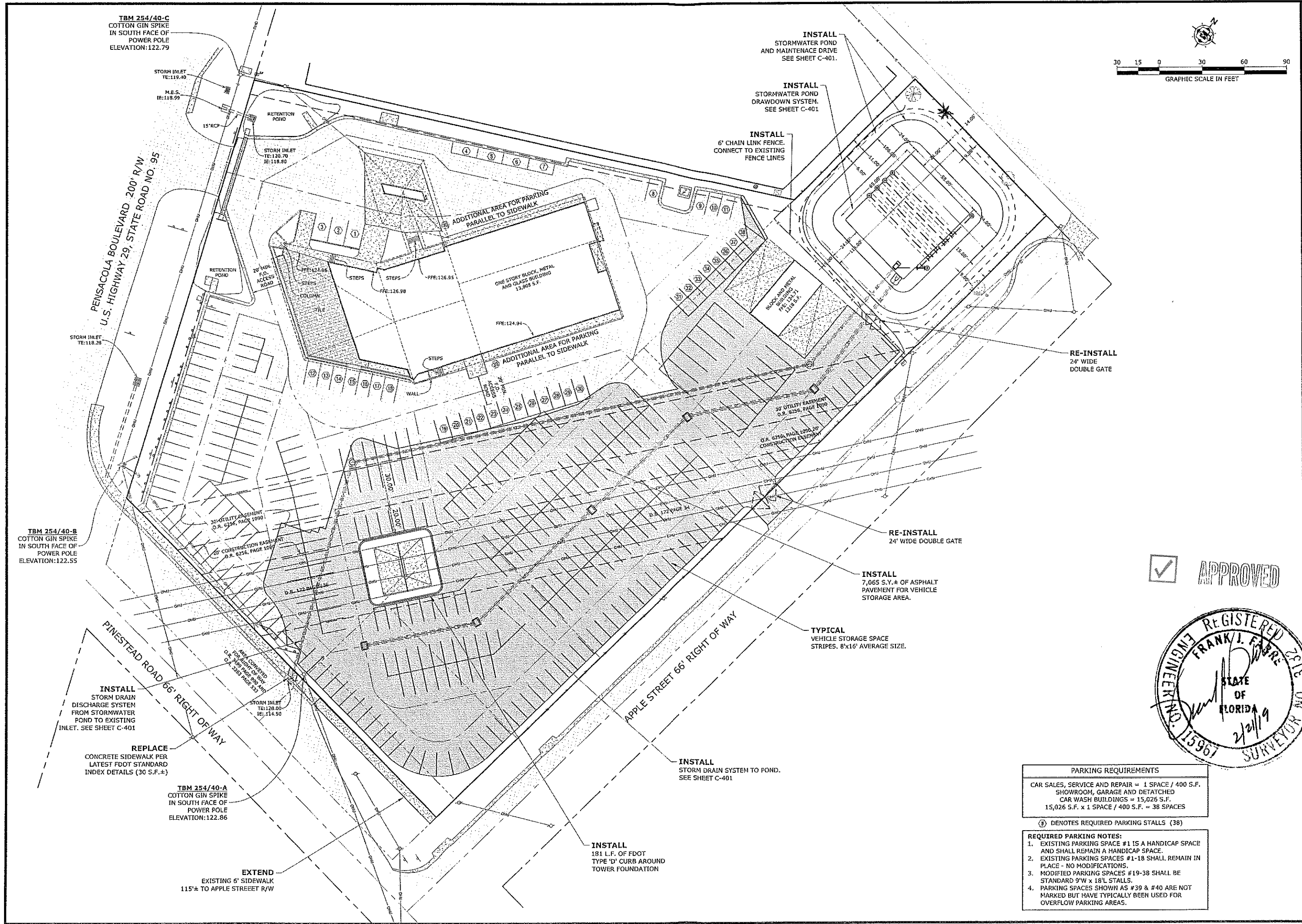


FABRE ENGINEERING, INC. DBA FABRE ENGINEERING & SURVEYING  
 ENGINEERS • PLANNERS • SURVEYORS  
 119 GREGORY SQUARE PENSACOLA, FLORIDA 32502  
 TELEPHONE: 866-493-6949 FAX: 866-434-7842  
 E.B. NO. 0097215  
 L.B. NO. 0088678

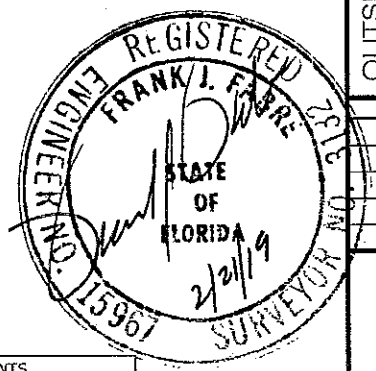
**EXISTING CONDITIONS**  
 OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN FOR ANDERSON SUBARU  
 ESCAMBIA COUNTY, FLORIDA

Revision: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Job Number: 170057-02  
 File Name: C-170057-02  
 Sheet: C-101





APPROVED



PARKING REQUIREMENTS	
CAR SALES, SERVICE AND REPAIR	= 1 SPACE / 400 S.F.
SHOWROOM, GARAGE AND DETACHED CAR WASH BUILDINGS	= 15,026 S.F.
15,026 S.F. x 1 SPACE / 400 S.F.	= 38 SPACES

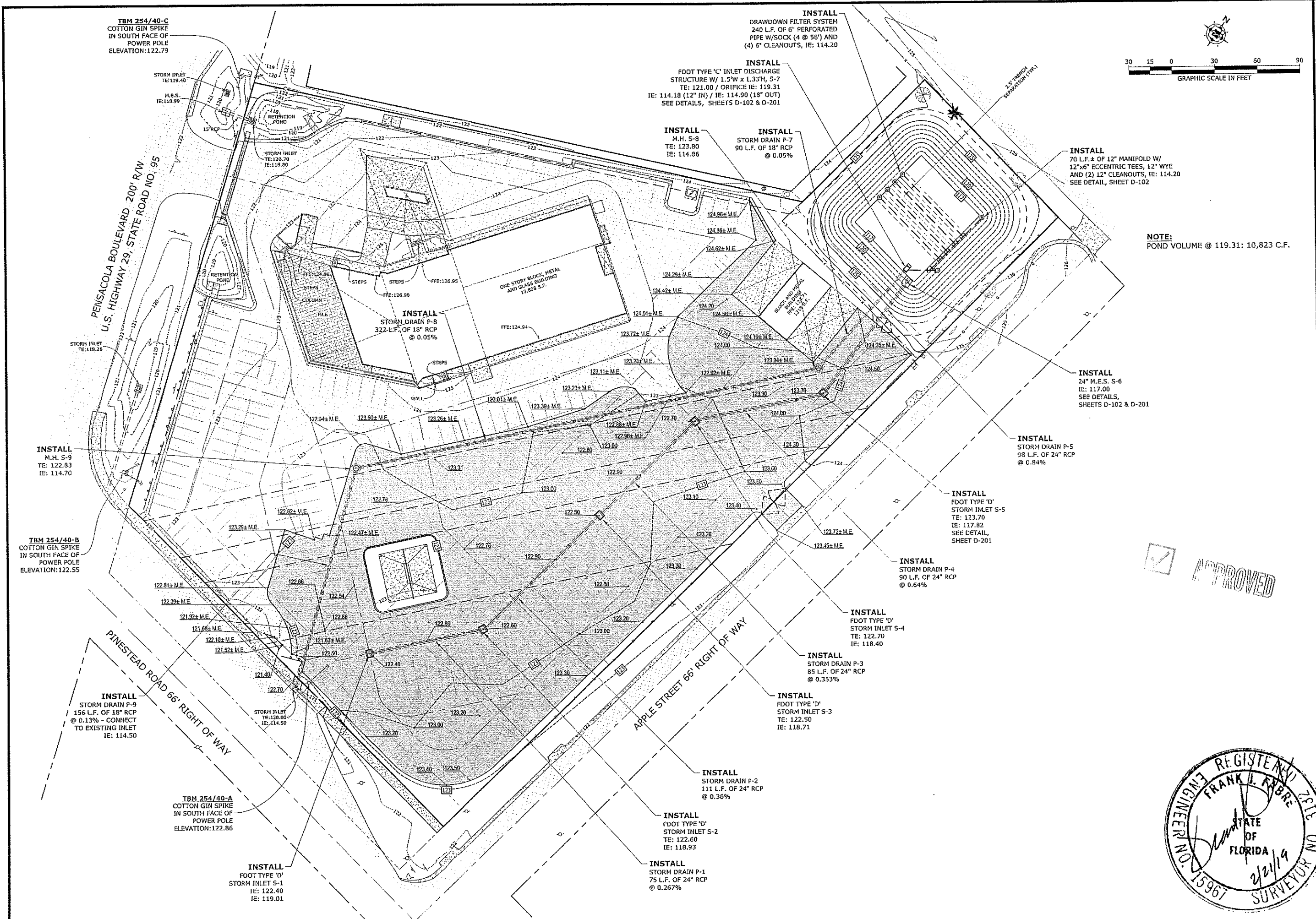
- ④ DENOTES REQUIRED PARKING STALLS (38)
- REQUIRED PARKING NOTES:**
- EXISTING PARKING SPACE #1 IS A HANDICAP SPACE AND SHALL REMAIN A HANDICAP SPACE.
  - EXISTING PARKING SPACES #1-18 SHALL REMAIN IN PLACE - NO MODIFICATIONS.
  - MODIFIED PARKING SPACES #19-38 SHALL BE STANDARD 9'W x 18'L STALLS.
  - PARKING SPACES SHOWN AS #39 & #40 ARE NOT MARKED BUT HAVE TYPICALLY BEEN USED FOR OVERFLOW PARKING AREAS.

**FABRE ENGINEERING & SURVEYING**  
 ENGINEERS ♦ PLANNERS ♦ SURVEYORS  
 FABRE ENGINEERING, INC.  
 DBA  
 119 GREGORY SQUARE PENSACOLA, FLORIDA 32502  
 TELEPHONE: 850-433-6408 FAX: 850-491-7612  
 E.B. NO. 0002915

**SITE PLAN**  
 This drawing is the property of Fabre Engineering, Inc. and is not to be reproduced or used in any manner without the express written consent of Fabre Engineering, Inc. If this drawing is used for any project, it is to be used as a guide only and is not to be construed as a contract. NOT Released for Construction. As-Built (Revised Drawing) By: Date:

**OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN FOR ANDERSON SUBARU**  
 ESCAMBIA COUNTY FLORIDA

Revisions:	
Designed By:	CJ
Drawn By:	JAS
Checked By:	FJF
Date:	12-05-2018
Job Number:	170057-02
File Name:	C-170057-02
Sheet:	C-301



TBM 254/40-C  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.79

INSTALL  
M.H. S-9  
TE: 122.83  
IE: 114.70

TBM 254/40-B  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.55

INSTALL  
STORM DRAIN P-9  
156 L.F. OF 18" RCP  
@ 0.13% - CONNECT  
TO EXISTING INLET  
IE: 114.50

TBM 254/40-A  
COTTON GIN SPIKE  
IN SOUTH FACE OF  
POWER POLE  
ELEVATION: 122.86

INSTALL  
FDOT TYPE 'D'  
STORM INLET S-1  
TE: 122.40  
IE: 119.01

INSTALL  
FDOT TYPE 'D'  
STORM INLET S-2  
TE: 122.60  
IE: 118.93

INSTALL  
STORM DRAIN P-1  
75 L.F. OF 24" RCP  
@ 0.267%

INSTALL  
FDOT TYPE 'D'  
STORM INLET S-3  
TE: 122.50  
IE: 118.71

INSTALL  
STORM DRAIN P-3  
85 L.F. OF 24" RCP  
@ 0.353%

INSTALL  
FDOT TYPE 'D'  
STORM INLET S-4  
TE: 122.70  
IE: 118.40

INSTALL  
STORM DRAIN P-4  
90 L.F. OF 24" RCP  
@ 0.64%

INSTALL  
FDOT TYPE 'D'  
STORM INLET S-5  
TE: 123.70  
IE: 117.82  
SEE DETAIL,  
SHEET D-201

INSTALL  
STORM DRAIN P-5  
98 L.F. OF 24" RCP  
@ 0.84%

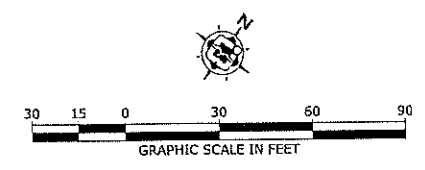
INSTALL  
24" M.E.S. S-6  
IE: 117.00  
SEE DETAILS,  
SHEETS D-102 & D-201

INSTALL  
70 L.F. OF 12" MANIFOLD W/  
12"x6" ECCENTRIC TEES, 12" WYE  
AND (2) 12" CLEANOUTS, IE: 114.20  
SEE DETAIL, SHEET D-102

INSTALL  
M.H. S-8  
TE: 123.80  
IE: 114.86

INSTALL  
FDOT TYPE 'C' INLET DISCHARGE  
STRUCTURE W/ 1.5'W x 1.33'H, S-7  
TE: 121.00 / ORIFICE IE: 119.31  
IE: 114.18 (12" IN) / IE: 114.90 (18" OUT)  
SEE DETAILS, SHEETS D-102 & D-201

INSTALL  
DRAWDOWN FILTER SYSTEM  
240 L.F. OF 6" PERFORATED  
PIPE W/SOCK (4 @ 58') AND  
(4) 6" CLEANOUTS, IE: 114.20



NOTE:  
POND VOLUME @ 119.31: 10,823 C.F.

APPROVED

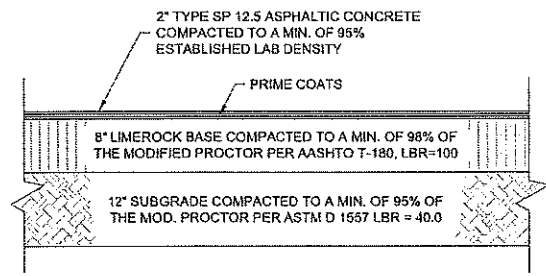


FABRE ENGINEERING, INC.  
DBA  
**FABRE ENGINEERING & SURVEYING**  
ENGINEERS ♦ PLANNERS ♦ SURVEYORS  
119 GREGORY SQUARE PENSACOLA, FLORIDA 32502  
TELEPHONE: 850-433-6438 FAX: 850-434-7842  
E.E. NO. 0007215  
L.B. NO. 0006676

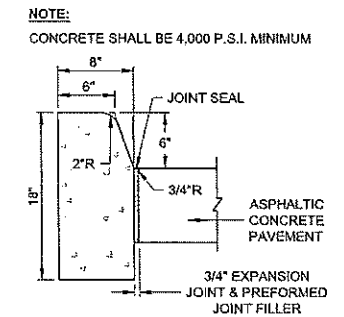
**GRADING AND DRAINAGE PLAN**

**OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN**  
FOR  
ANDERSON SUBARU  
FLORIDA  
ESCAMBIA COUNTY

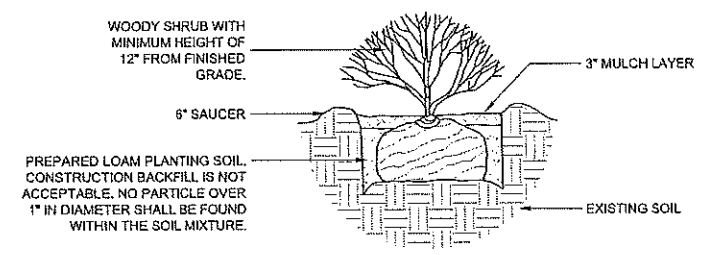
Revisions:	
Frank J. Fabre, P.E.	
P.E. #15967	
Designed By:	CJ
Drawn By:	JAS
Checked By:	FJF
Date:	12-05-2018
Job Number:	170057-02
File Name:	C-170057-02
Sheet:	C-401



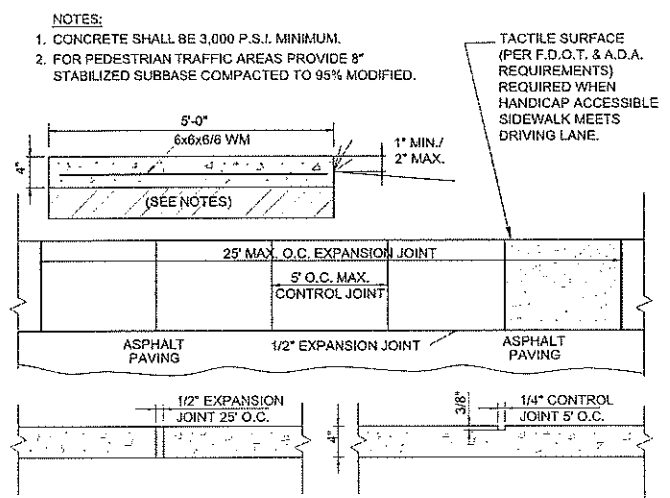
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NOT TO SCALE



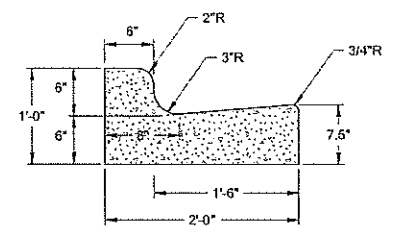
**F.D.O.T. TYPE "D" CURB**  
NOT TO SCALE



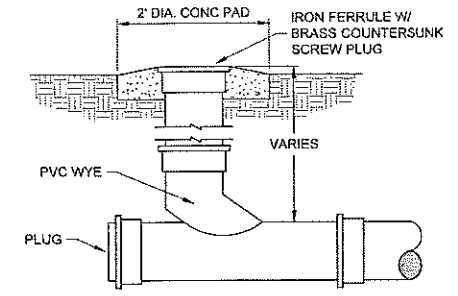
**SHRUB PLANTING DETAIL**  
NO SCALE



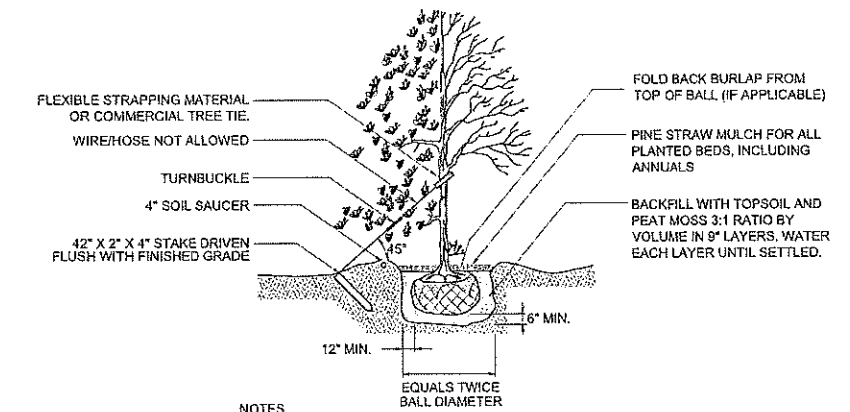
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



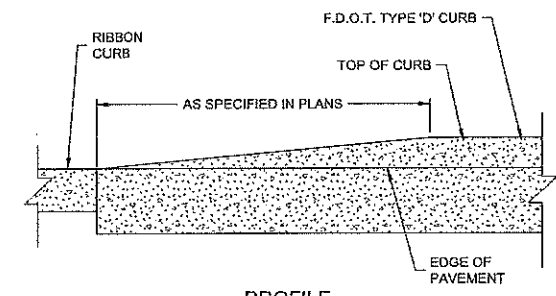
**TYPE "F" CURB AND GUTTER**  
NOT TO SCALE



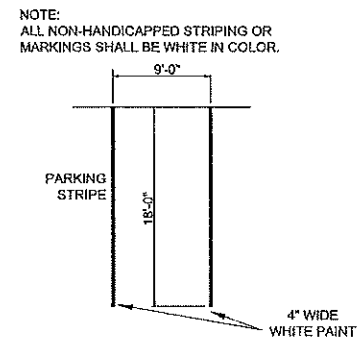
**ONE-WAY CLEAN-OUT DETAIL**  
NOT TO SCALE



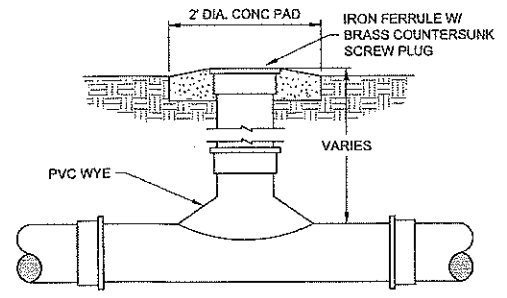
**TREE PLANTING DETAILS**  
NO SCALE



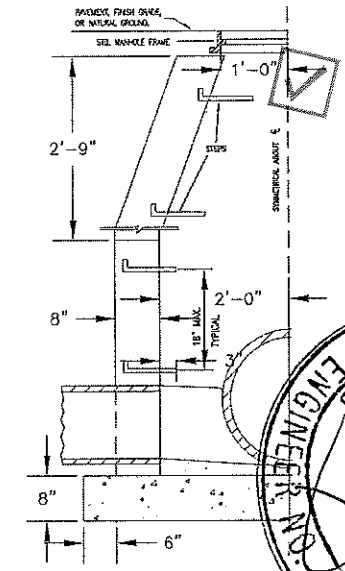
**TYPICAL CURB END TRANSITION**  
NOT TO SCALE



**TYPICAL PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE



**TWO-WAY CLEAN-OUT DETAIL**  
NOT TO SCALE



**STORM MANHOLE DETAIL**  
NOT TO SCALE

APPROVED

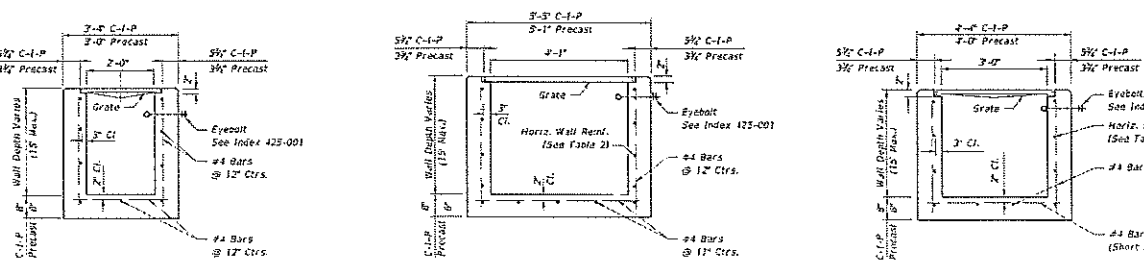
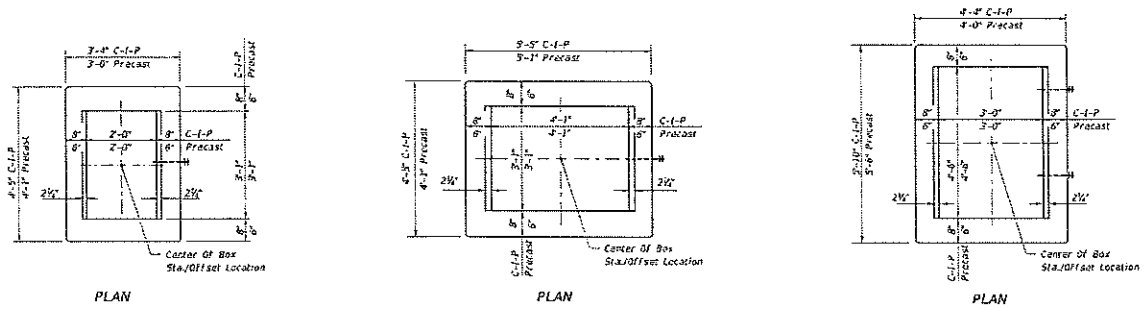
REGISTERED  
ENGINEER  
FRANK J. FABRE  
STATE OF FLORIDA  
2/21/19  
SURVEYOR NO. 15967

FABRE ENGINEERING, INC. DBA  
**FABRE ENGINEERING & SURVEYING**  
 ENGINEERS ♦ PLANNERS ♦ SURVEYORS  
 116 GREGORY SQUARE, PENSACOLA, FLORIDA 32502  
 TELEPHONE: 850-433-6438 FAX: 850-434-7812  
 E.B. NO. 0007215  
 L.B. NO. 000870

**PROJECT DETAILS**  
 NOT Released for Construction  
 Date: By:

**OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN FOR ANDERSON SUBARU**  
 ESCAMBIA COUNTY FLORIDA

Revisions:
Frank J. Fabre, P.E.
P.E. #15967
Designed By: C.J.
Drawn By: JAS
Checked By: FJF
Date: 12-05-2018
Job Number: 170057-02
File Name: D-170057-02
Sheet: <b>D-101</b>



**HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)**

WALL DEPTH	SCHEDULE	AREA (sq. ft.)	MAX. SPACING	W/WF
0'-10"	A12	0.20	12"	5"

**HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 2)**

WALL DEPTH	SCHEDULE	AREA (sq. ft.)	MAX. SPACING	W/WF
0'-5"	A12	0.20	12"	5"
5'-10"	A5	0.20	6"	5"
10'-15"	A4	0.20	4"	5"
10'-15"	B5.5	0.24	5 1/2"	5"

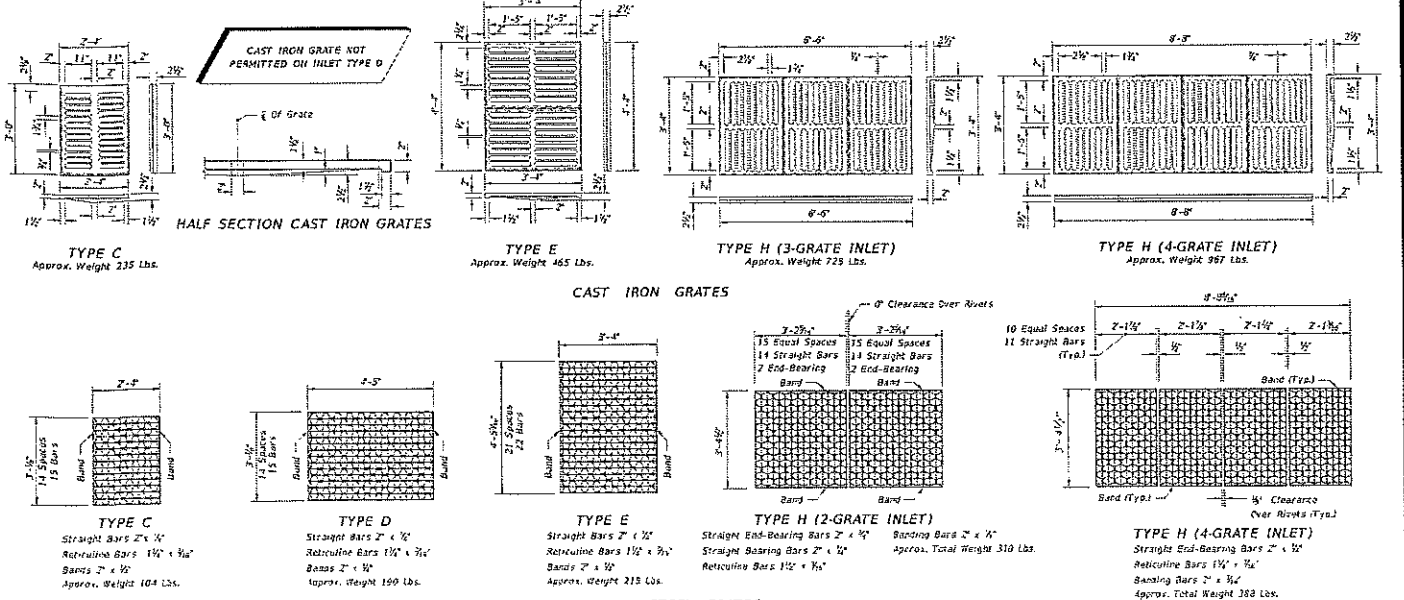
**HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 3)**

WALL DEPTH	SCHEDULE	AREA (sq. ft.)	MAX. SPACING	W/WF
0'-5"	A12	0.20	12"	5"
0'-7.5"	A5	0.20	6"	5"
7.5'-10"	B5.5	0.24	5 1/2"	5"
10'-15"	C6.5	0.37	6 1/2"	6"

**TYPE C**  
Recommended Maximum Pipe Size:  
2'-0" Wall - 18" Pipe  
3'-1" Wall - 24" Pipe (18" where an 18" pipe exists a 2'-0" wall)

**TYPE D**  
Recommended Maximum Pipe Size:  
3'-1" Wall - 24" Pipe  
4'-1" Wall - 36" Pipe

**TYPE E**  
Recommended Maximum Pipe Size:  
3'-0" Wall - 24" Pipe  
4'-0" Wall - 36" Pipe



**GENERAL NOTES**

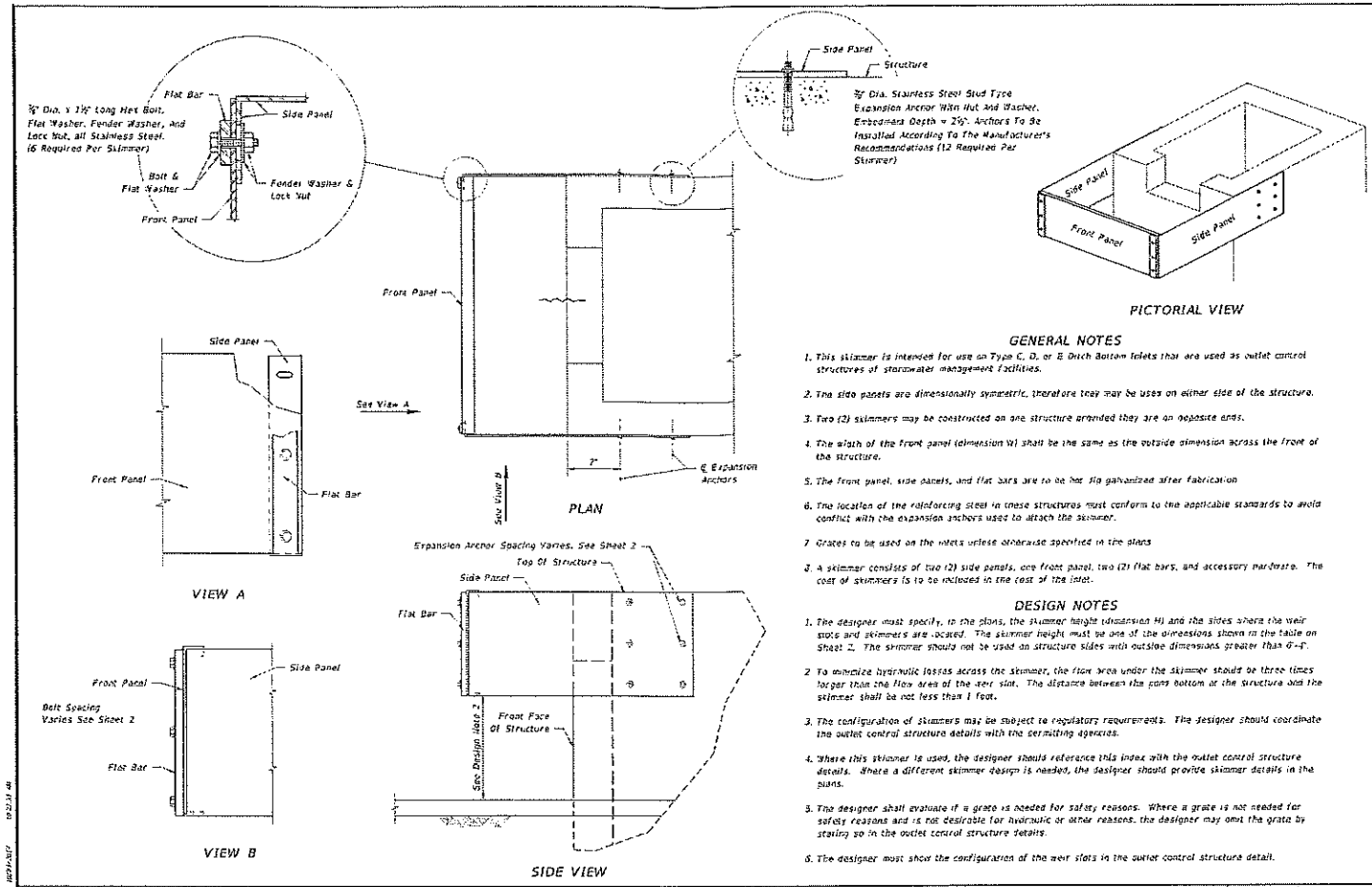
- These inlets are suitable for bicycle traffic and are to be used in ditches, easements and other areas subject to heavy wheel loads. These inlets may be placed in areas subject to occasional pedestrian traffic such as landscaped areas and pavement areas where pedestrians can walk around the inlet.
- Inlets subject to minimal debris should be constructed without slots. Where debris is a problem inlets should be constructed with slots. Slotted inlets located within roadway clear zones and areas subject to pedestrian shall have traversable slots. The traversable slot modification is not adaptable to inlet Type H. Slots may be constructed at either or both ends as shown on plans. Traversable slots shall not be used in areas subject to occasional bicycle traffic.
- Steel grates are to be used on all inlets where bicycle traffic is anticipated. Steel grates are to be used on all inlets with traversable slots. Either cast iron or steel grates may be used on inlets where bicycle traffic is not anticipated. Either cast iron or steel grates may be used on all inlets with non-traversable slots. Subject to the selection described above, when alternate grate is specified in the plans, after the steel grate, hot dip galvanized after fabrication, or the cast iron grate may be used, unless the plans stipulate the particular type.
- Recommended maximum pipe sizes shown are for concrete slab. Size for other types of pipe must be checked for fit.
- All exposed edges and corners shall be 1/4" chamfer or radiused to 1/4" radius.
- Concrete inlet pavement to be used on inlets without slots and inlets with non-traversable slots only when called for in the plans; but required on all traversable slot inlets. Cost to be included in contract unit price for inlets. Quantities shown are for information only.
- Traversable slots constructed in existing inlets shall be sold for as inlets partial. For construction work and method of payment see TRAVERSABLE SLOT INLETS (PARTIAL) FOR EXISTING INLETS.
- Sanding to be used on all inlets not located in paved areas and sold for under contract unit price for Performance Part, 57.
- For substructure details see Index 425-051.
- All reinforcing is Grade 60 bars with 2" min. cover unless otherwise noted. Bars to be cut or bent for 100% clearance around pipe opening. Provide one additional #4 bar above and at each side of pipe opening.

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/17	FY 2018-19 STANDARD PLANS	425-052	1 of 7

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/17	FY 2018-19 STANDARD PLANS	425-052	3 of 7

**DIMENSIONS AND QUANTITIES**

D	X	A	B	C	E	F	G	H	5" CONCRETE SLAB (CY)				SOODING (SY)			
									Single	Double	Triple	Quad.	Single	Double	Triple	Quad.
18"	7'-7"	1.92	2.18	3.18	2.06	5	1.22	2.8	0.57	0.58	0.57	0.57	1.12	1.12	1.12	1.12
18"	7'-10"	1.97	2.27	3.31	2.16	6	1.31	3.0	0.61	0.62	0.61	0.61	1.19	1.19	1.19	1.19
24"	7'-5"	2.06	2.33	3.41	2.25	7	1.37	3.1	0.64	0.65	0.64	0.64	1.24	1.24	1.24	1.24
30"	7'-1"	2.16	2.45	3.57	2.36	8	1.43	3.2	0.67	0.68	0.67	0.67	1.30	1.30	1.30	1.30
36"	7'-7"	2.25	2.55	3.70	2.45	9	1.49	3.3	0.70	0.71	0.70	0.70	1.36	1.36	1.36	1.36
42"	8'-0"	2.34	2.64	3.83	2.54	10	1.55	3.4	0.73	0.74	0.73	0.73	1.42	1.42	1.42	1.42
48"	8'-6"	2.43	2.74	3.96	2.63	11	1.61	3.5	0.76	0.77	0.76	0.76	1.48	1.48	1.48	1.48
54"	9'-0"	2.52	2.85	4.09	2.72	12	1.67	3.6	0.79	0.80	0.79	0.79	1.54	1.54	1.54	1.54
60"	9'-6"	2.61	2.96	4.22	2.81	13	1.73	3.7	0.82	0.83	0.82	0.82	1.60	1.60	1.60	1.60
66"	10'-0"	2.70	3.07	4.35	2.90	14	1.79	3.8	0.85	0.86	0.85	0.85	1.66	1.66	1.66	1.66
72"	10'-6"	2.79	3.18	4.48	2.99	15	1.85	3.9	0.88	0.89	0.88	0.88	1.72	1.72	1.72	1.72
78"	11'-0"	2.88	3.29	4.61	3.08	16	1.91	4.0	0.91	0.92	0.91	0.91	1.78	1.78	1.78	1.78
84"	11'-6"	2.97	3.40	4.74	3.17	17	1.97	4.1	0.94	0.95	0.94	0.94	1.84	1.84	1.84	1.84
90"	12'-0"	3.06	3.51	4.87	3.26	18	2.03	4.2	0.97	0.98	0.97	0.97	1.90	1.90	1.90	1.90
96"	12'-6"	3.15	3.62	5.00	3.35	19	2.09	4.3	1.00	1.01	1.00	1.00	1.96	1.96	1.96	1.96
102"	13'-0"	3.24	3.73	5.13	3.44	20	2.15	4.4	1.03	1.04	1.03	1.03	2.02	2.02	2.02	2.02
108"	13'-6"	3.33	3.84	5.26	3.53	21	2.21	4.5	1.06	1.07	1.06	1.06	2.08	2.08	2.08	2.08
114"	14'-0"	3.42	3.95	5.39	3.62	22	2.27	4.6	1.09	1.10	1.09	1.09	2.14	2.14	2.14	2.14
120"	14'-6"	3.51	4.06	5.52	3.71	23	2.33	4.7	1.12	1.13	1.12	1.12	2.20	2.20	2.20	2.20
126"	15'-0"	3.60	4.17	5.65	3.80	24	2.39	4.8	1.15	1.16	1.15	1.15	2.26	2.26	2.26	2.26
132"	15'-6"	3.69	4.28	5.78	3.89	25	2.45	4.9	1.18	1.19	1.18	1.18	2.32	2.32	2.32	2.32
138"	16'-0"	3.78	4.39	5.91	3.98	26	2.51	5.0	1.21	1.22	1.21	1.21	2.38	2.38	2.38	2.38
144"	16'-6"	3.87	4.50	6.04	4.07	27	2.57	5.1	1.24	1.25	1.24	1.24	2.44	2.44	2.44	2.44
150"	17'-0"	3.96	4.61	6.17	4.16	28	2.63	5.2	1.27	1.28	1.27	1.27	2.50	2.50	2.50	2.50
156"	17'-6"	4.05	4.72	6.30	4.25	29	2.69	5.3	1.30	1.31	1.30	1.30	2.56	2.56	2.56	2.56
162"	18'-0"	4.14	4.83	6.43	4.34	30	2.75	5.4	1.33	1.34	1.33	1.33	2.62	2.62	2.62	2.62
168"	18'-6"	4.23	4.94	6.56	4.43	31	2.81	5.5	1.36	1.37	1.36	1.36	2.68	2.68	2.68	2.68
174"	19'-0"	4.32	5.05	6.69	4.52	32	2.87	5.6	1.39	1.40	1.39	1.39	2.74	2.74	2.74	2.74
180"	19'-6"	4.41	5.16	6.82	4.61	33	2.93	5.7	1.42	1.43	1.42	1.42	2.80	2.80	2.80	2.80
186"	20'-0"	4.50	5.27	6.95	4.70	34	2.99	5.8	1.45	1.46	1.45	1.45	2.86	2.86	2.86	2.86
192"	20'-6"	4.59	5.38	7.08	4.79	35	3.05	5.9	1.48	1.49	1.48	1.48	2.92	2.92	2.92	2.92
198"	21'-0"	4.68	5.49	7.21	4.88	36	3.11	6.0	1.51	1.52	1.51	1.51	2.98	2.98	2.98	2.98
204"	21'-6"	4.77	5.60	7.34	4.97	37	3.17	6.1	1.54	1.55	1.54	1.54	3.04	3.04	3.04	3.04
210"	22'-0"	4.86	5.71	7.47	5.06	38	3.23	6.2	1.57	1.58	1.57	1.57	3.10	3.10	3.10	3.10
216"	22'-6"	4.95	5.82	7.60	5.15	39	3.29	6.3	1.60	1.61	1.60	1.60	3.16	3.16	3.16	3.16
222"	23'-0"	5.04	5.93	7.73	5.24	40	3.35	6.4	1.63	1.64	1.63	1.63	3.22	3.22	3.22	3.22
228"	23'-6"	5.13	6.04	7.86	5.33	41	3.41	6.5	1.66	1.67	1.66	1.66	3.28	3.28	3.28	3.28
234"	24'-0"	5.22	6.15	7.99	5.42	42	3.47	6.6	1.69	1.70	1.69	1.69	3.34	3.34	3.34	3.34
240"	24'-6"	5.31	6.26	8.12	5.51	43	3.53	6.7	1.72	1.73	1.72	1.72	3.40	3.40	3.40	3.40
246"	25'-0"	5.40	6.37	8.25	5.60	44	3.59	6.8	1.75	1.76	1.75	1.75	3.46	3.46	3.46	3.46
252"	25'-6"	5.49	6.48	8.38	5.69	45	3.65	6.9	1.78	1.79	1.78	1.78	3.52	3.52	3.52	3.52
258"	26'-0"	5.58	6.59	8.51	5.78	46	3.71	7.0	1.81	1.82	1.81	1.81	3.58	3.58	3.58	3.58
264"	26'-6"	5.67	6.70	8.64	5.87	47	3.77	7.1	1.84	1.85	1.84	1.84	3.64	3.64	3.64	3.64
270"	27'-0"	5.76	6.81	8.77	5.96	48	3.83	7.2	1.87	1.88	1.87	1.87	3.70	3.70	3.70	3.70
276"	27'-6"	5.85	6.92	8.90	6.05	49	3.89	7.3	1.90	1.91	1.90	1.90	3.76	3.76	3.76	3.76
282"	28'-0"	5.94	7.03	9.03	6.14	50	3.95	7.4	1.93	1.94	1.93	1.93	3.82	3.82	3.82	3.82
288"	28'-6"	6.03	7.14	9.16	6.23	51	4.01	7.5	1.96	1.97	1.96	1.96	3.88	3.88	3.88	3.88
294"	29'-0"	6.12	7.25	9.29	6.32	52	4.07	7.6	1.99	2.00	1.99	1.99	3.94	3.94	3.94	3.94
300"	29'-6"	6.21	7.36	9.42	6.41	53	4.13	7.7	2.02	2.03	2.02	2.02	4.00	4.00	4.00	4.00
306"	30'-0"	6.30	7.47	9.55	6.50	54	4.19	7.8	2.05	2.06	2.05	2.05	4.06	4.06	4.06	4.06
312"	30'-6"	6.39	7.58	9.68	6.59	55	4.25	7.9	2.08	2.09	2.08	2.08	4.12	4.12	4.12	4.12
318"	31'-0"	6.48	7.69	9.81	6.68	56	4.31	8.0	2.11	2.12	2.11	2.11	4.18	4.18	4.18	4.18
324"	31'-6"	6.57	7.80	9.94	6.77	57	4.37	8.1	2.14	2.15	2.14	2.14	4.24	4.24	4.24	4.24
330"	32'-0"	6.66	7.91	10.07	6.86	58	4.43	8.2	2.17	2.18	2.17	2.17	4.30	4.30	4.30	4.30
336"	32'-6"	6.75	8.02	10.20	6.95	59	4.49	8.3	2.20	2.21	2.20	2.20	4.36	4.36	4.36	4.36
342"	33'-0"	6.84	8.13	10.33	7.04	60	4.55	8.4	2.23	2.24	2.23	2.23	4.42	4.42	4.42	4.42
348"	33'-6"	6.93	8.24	10.46	7.13											



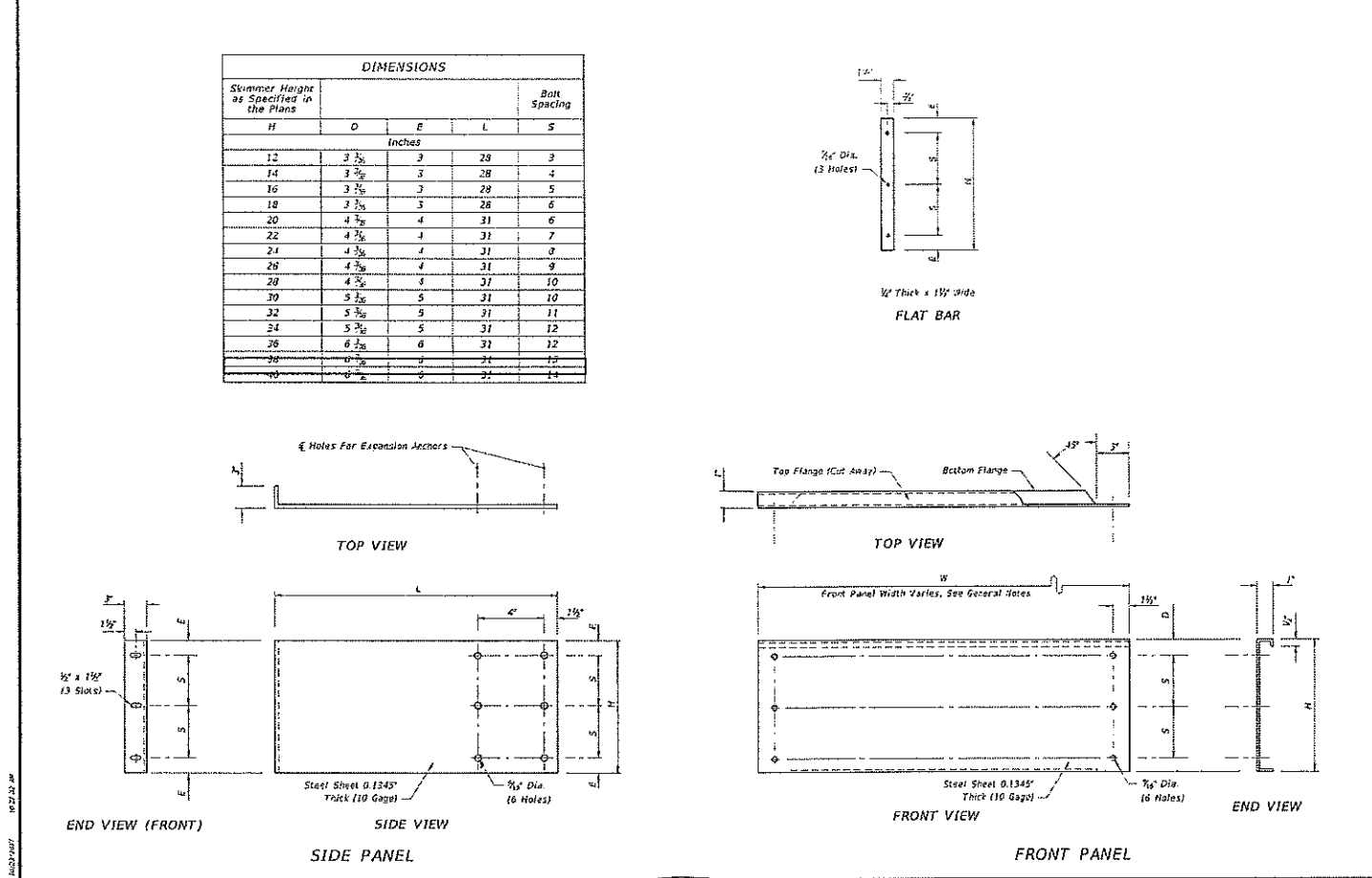
**GENERAL NOTES**

- This skimmer is intended for use on Type C, D, or E Deck Bottom Inlets that are used as outlet control structures of stormwater management facilities.
- The side panels are dimensionally symmetric, therefore they may be used on either side of the structure.
- Two (2) skimmers may be constructed on one structure provided they are on opposite ends.
- The width of the front panel (dimension W) shall be the same as the outside dimension across the front of the structure.
- The front panel, side panels, and flat bars are to be hot dip galvanized after fabrication.
- The location of the reinforcing steel in these structures must conform to the applicable standards to avoid conflict with the expansion anchors used to attach the skimmer.
- Grates to be used on the inlets unless otherwise specified in the plans.
- A skimmer consists of two (2) side panels, one front panel, two (2) flat bars, and accessory hardware. The cost of skimmers is to be included in the cost of the inlet.

**DESIGN NOTES**

- The designer must specify, in the plans, the skimmer height (dimension H) and the sides where the weir slots and skimmers are located. The skimmer height must be one of the dimensions shown in the table on Sheet 2. The skimmer should not be used on structure sides with outside dimensions greater than 6'-0".
- To minimize hydraulic losses across the skimmer, the flow area under the skimmer should be three times larger than the flow area of the weir slot. The distance between the pans bottom at the structure and the skimmer shall be not less than 1 foot.
- The configuration of skimmers may be subject to regulatory requirements. The designer should coordinate the outlet control structure details with the permitting agencies.
- When this skimmer is used, the designer should reference this index with the inlet control structure details. Where a different skimmer design is needed, the designer should provide skimmer details in the plans.
- The designer shall evaluate if a grate is needed for safety reasons. Where a grate is not needed for safety reasons and is not desirable for hydraulic or other reasons, the designer may omit the grate by stating so in the outlet control structure details.
- The designer must show the configuration of the weir slots in the outlet control structure detail.

LAST REVISION 11/01/17	DESCRIPTION: REVISION	FDOT FY 2018-19 STANDARD PLANS	SKIMMER FOR OUTLET CONTROL STRUCTURES	INDEX 425-070	SHEET 1 of 2
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LAST REVISION 11/01/17	DESCRIPTION: REVISION	FDOT FY 2018-19 STANDARD PLANS	SKIMMER FOR OUTLET CONTROL STRUCTURES	INDEX 425-070	SHEET 2 of 2
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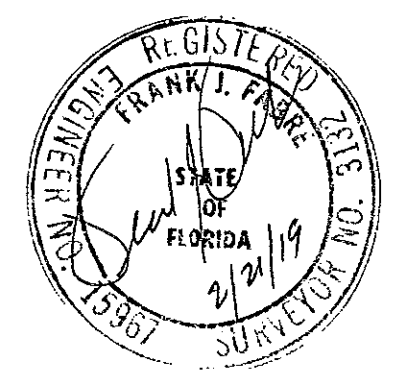


**F.D.O.T. DETAILS**

OUTSIDE VEHICLE STORAGE AND STORMWATER MANAGEMENT PLAN FOR ANDERSON SUBARU ESCAMBIA COUNTY FLORIDA

NOT Released for Construction  
As-Built "Record Drawing"  
By: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED



Revisions:

Frank J. Fabre, P.E.

P.E. #15967  
Designed By: C.J.  
Drawn By: JAS  
Checked By: FJF  
Date: 12-05-2018  
Job Number: 170057-02  
File Name: D-170057-02  
Sheet: D-202